



FRONT RENDERING



REAR RENDERING

SCHEMATIC DESIGN PACKAGE

RENOVATIONS AND ADDITIONS TO THE HOME OF GEORGE & SHERRY PITSILIDES

1260 CRYSTAL LAKE CIRCLE
VIRGINIA BEACH, VA

JULY 1, 2021

INDEX OF DRAWINGS

ARCHITECTURAL

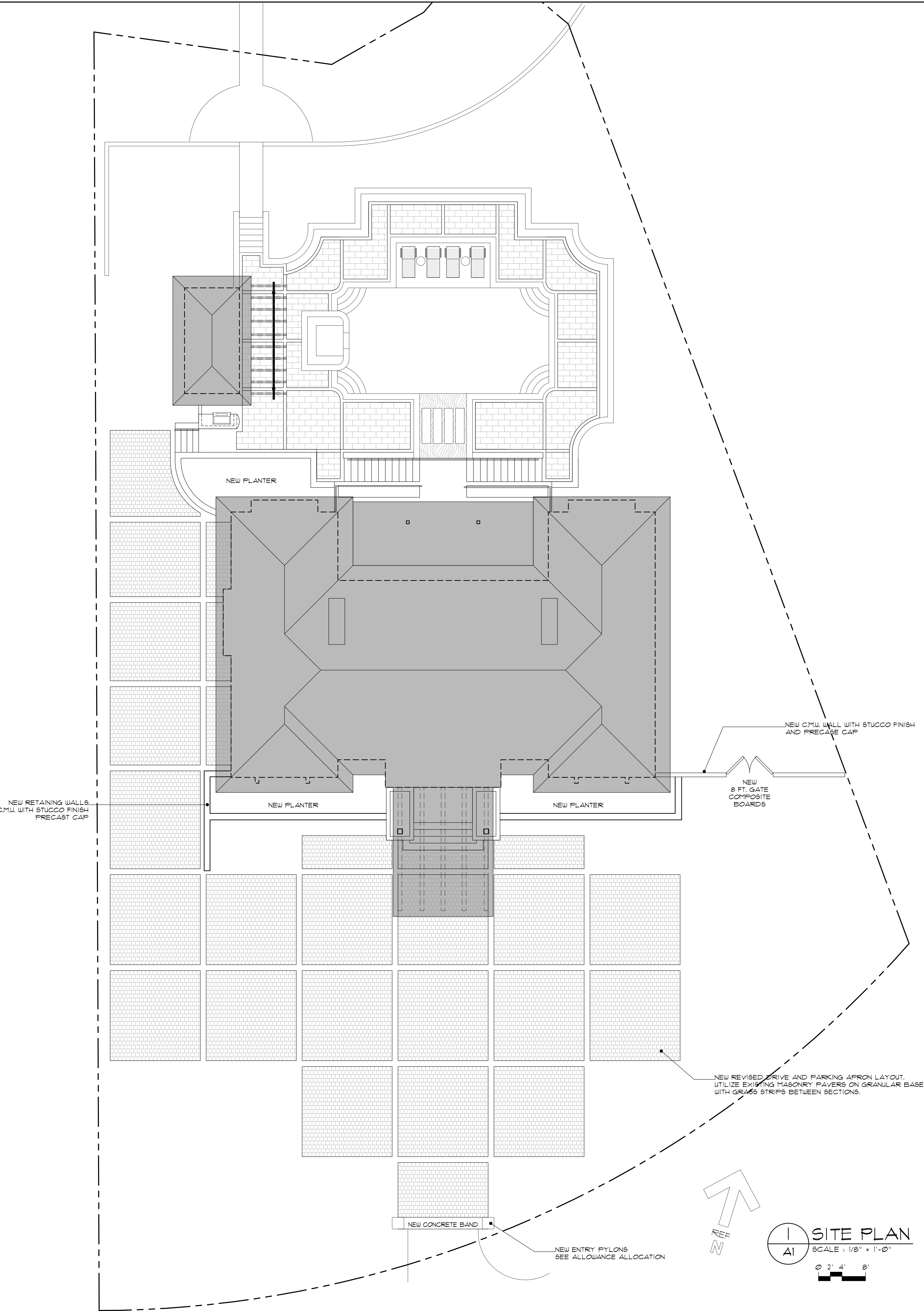
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SET NO.





OUTLINE SPECIFICATIONS

- GENERAL
- The following is an outline specification for general project budgeting. Final detailed specifications, system details, etc. shall be provided under a separate construction document package. All systems and products shall be installed to all applicable codes and to manufacturer's specified installation criteria only by suppliers and experienced sub-contractors acceptable to specified material manufacturers.
- DEMOLITION / PROTECTION OF EXISTING COMPONENTS
- To accomplish noted renovations and additions, demolition shall consist of all required wall components, insulation, interior and exterior finishes inclusive of removal and disposal of all door and window systems. The main floor systems shall be preserved with the exception of the noted modification to the garage level plan for the media room upgrades. all HVAC system duct runs within the floor structure shall be protected where possible. The HVAC equipment (air handlers and condensers) shall be removed and protected for possible re-use. Plumbing fixtures shall be removed and stored for possible re-use with all water and sewer systems within the floors and chases protected and/or modified as necessary to accommodate new designs. All electrical light fixtures with the exception of decorative fixtures (to be removed and preserved for possible re-use) shall be disposed of. Electrical service and existing panels shall be protected and upgraded as needed to accommodate all new work. Branch circuits shall be protected and re-used where possible.
- STRUCTURAL CONSIDERATIONS
- All required structural upgrades shall be designed by a registered structural engineer licensed in the state of Virginia to accommodate design schematic upgrades and improvements to existing residence. This work shall be outside Mozingo + Wallace scope of work. Any revision to Mozingo + Wallace schematic designs necessary due to structural upgrades shall first be reviewed by Mzingo + Wallace prior to proceeding with work. Existing structural components of the residence shall be brought into 100% compliance to all applicable building codes, including wind load resistance.
- EXTERIORS
21. Windows and Doors:
- All aluminum commercial Grade, impact-resistant glass, Kawneer IR500 or equal , black finish; glass equal to Guardian SunGard SNX 51/23 on clear with spandrel at mid-span equal to Guardian Deco HT, 6mm.
1. Roofing and Underlayment:
- Davinci Select Shake with continuous membrane underlayment, flashings and drip edge minimum 22 gauge aluminum. Color to match and/or blend with selected roof shingles.
2. Stucco Walls & Soffits:
- EFIS drainable high-impact rated, 3-coat system, limestone finish; singular wall color with accent alternate color in horizontal banding. Equal to STO, Synergy or Dry-vit. Assembly shall provide for a manufacturer's systems waterproofing/building envelope warranty (material & labor) of 10 years, no deductibles.
3. Tile Surrounds at windows:
- Porcelain thru-body equal to Trinity Tile Social Collection 'White Shades', 12" X 48", installed atop metal stud/ tile backer board with single-ply waterproof membrane underlayment.
4. Horizontal Simulated wood:
- Fortina, Geolam, or Knotwood aluminum tubes with simulated wood finish over front entry utilizing Knotwood screen 2"x4" components, with 'Driftwood' finish all sides, incorporating manufacturer's standard wall attachment components.
5. Front Entry Doors:
- Therma-tru Composite Door, Classic Craft Visionary collection, single lite with Low-E impact-resistant glass. Finish to be determined.
6. Garage Doors:
- Equal to Clopay Modern Grooved door, all insulated glass, model #9209 system. Provide automatic remote operators (2) and applicable perimeter weatherstripping.
7. Front Canopy:
- Custom fabricated tubular hot-dipped galvanized steel with factory primer and field applied polyurethane coating; ½" laminated glass atop steel tubes on CR Laurence Heavy Duty Spider Fitting #PHM4BS.
8. Simulated Wood Clad Panels:
- Fortina, Geolam and/or Knotwood, equal to Knotwood 6" cladding wall board, color 'Driftwood' incorporating manufacturer's standard wall attachment components.
9. Pool/patio Walls & Railings:
- Reinforced masonry with hard coat stucco finish at solid walls. Cable rails equal to Atlantis Rail Spectrum railing system; 36" high; all aluminum and stainless steel, factory-painted finish (black) with custom field applied teak wood cap. Glass rails equal to CR Laurence P1 series with ½" laminated glass panels, custom field applied teak wood cap.
10. Entry Planter Walls:
- Reinforced masonry with hard coat stucco finish.
11. Pool Patio Pavers with Inner Decorative Tile Banding:
- Oversized porcelain thru-body tile equal to Garden State Tile 'Lunar with Garden State Tile 'Terminus' inner decorative tile banding; paver tile sizes and pattern inlays to be determined. Tile at decks and steps shall be set atop concrete slab sub-base with thin-set application.
12. Trellis System at Cabana:
- Custom fabricated aluminum tubes, factory primed, polyurethane epoxy field painted, to layouts and aesthetics/sizes shown on drawings.
13. Boxed Trellis Beams/Columns at Rear Patio:
- Remove existing traditional column wraps, likely modifications will be required to existing steel columns for aesthetics; install new light gauge steel framing with break metal wraps around existing steel beam with custom fabricated aluminum tube inlays and for outriggers for trellis layouts overhead; soffit ceiling between trellis beams to be Fortina, Geolam, and/or Knotwood 6" cladding board, color 'Driftwood'; incorporating manufacturer's standard attachment components.
14. Rear Porch Skylights:
- Skylights equal to Velux 'Skymax' GSM, 36" x 72". Install on job-built curb with ¼":12 slope for each skylight.
15. Front Entry Pylons:
- To be determined, provide construction budget allowance of \$25,000 for pylons, one each side of drive at street.
16. Pool Modifications:
- Existing pool shall remain. Install new with additions of spa, Bahama lounge deck and shallow pool/waterfall per drawing layouts. Upgrades/improvements to include new perimeter concrete deck copings, replastering of all areas, new perimeter wall tile and new LED underwater lighting. Equipment and piping shall be upgraded to meet requirements of new added pool features.
17. Entry Drives and Plaza Modification:
- Remove existing concrete pavers and store for re-use. Regrade all areas to accommodate new schematic design layouts. Install new granular base and re-install existing pavers to new layouts incorporating a 12 inch wide grass inlay band at all areas. Coordinate drip irrigation system withing drives for 100% coverage of all grass inlays. Paver systems and components shall be designed to accommodate heavy vehicular traffic design standards.
18. Structural Walls:
- Add exterior treated wood furring atop existing walls to build out profiles and recesses as noted on drawings.

19. Glass and Cable Railings:
- Glass rails equal to C R Laurence P9 series with round clamps, ½" laminated glass, custom teak top rail. Cable rails equal to SC&R Cableview Stainless Steel, custom teak top rail.
20. Water Proofing:
- Below grade waterproofing over masonry/concrete wall equal to WR Meadows Hydralastic 836 SL Waterproofing Membrane, cold-applied single component.
- INTERIORS
1. Doors:
- Solid core with flush plastic laminate finish. Provide infill panels above to align with door faces where noted to match doors.
2. Door and Window Frames:
- Doors shall have concealed door hinges equal to Tectus #TE-541-3D-FVZ with Drywall corner bead edge finish to inset custom wood frames (#1 Poplar); windows to have drywall cased openings and returns.
3. Door Hardware:
- Style equal to the following:
- Interior passage and privacy locksets: Kwikset 'Halifax' modern lever with square rosette, finish satin nickel.
- Front Entry: Kwikset 'Vancouver' handle set, deadbolt, keyed one side (exterior) featuring smart key, finish satin nickel.
4. Walls/Ceilings:
- 5/8" gypsum board with Level V finish, high glass wall with satin ceiling painted finishes.
5. Case goods/cabinets:
- Custom fabricated European overly box cabinets with lacquer face finish plastic laminate at all exposed surfaces; lacquer finish doors and/or aluminum-framed glass doors, full length decorative stainless steel pulls. (See interior elevations for styles and layouts of all areas). Option: European cabinet system, manufacturer and style as selected by Owner.
6. Flooring/Tile:
- Oversized marble and/or porcelain tile with thru-body color, thin-set application atop acoustical board underlayment and tile-backer board over existing plywood sub-floor (upper floors only). Provide allowance for tile purchase of \$8.00/sq.ft. (including taxes & delivery), installation and accessories to be in addition to noted allowance.
7. Walls/Tile:
- Standard marble and/or porcelain tile with thru-body color, thin-set atop tile backer board. Provide initial allowance for tile purchase of \$6.00/sq.ft. (including taxes & delivery). Installation and accessories to be in addition to noted allowance.
8. Walls/Specialty Mosaics:
- Decorative glass mosaic tile and/or 3-D shapes. Provide allowance for purchase of \$20.00/sq.ft. (including taxes & delivery). Allowance excludes installation and accessories.
9. Walls, Ceilings & Misc Wood Trim Paint:
- All walls and ceilings not noted as tile or plastic laminate veneers shall be painted (primer plus 2 coats), premium interior gloss at walls with satin enamel finishes at ceilings. Miscellaneous wood primed and painted to match adjacent surface finishes.
10. Elevator:
- 3-stop residential elevator equal to Garaventa 'Elvoron' Style 1 home elevator (36"x60" cab) with veneer panel interior finish, brushed stainless steel call stations and operator panel.
11. Railing Systems and Handrails at Stairs and Balcony:
- Custom fabricated CR Laurence Taper-Loc glass rail mounting system with ½" laminated glass panels per layouts and elevations noted on drawings. U-channel cap rail on glass equal to Morse Industries A40-1101, top rail equal to Morse Industries R14-4925-262-12 2.36"x0.78" Aluminum Tube. Top rail attached to cap rail with ¼"x1" wide aluminum plate welded in pattern shown on drawings.
12. Closet Systems:
- Custom per layouts and details noted on interior elevations.
13. Shower/Tub Enclosures:
- Tempered plate glass with concealed framing and stainless-steel hardware as required per layouts on drawings.
15. Prefabricated fireplaces:
- Provide and install new fireplace unit at the Main Level Sitting Room and the Master Bedroom equal to the following:
- Sitting Room: Regency City Series San Francisco CB-72E.
- Master Bedroom: Regency City Series San Francisco CB-60E.
- New units shall be placed in front of existing masonry fireplaces after removal of stone veneers. Coordinate installation to coincide with use of existing masonry flue systems by providing code-compliant connections for a complete system assembly and operation. Remove all existing masonry veneer finishes and modify existing structures as necessary to accommodate new specified boxes and all required accessories.
16. Shade Systems:
- Low-voltage fully automatic roller shades equal to Mecho Whisper Shade IQ2. Coordination to be provide for wiring rough-in with electrical.
17. Plumbing Fixtures:
- Code-compliant rough-in materials for water and sewer, premium grade lavatories, tubs, water closets, and faucets/controls. Provide allowance of \$50,000.00 for purchase of new items (including taxes and freight). Installation and accessories to be in addition to noted allowance. Final design/selection by others for the following:
- Countertop lavatories:
- Water closets (Master Bath):
- Water closets (Guest Rooms):
- Water closets (Powder Room & Office):
- Tub (Master Bath):
- Tub/shower (Guest Rooms):
- Faucets/Controls:
18. HVAC:
- Code compliant high velocity, multi-zone, minimum 16 SEER rated systems by Mitsubishi, Sanyo, Carrier or Trane, main duct system to be insulated sheet metal with flex duct used only for branch circuits minimum 8 ft. run; provide linear commercial grade diffusers and grilles at all locations. Final design, layout and specifications by others. Duct runs and equipment shall be made to work within existing floor and/or attic framing. Should modifications be necessary to structure to accommodate new installations, confer with Architect to coordinate needed modifications to plan and/or ceiling heights, etc.
19. Electrical:
- Code Compliant rough-in, light fixtures per spec sheets and fixture schedule provided; all rooms to have dimmer/switch controls. Provide and install wall recess mount low voltage controls where roller shade system noted. All switches and receptacles to be premium "Decora" style oversized plate covers and devices. Rough-in to be provided for speakers in each room and outside patio/pool deck for central stereo system with home run conduit feeds and connection from each device back to noted A/V closet off main floor foyer. Final design, layouts, and specifications by others.

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Schematic Design Package
Renovations and Additions
to the Home of George & Sherry Pitslides

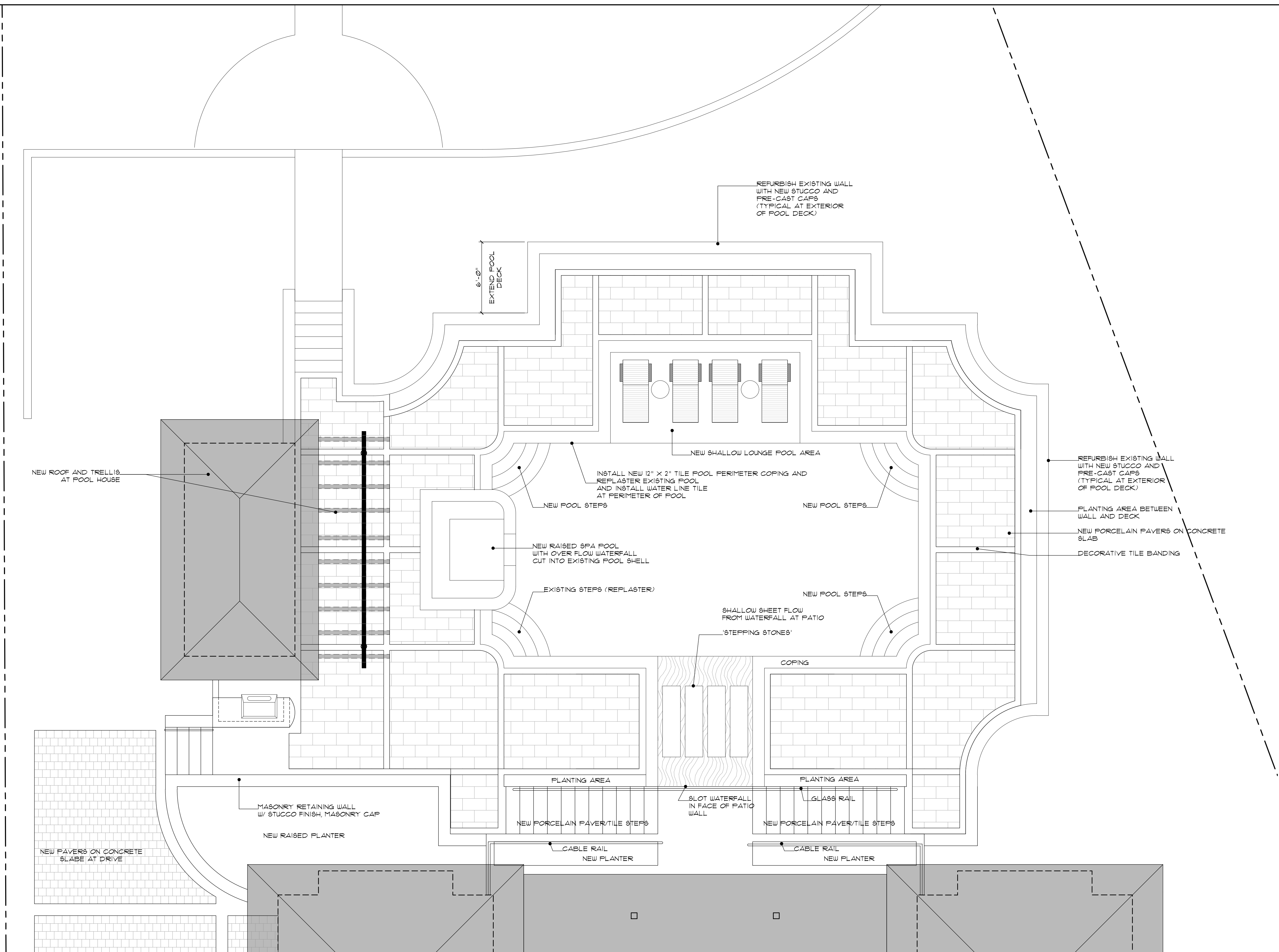
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OUTLINE SPECS
date JULY 1, 2022

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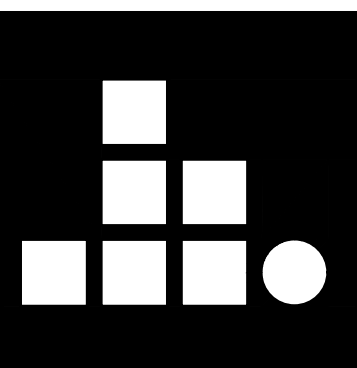
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1 POOL AREA
A2 SCALE : 1/4" = 1'-0"
0 1' 2' 4'



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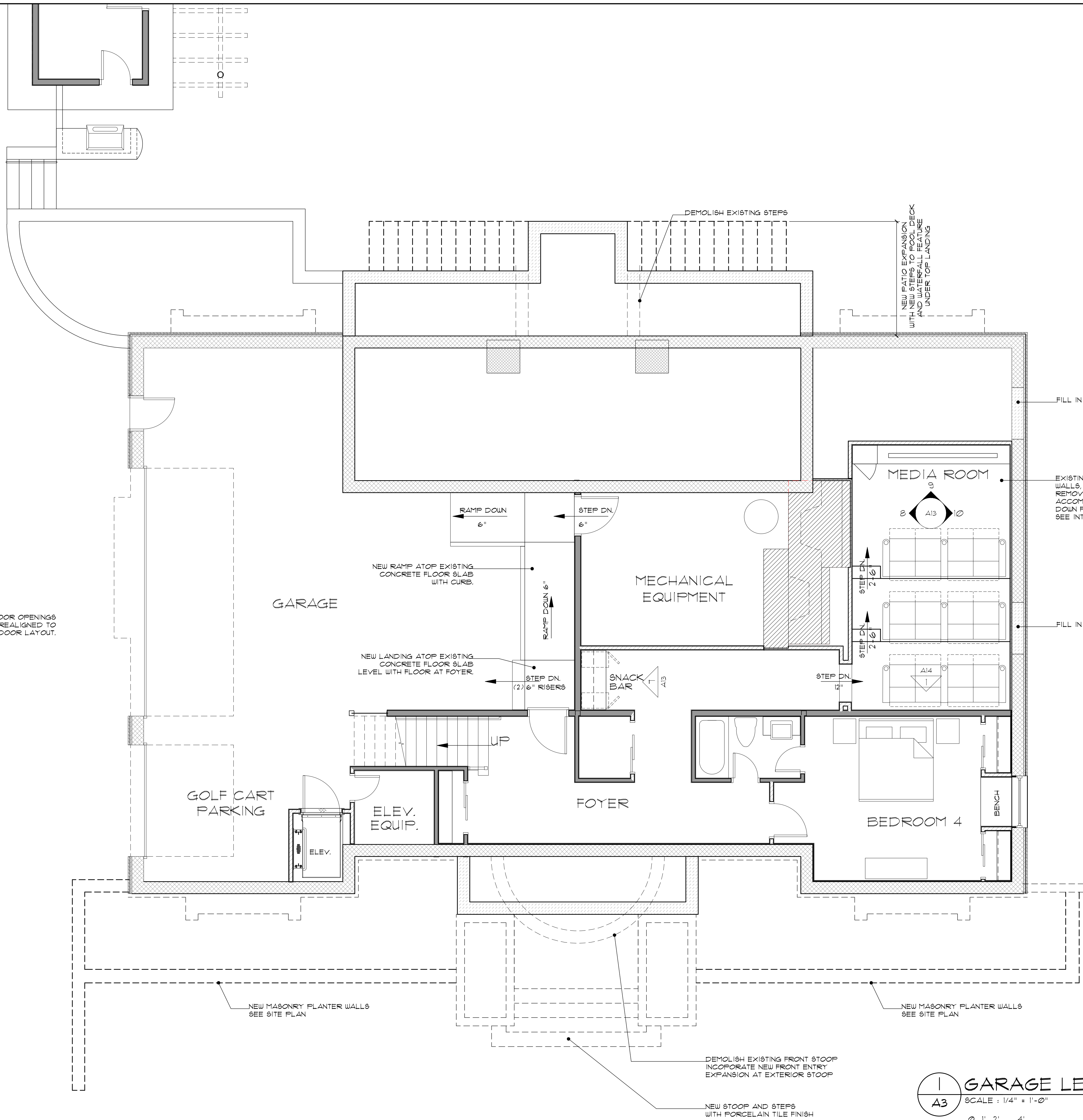
Schematic Design Package
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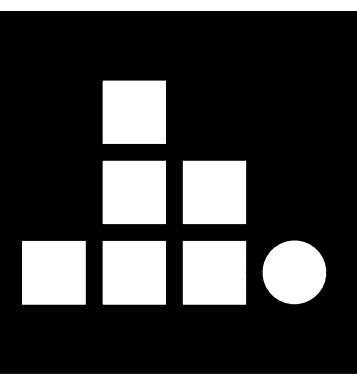
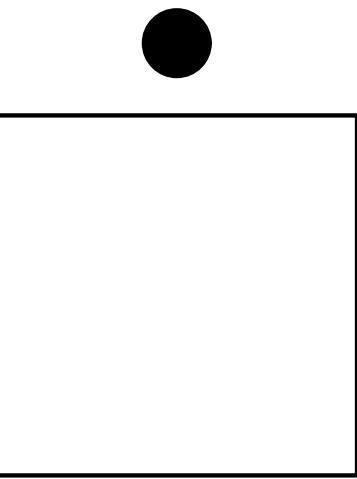
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1 GARAGE LEVEL PLAN
A3
SCALE : 1/4" = 1'-0"
0 1' 2' 4'



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date JULY 1, 2021	
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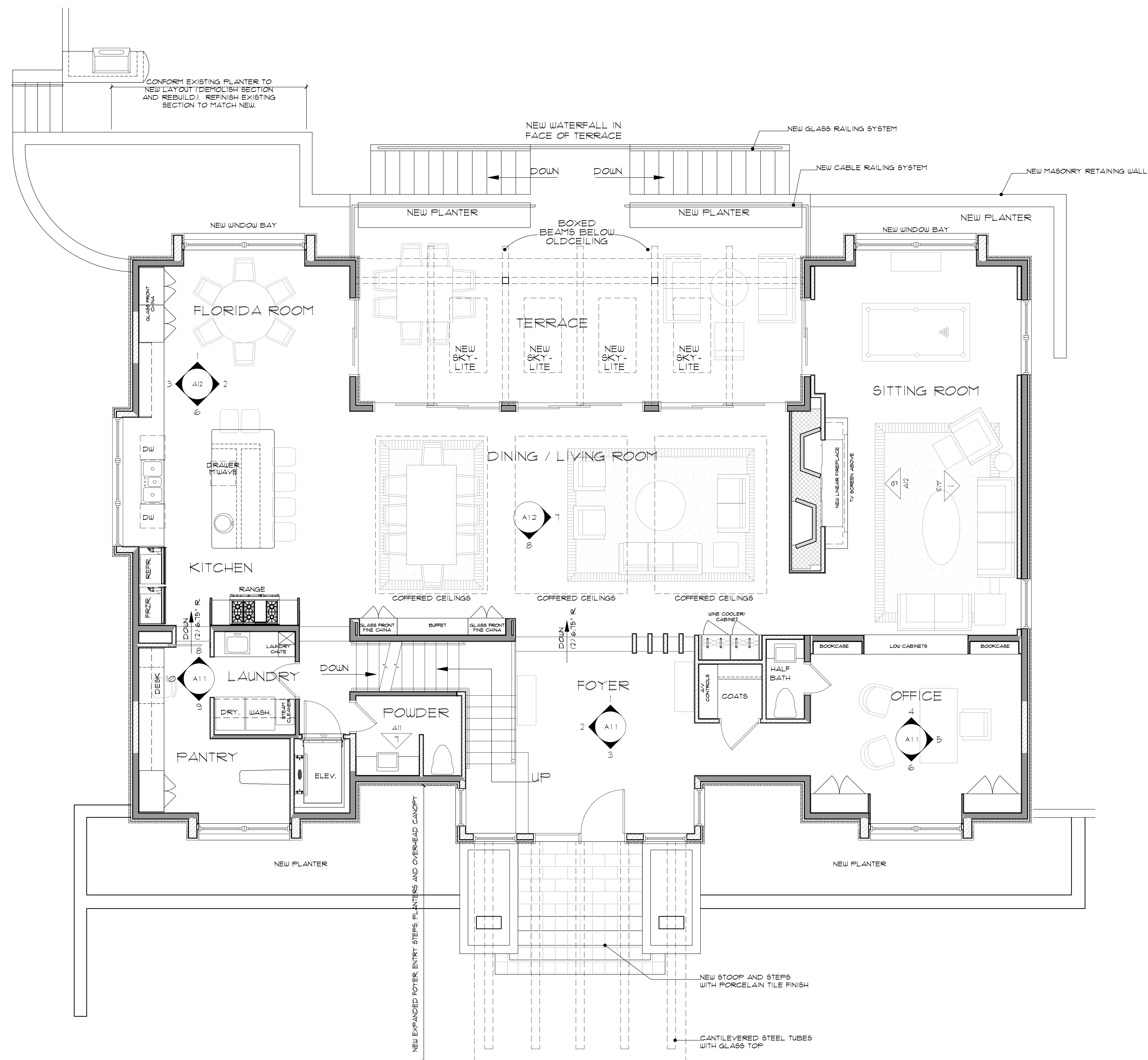
Schematic Design Package Renovations and Additions to the Home of George & Sherry Pitsilides

sheet title	
MAIN LEVEL PLAN	
date JULY 1, 2021	
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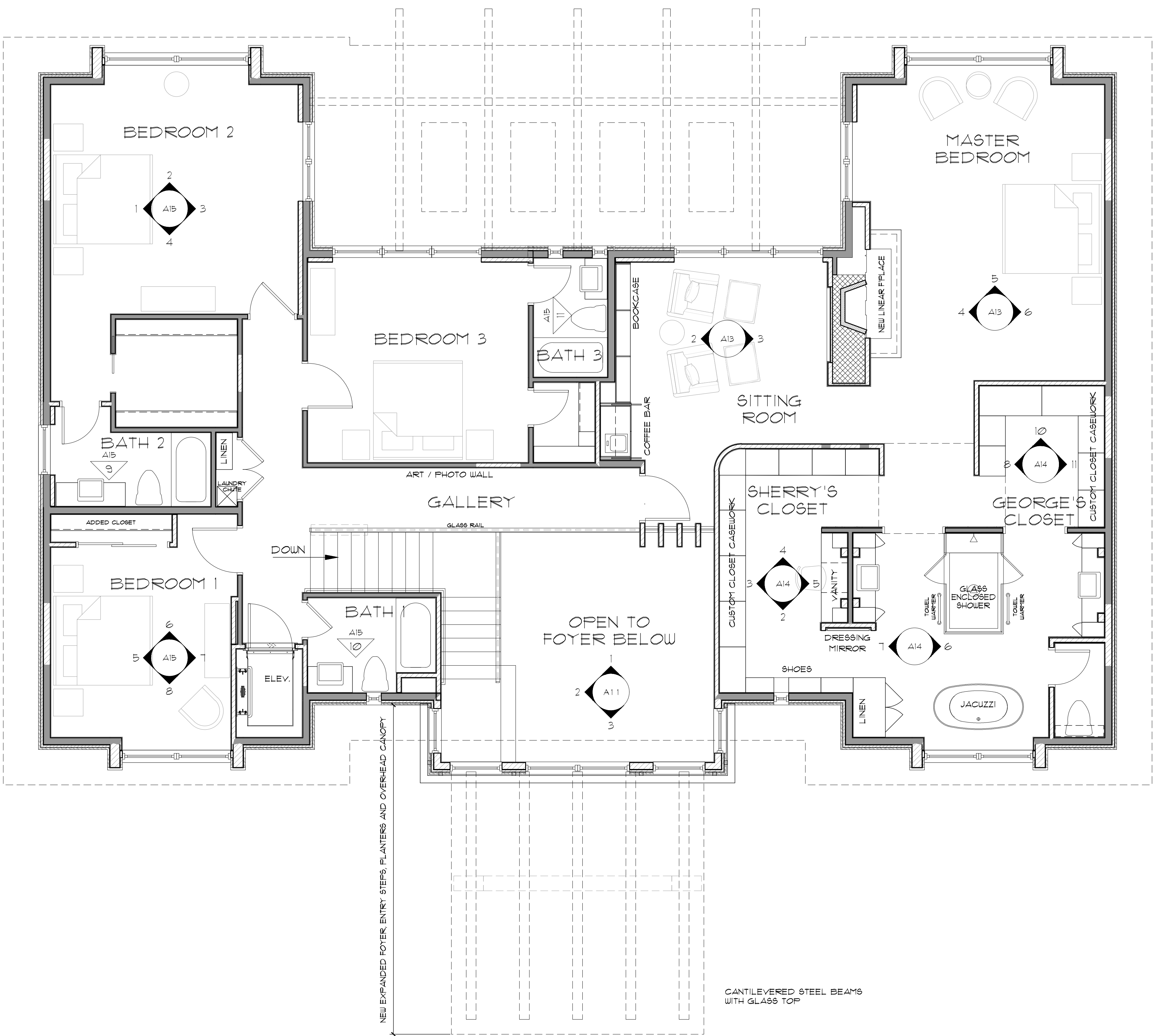
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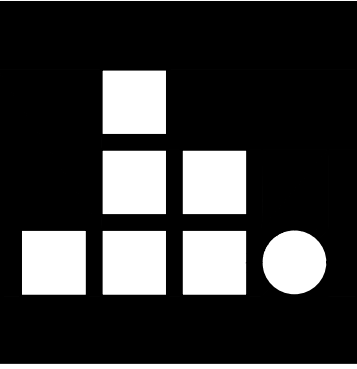
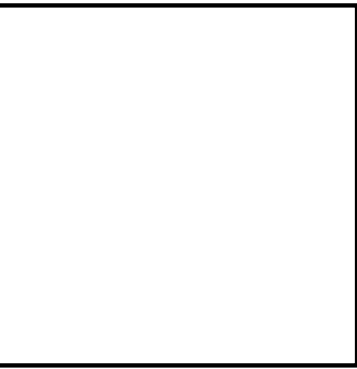


1 MAIN LEVEL PLAN
A4 SCALE : 1/4" = 1'-0"
0 1' 2' 4'



- WALL TYPES
- EXISTING EXTERIOR STUDWALL WITH ADDED TREATED 2x4 FURRING/ 1/2" SHEATHING/ E.F./S. FINISH
 - NEW STUDWALL WITH ADDED 2x4 FURRING/ 1/2" SHEATHING/ E.F./S. FINISH
 - EXISTING STUDWALLS
 - NEW STUDWALLS
- NOTE: INTERIOR FINISHES ARE ALL NEW AND WILL VARY. ALL DOORS AND FRAMES ARE NEW.

1 UPPER LEVEL PLAN
A/B
SCALE : 1/4" = 1'-0"
0 1' 2' 4'



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UPPER LEVEL PLAN	
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LIGHT FIXTURE SCHEDULE

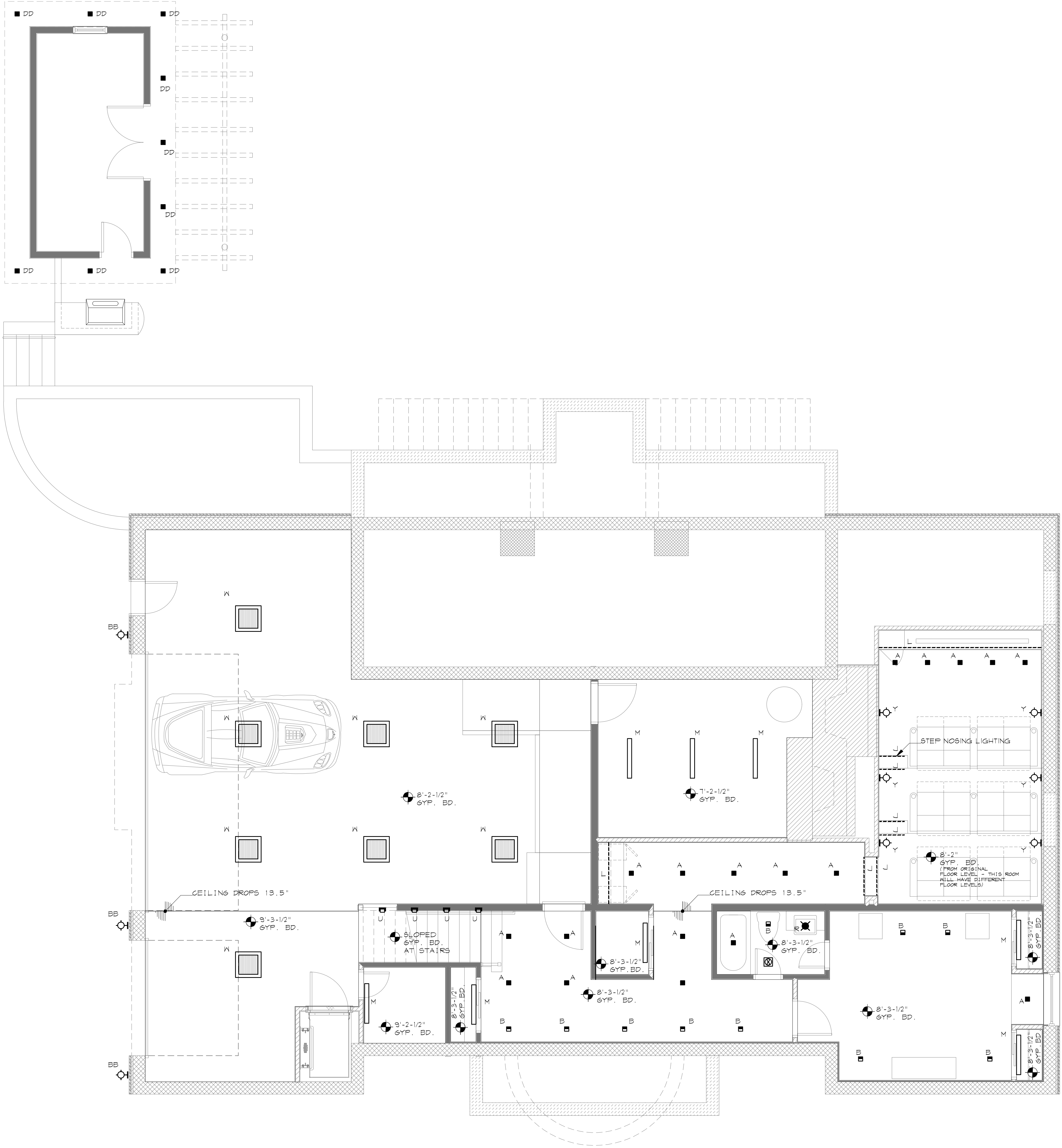
NOTE: SEE ATTACHED LIGHT FIXTURE SPEC SHEETS FOR TYPES AND STYLES.

- A. RECESSED DOWN LIGHT, INTERIOR
WAC R2DSN-F-930-WT
- B. DIRECTIONAL RECESSED FIXTURE, INTERIOR
WAC 4SESAR-W-930-WT
- C. SEMI-RECESSED DOWN LIGHT, INTERIOR (DINING TABLE)
TO BE SELECTED BY OWNER
- D. SEMI RECESSED DOWN LIGHT, INTERIOR (AT CASEWORK CEILING BETWEEN OFFICE AND SITTING)
EUREKA 4564-LED-8-30-17-120-DP-RC-CHR-SA-BLKA-3983
- E. WINE RACK WITH INTEGRAL LIGHTS
MP L183-SERIES FLOOR TO CEILING, ILLUMINATED WINE RACK. DRAWING TO FOLLOW.
- F. IN-FLOOR RECESSED UP LIGHTS
MP L304-2-W30H-N-C-O-MK3-S-MA (USE (1) REMOTE DRIVER #LED18W700IP-01 FOR ALL (5) FIXTURES)
- F1. IN-FLOOR RECESSED UP LIGHT WITH 20 DEGREE TILT
MP L304-2-W30H-N-C-20-MK3-S-MA (USE (1) REMOTE DRIVER #LED18W700IP-01 FOR ALL (3) FIXTURES)
- G. EXTERIOR WALL SCONCE EACH SIDE OF MAIN ENTRANCE DOORS
TWO PIL 079638 (MOUNT ONE ATOP THE OTHER)
- H. SUSPENDED ENTRY LIGHT, INTERIOR, WHITE OAK FINISH
MP L194-C1-4-W30H-S-CX (36")-WO (USE (1) REMOTE DRIVER #LED36W700IP-01 FOR ALL (9) FIXTURES)
- J. LED STRIP LIGHT FOR COVED CEILINGS, INTERIOR
EXPRESS #OAX44-30K/FLEXMNT-SIL-INT/OAX-PFC-02-08/L-18G-2C-W-72
(USE #PDCU-96-24, 96-WATT POWER SUPPLIES AS REQUIRED) USE ELV WALL BOX DIMMERS.
- K. LED STRIP LIGHT FOR COVED CEILINGS, EXTERIOR
EXPRESS #L48HEWET-T-MO-30K-SL65-SL65/ (USE #PDCU-96-24, 96-WATT POWER SUPPLIES AS REQUIRED)
USE ELV WALL BOX DIMMERS.
- L. LED STRIP LIGHT FOR UNDER WALL CABINETS AND STEP NOSING
LUMINII KS-XX-30K-SOHD-F-FC-WH-E-1/ (USE #PDCU-96-24, 96-WATT POWER SUPPLIES AS REQUIRED)
USE ELV WALL BOX DIMMERS.
- M. LED STRIP LIGHT FOR CABINET INTERIORS AND CLOSETS
WAC WS-35837-WT
- N. SURFACE MOUNTED LIGHT FOR EXTERIOR DROP-OFF CANOPY
PIL 077285/17082 (REMOTE DRIVEN)
- P. RECESSED CHANNEL LIGHT, INTERIOR CLOSETS
WAC LED-T-RCH3-WT/LED-T-RBOX3-WT/POWER SUPPLY, PLUS (2) ROWS OF WAC INVISILED PRO3 TAPE
- Q. SUPSENDED MOUNTED TUBE LIGHT FOR LAVATORIES & VANITIES
SCANGIFT STL501LCS
- R. SEMI-RECESSED LIGHT FIXTURE OVER SECONDARY BATHROOM VANITIES
OXYGEN 3-309-124
- S. WALL MOUNT LIGHT FIXTURE FOR LAVATORIES & VANITIES
OXYGEN 3-559-24
- T. RECESSED WALL MOUNT STEP LIGHTING
PIL 074680/310407
- U. RECESSD WALL MOUNT STEP LIGHTING
WAC WL-LED201-30-WT
- V. SUSPENDED LIGHT FIXTURE OVER TUB AT MASTER BATH
MOFO PD-92927-PN
- W. SURFACE MOUNTED GARAGE LIGHT
TGS 88-22-40-35-T-F/SK-SURFACE MOUNT KIT
- Y. WALL SCONCES AT MEDIA ROOM
MOFO WS-66734-PN
- Z. SUSPENDED FIXTURE OVER KITCHEN ISLAND
LEUCOS 'AXEL' #1622 I DO NOT REP THIS LINE. BE SURE THAT THIS IS WHAT YOU WANT.
- AA. IN-GROUND BRASS UP LIGHT IN FRONT OF DROP-OFF CANOPY COLUMNS
WLL 5032-30-BBR
- BB. WALL SCONCE AT GARAGE DOORS
MOFO WS-W1122-GH
- CC. SOFFIT LIGHTING UNDER MAIN ROOF EAVE
HEW 4DS-L30/840-DIM-UNV-RM-OF-CS-MWT
- DD. SOFFIT LIGHTING UNDER POOL HOUSE ROOF EAVE
HEW 4DS-L20/840-DIM-UNV-OM-OW-CS-MWT
- EE. EXTERIOR SURFACE MOUNT DPWNLIGHT ON TRELLIS
PATHWAY C71S-5-3K-W-WL

LIGHT FIXTURE SYMBOL LEGEND

NOTE: SEE ATTACHED LIGHT FIXTURE SPEC SHEETS FOR TYPES AND STYLES.

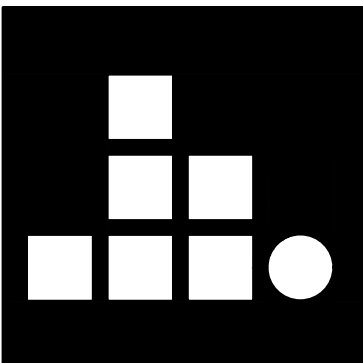
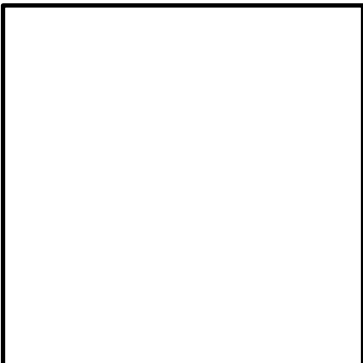
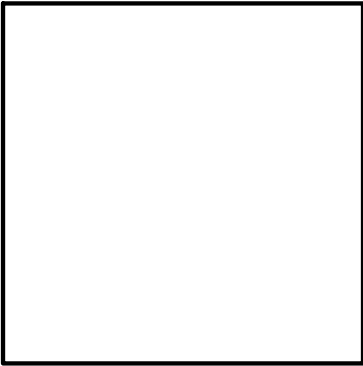
-  SURFACE MOUNTED UTILITY LIGHTING
-  WALL MOUNTED FIXTURE
-  CEILING MOUNTED FIXTURE
-  SEMI-RECESSED CEILING FIXTURE
-  SUSPENDED CEILING FIXTURE
-  RECESSED CEILING FIXTURE
-  RECESSED FLOOR MOUNT FIXTURE
-  DIRECTIONAL RECESSED CEILING FIXTURE
MOUNT CENTER OF FIXTURE 12" FROM FACE OF
WALL FINISH UNLESS NOTED OTHERWISE
-  CONTINUOUS LED LIGHT
-  EXHAUST FAN



1 GARAGE LEVEL CEILING PLAN

46 SCALE : 1/4" = 1'-0"

0' 1' 2' 4'



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Schematic Design Package
Renovations and Additions
to the Home of George & Sherry Pitsilides

sheet title
GARAGE LEVEL CEILING
date JULY 1, 2021

revision | date

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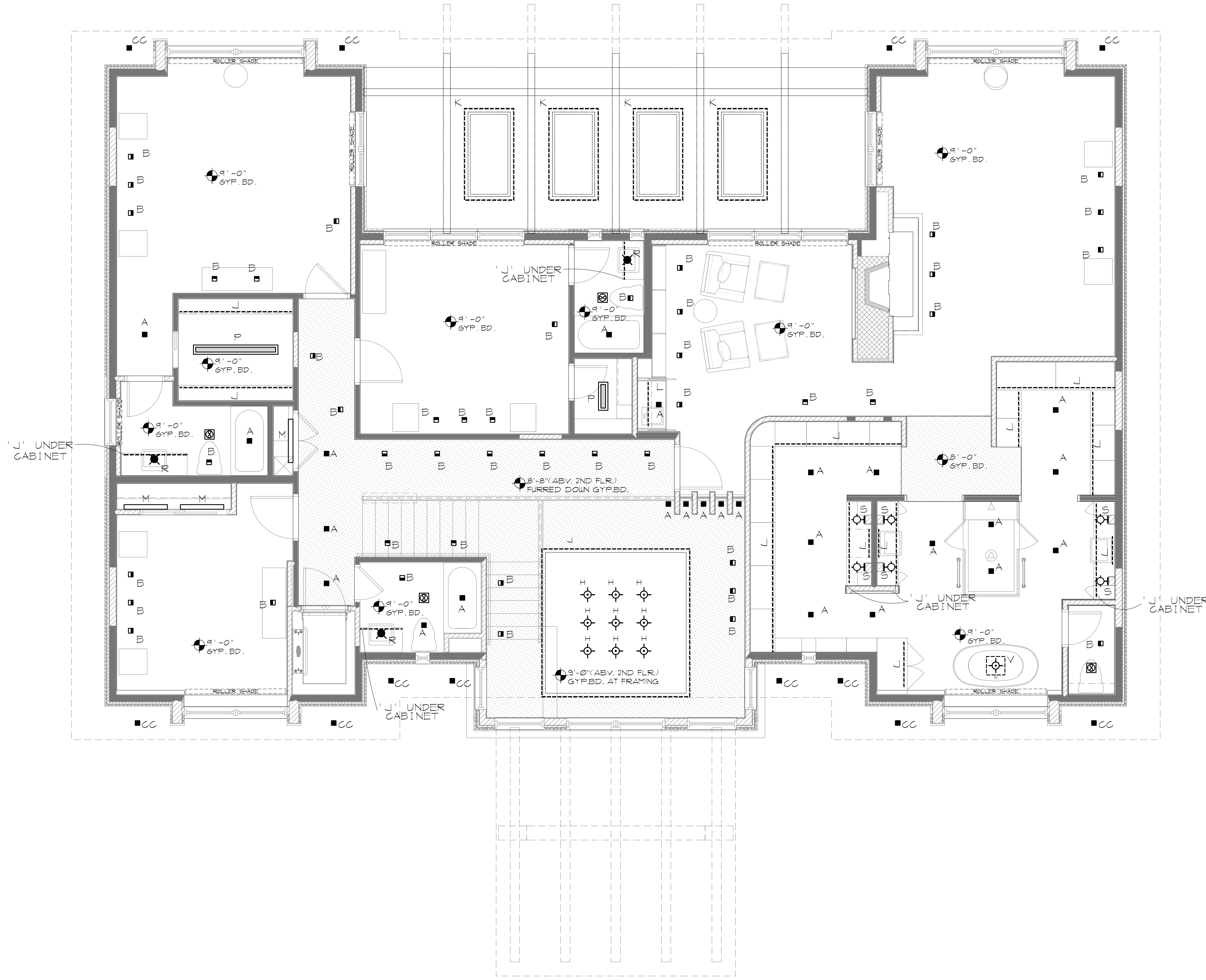


- 1
A7
- MAIN LEVEL CEILING PLAN
- SCALE : 1/4" = 1'-0"
- 0 1' 2' 4'

LIGHT FIXTURE SYMBOL LEGEND

NOTE: SEE ATTACHED LIGHT FIXTURE SPEC SHEETS FOR TYPES AND STYLES.

-  SURFACE MOUNTED UTILITY LIGHTING
-  WALL MOUNTED FIXTURE
-  CEILING MOUNTED FIXTURE
-  SEMI-RECESSED CEILING FIXTURE
-  SUSPENDED CEILING FIXTURE
-  RECESSED CEILING FIXTURE
-  RECESSED FLOOR MOUNT FIXTURE
-  DIRECTIONAL RECESSED CEILING FIXTURE
MOUNT CENTER OF FIXTURE 12" FROM FACE OF
WALL FINISH UNLESS NOTED OTHERWISE
-  CONTINUOUS LED LIGHT
-  EXHAUST FAN

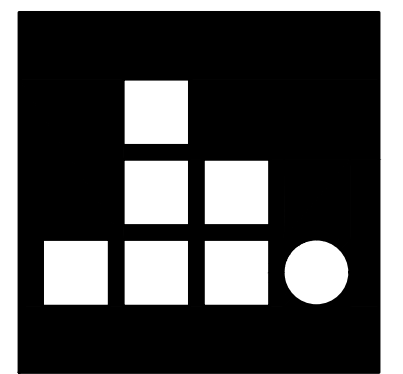


1 UPPER LEVEL CEILING PLAN
A8 SCALE : 1/4" = 1'-0"
0' 1' 2' 4'

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sheet title	
UPPER LEVEL CEILING	
date	JULY 1, 2021
revision	date

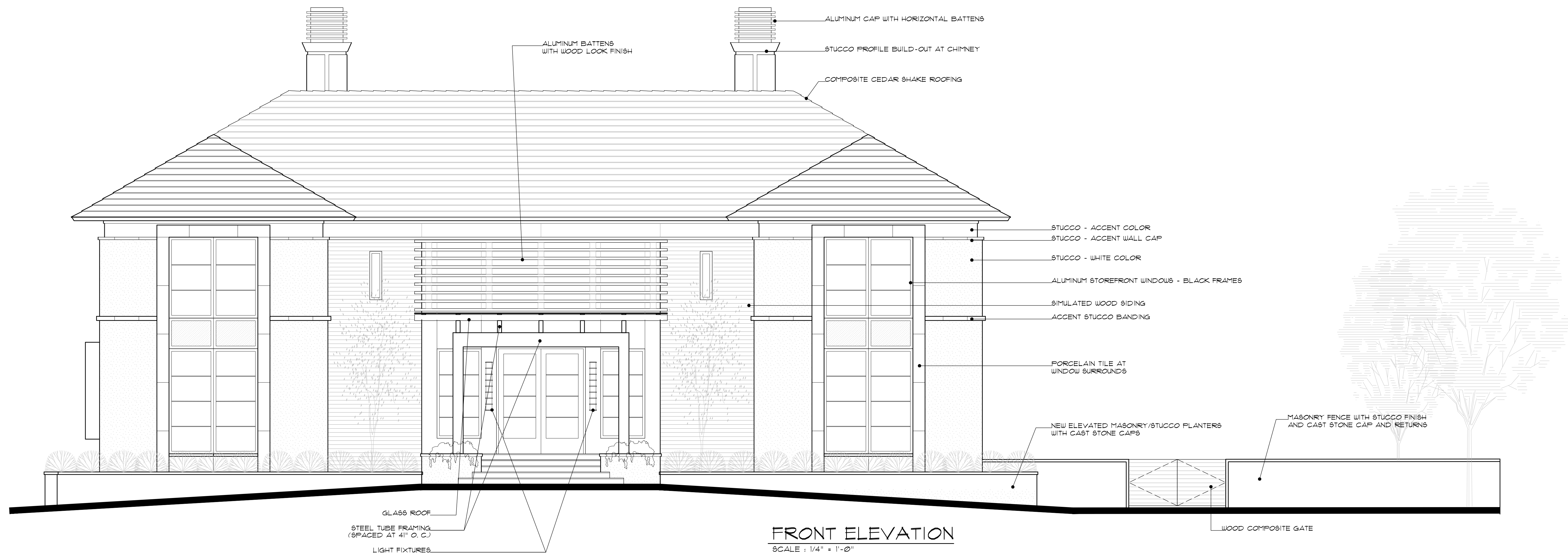
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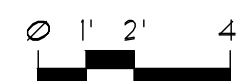
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618 chestnut road, suite 205
myrtle beach, s.c. 29572
phone 843-449-8000
e-mail admin@mozingowallace.com

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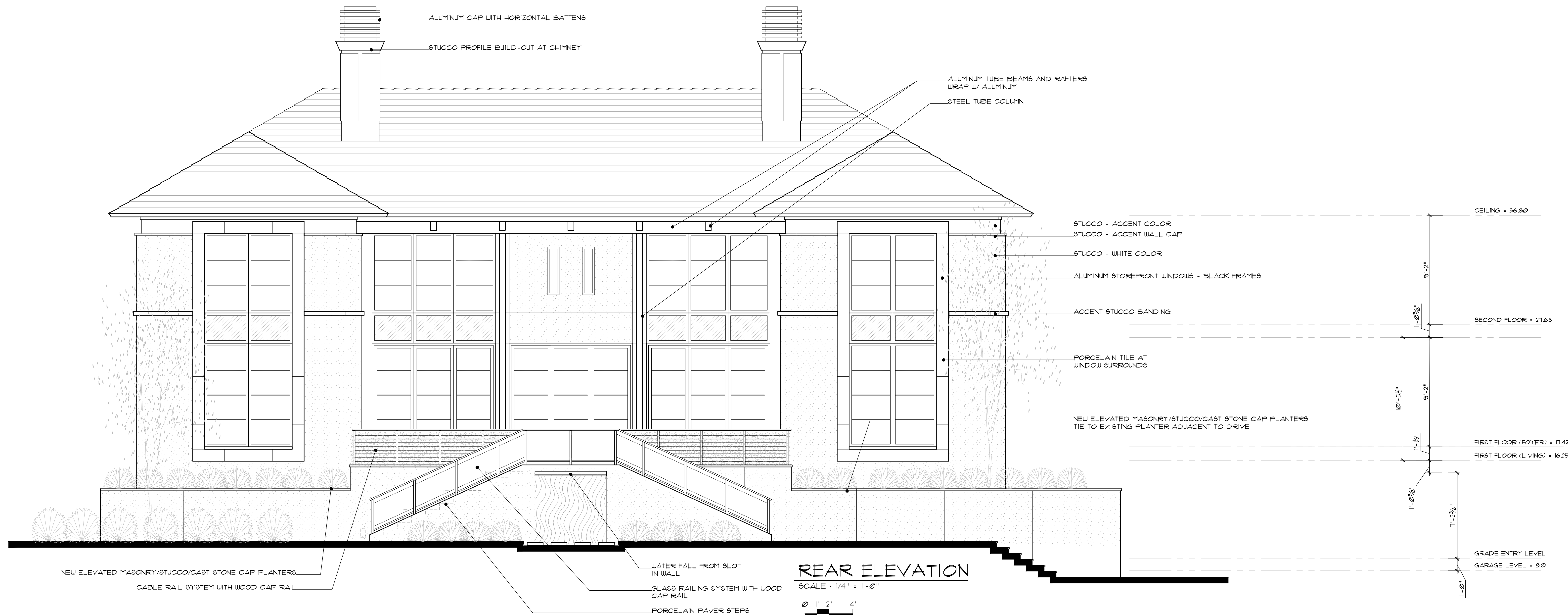


FRONT ELEVATION

SCALE : 1/4" = 1'-0"

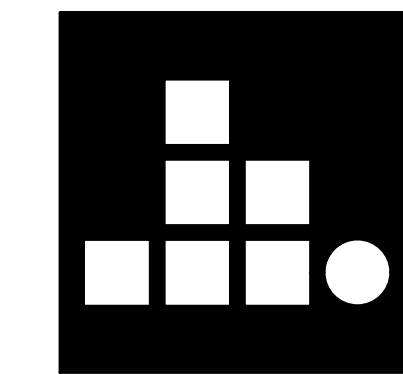
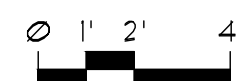


NOTE: SEE OUTLINE SPECS FOR ALL MATERIALS.



REAR ELEVATION

SCALE : 1/4" = 1'-0"



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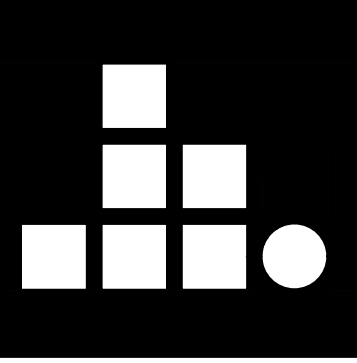
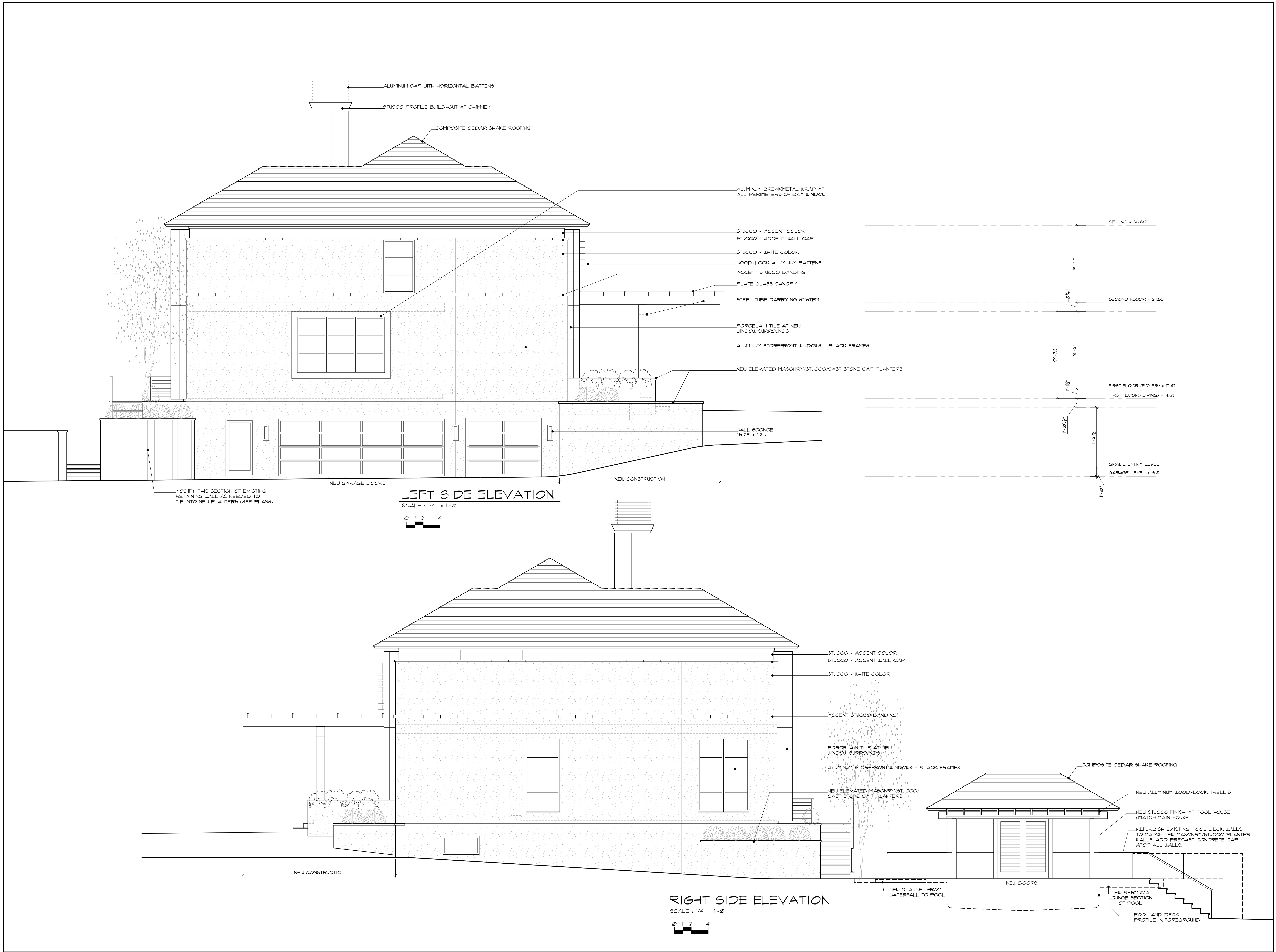
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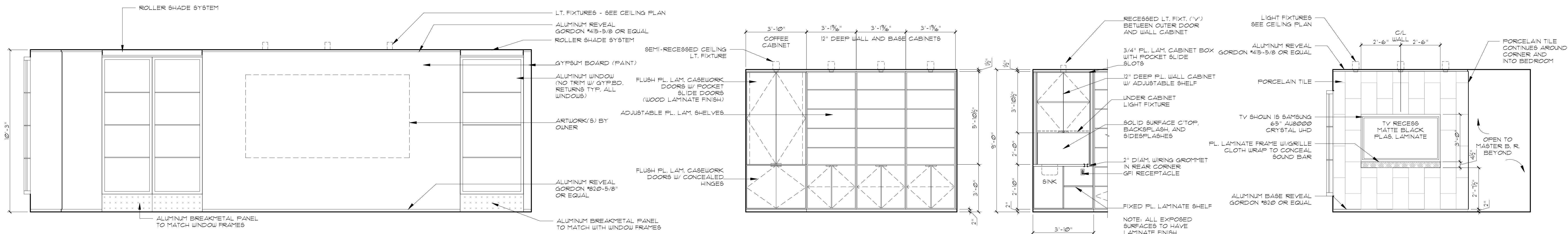
Schematic Design Package
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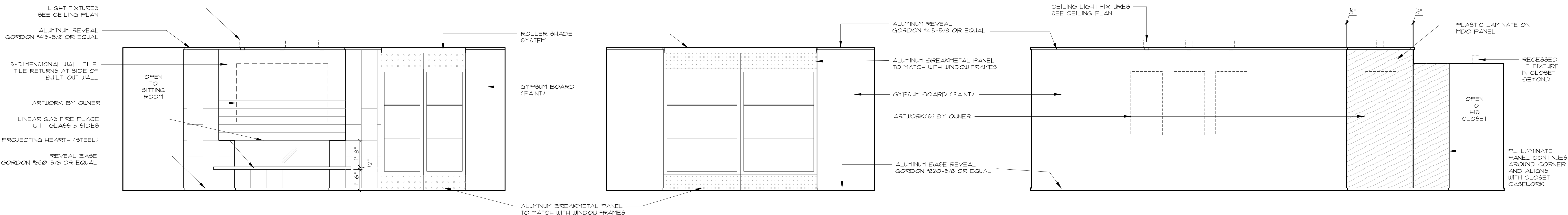


1 SITTING ROOM EAST WALL

2 MASTER B. R. SITTING ROOM WEST WALL

2A INSIDE COFFEE CABINET

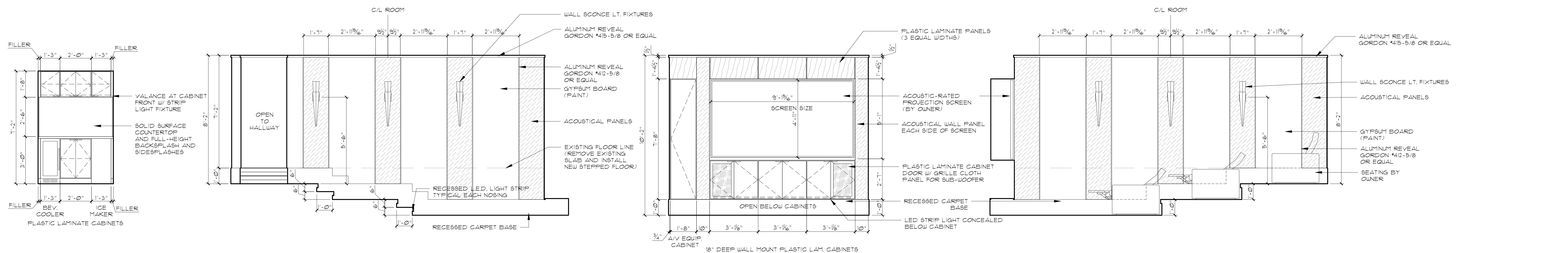
3 MASTER B. R. SITTING ROOM EAST WALL



4 MASTER B. R. WEST WALL

5 MASTER B. R. NORTH WALL

6 MASTER B. R. EAST WALL



7 MEDIA ROOM HALLWAY

8 MEDIA ROOM WEST WALL

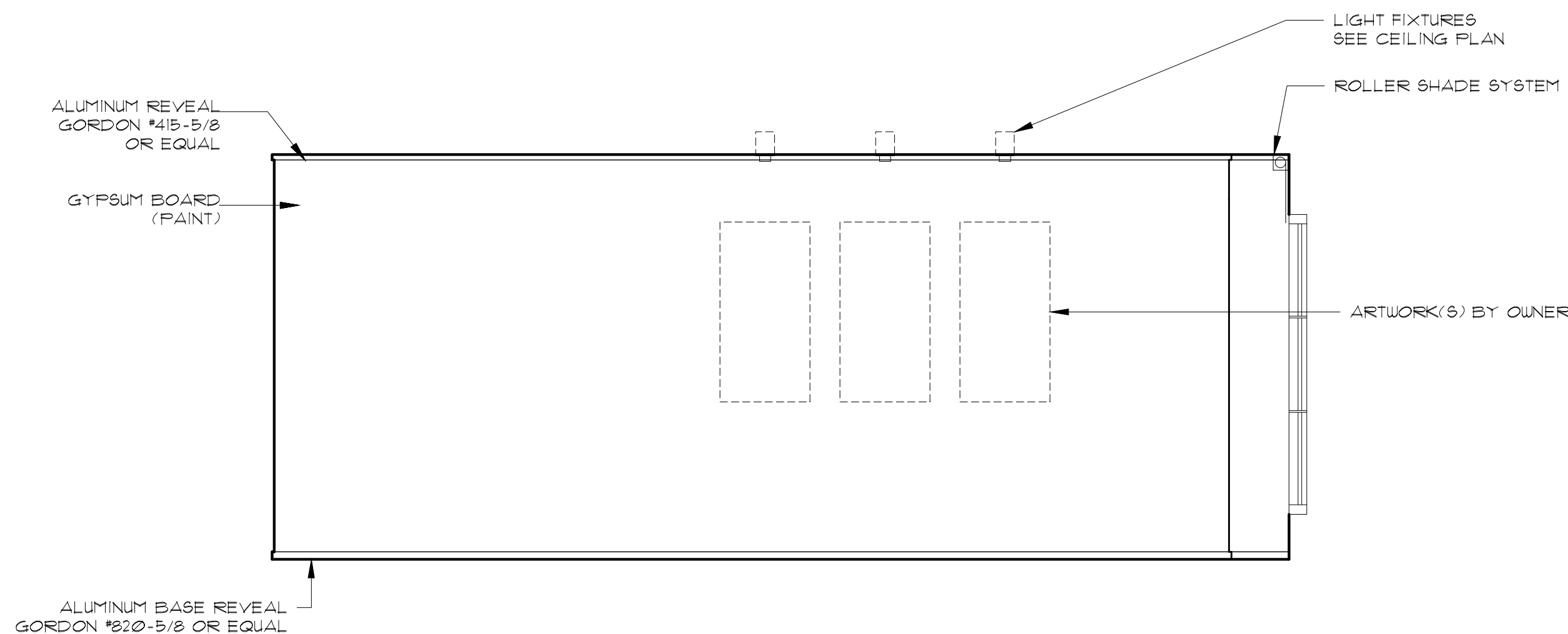
9 MEDIA ROOM NORTH WALL

10 MEDIA ROOM EAST WALL

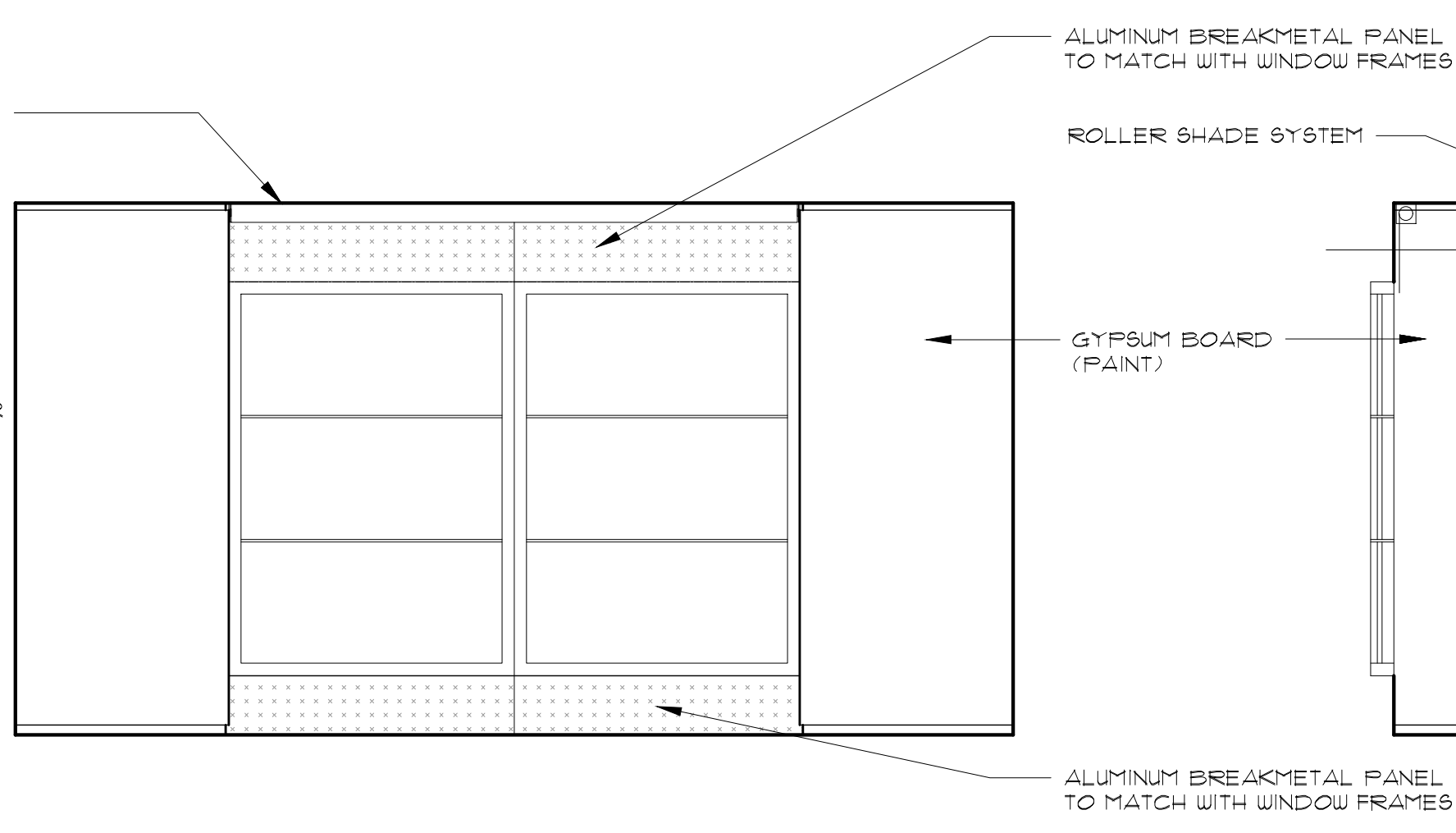
INTERIOR ELEVATIONS
SCALE : 3/8" = 1'-0"

0' 8 1/16" 32"

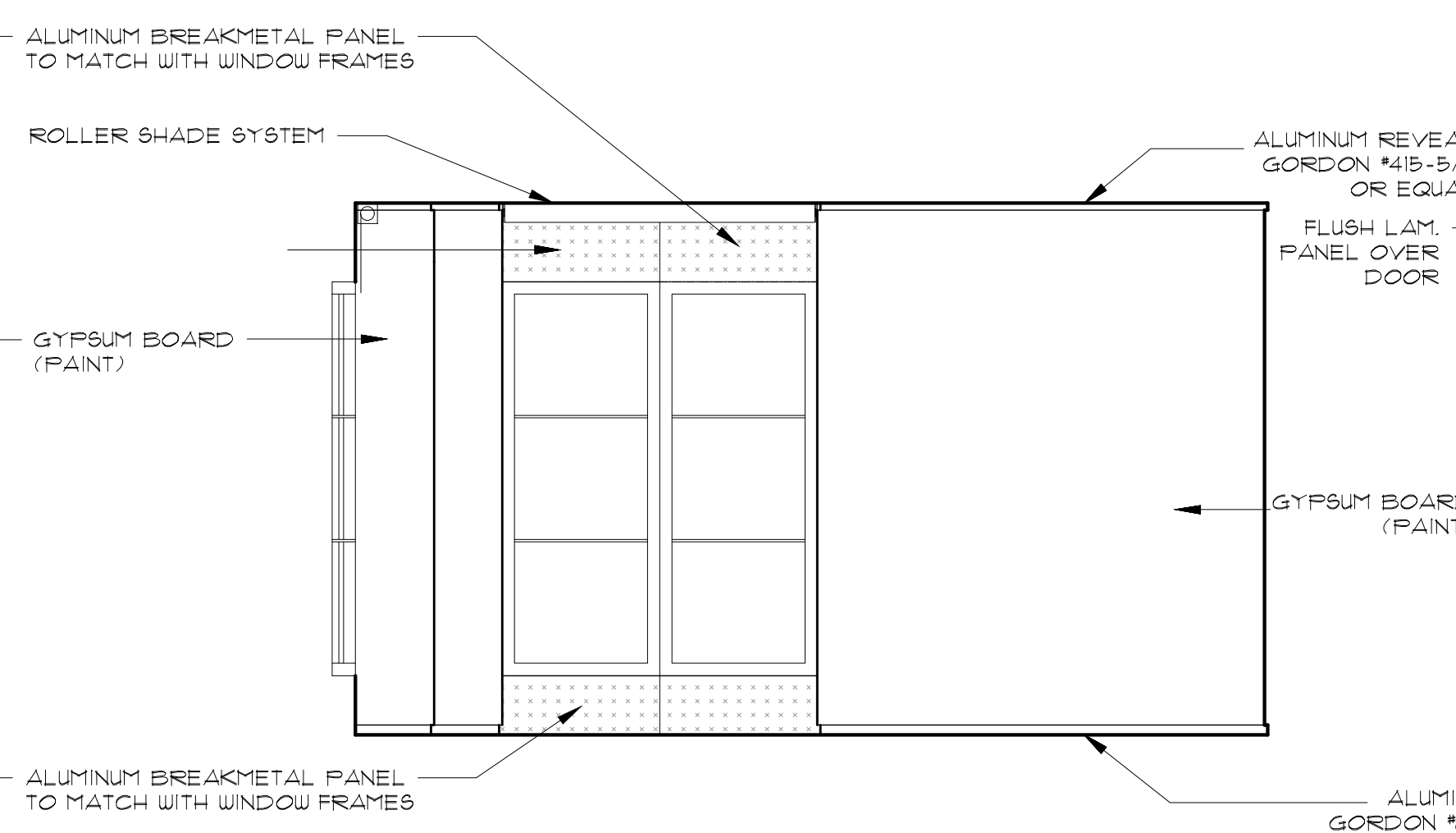




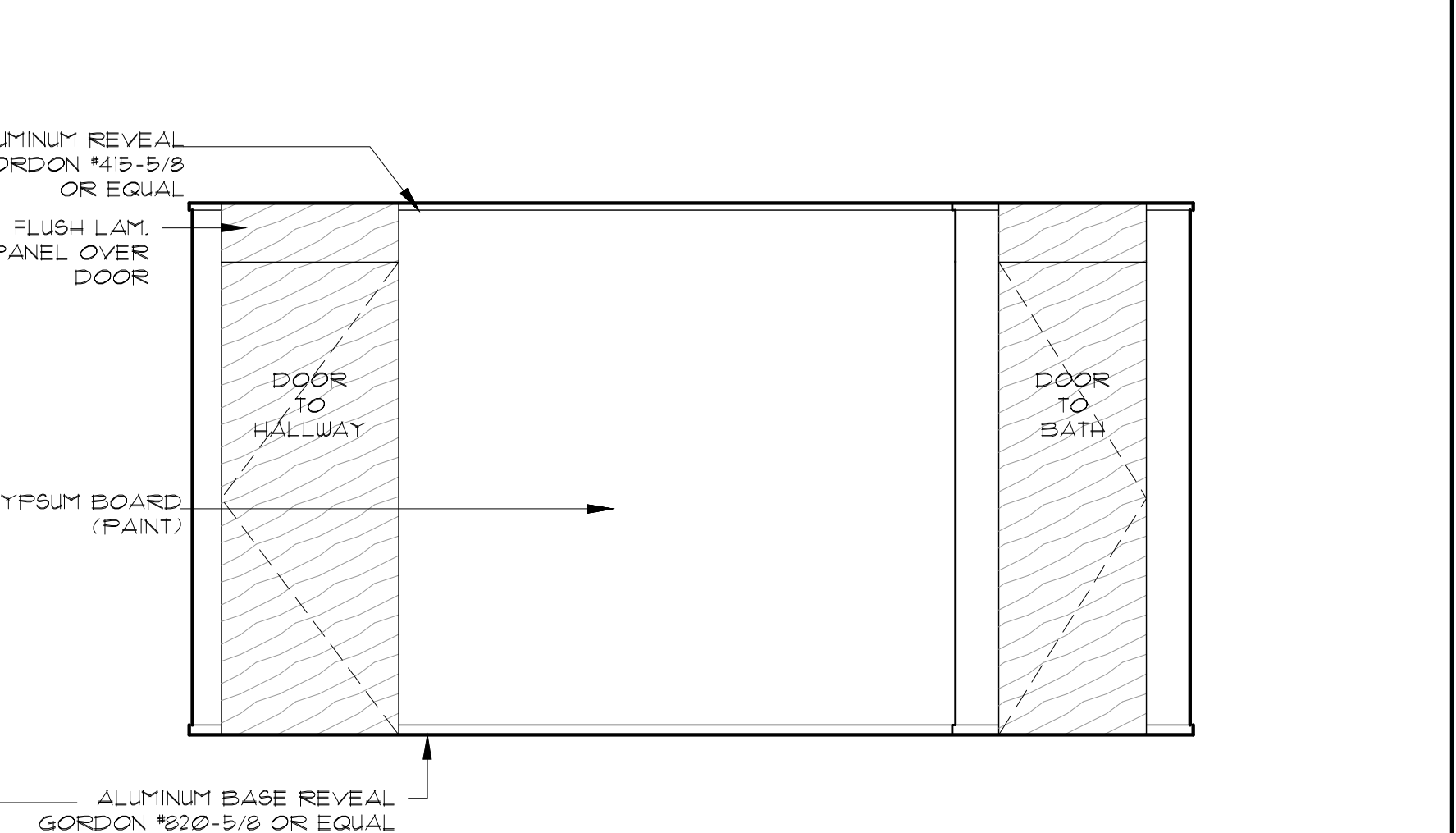
1 BEDROOM 2 WEST WALL
A15



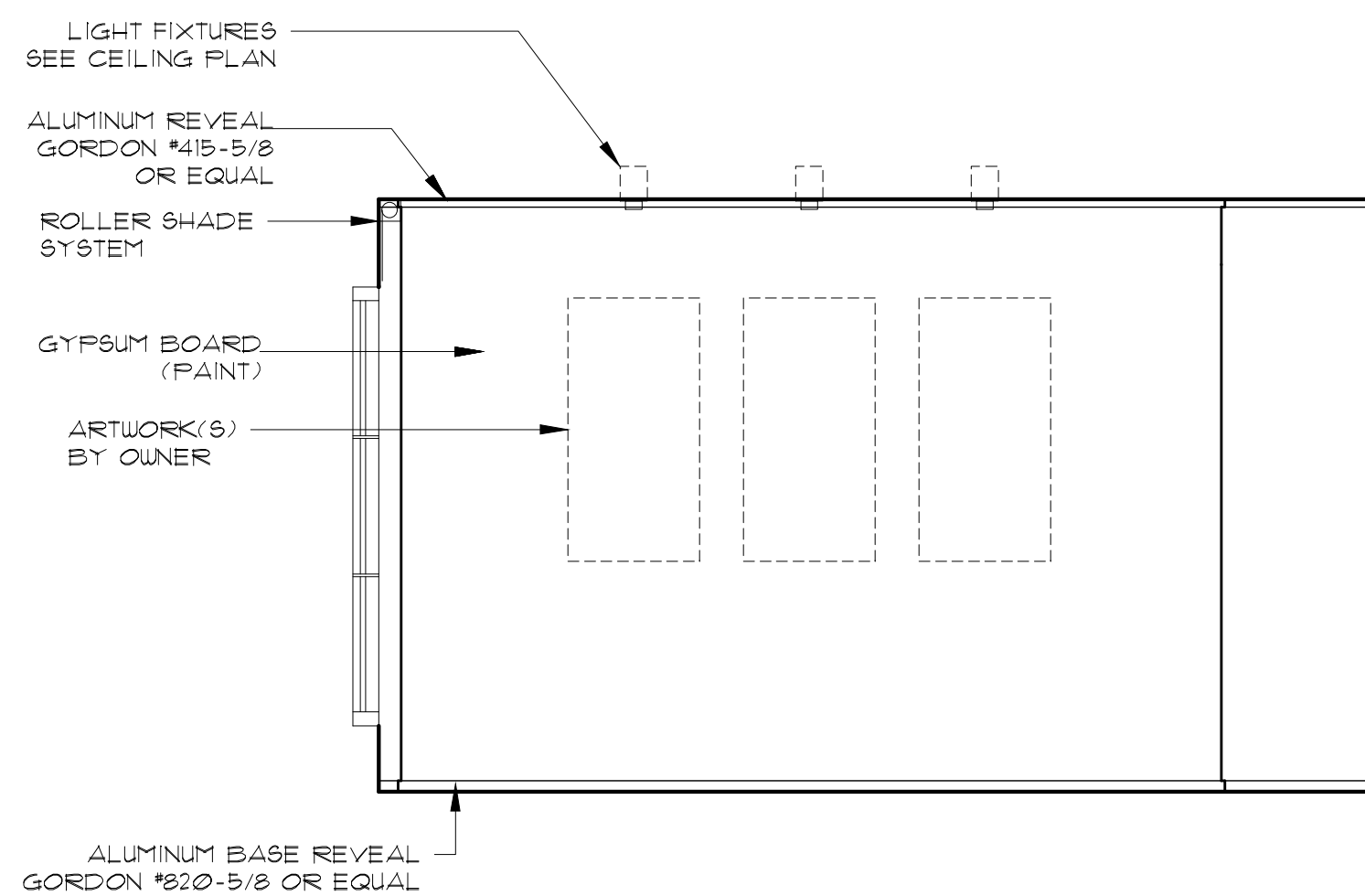
2 BEDROOM 2 NORTH WALL
A15



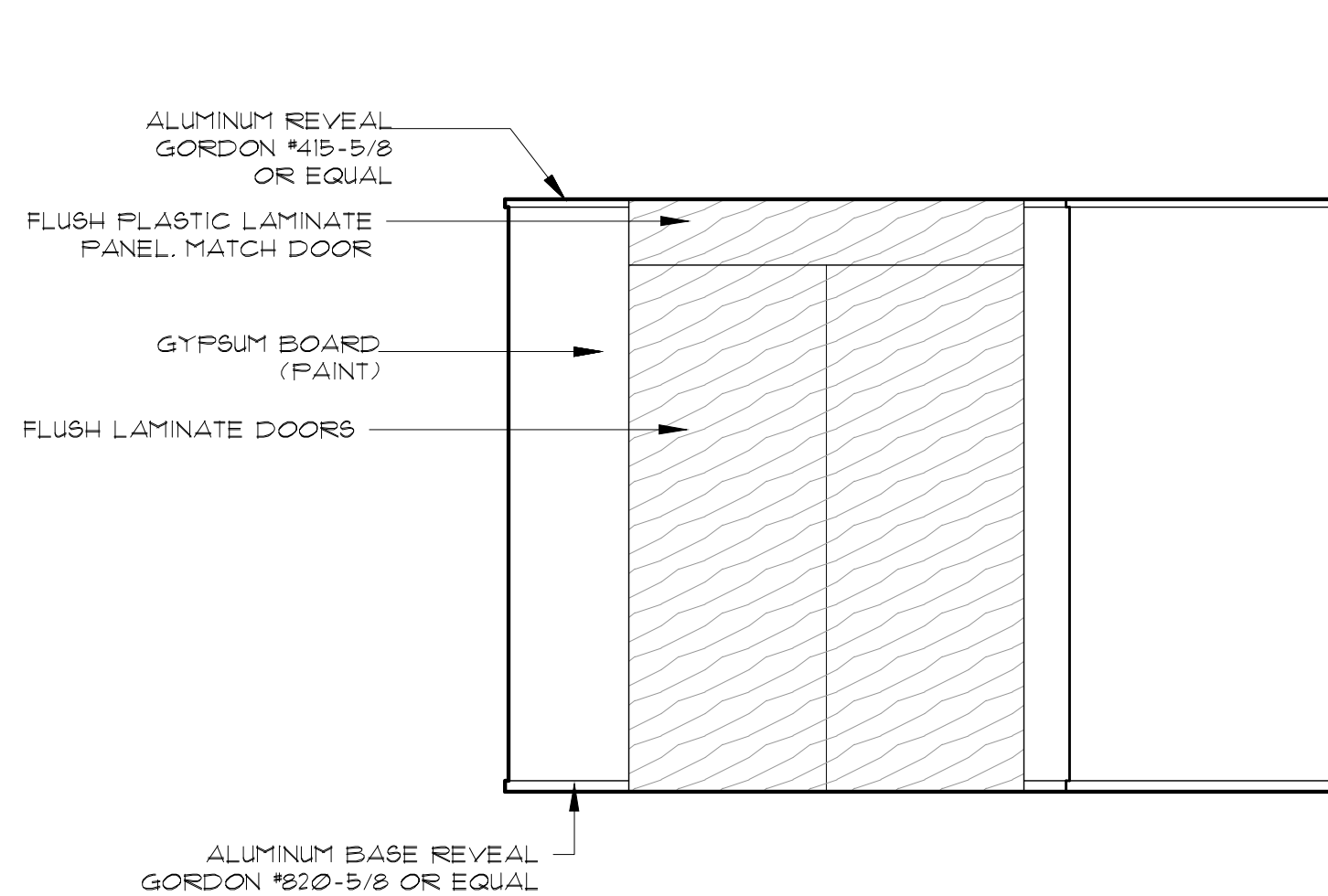
3 BEDROOM 2 EAST WALL
A15



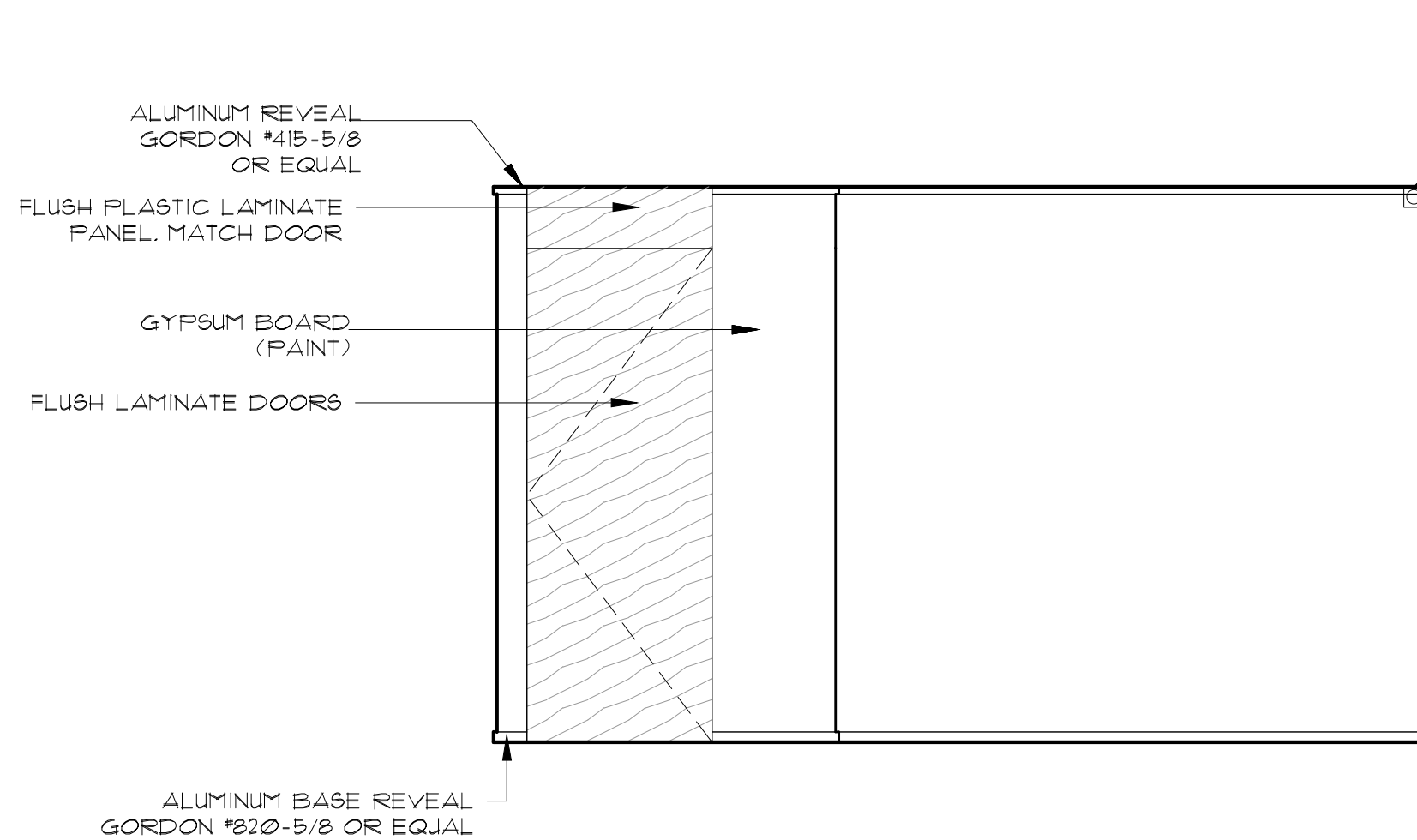
4 BEDROOM 2 EAST WALL
A15



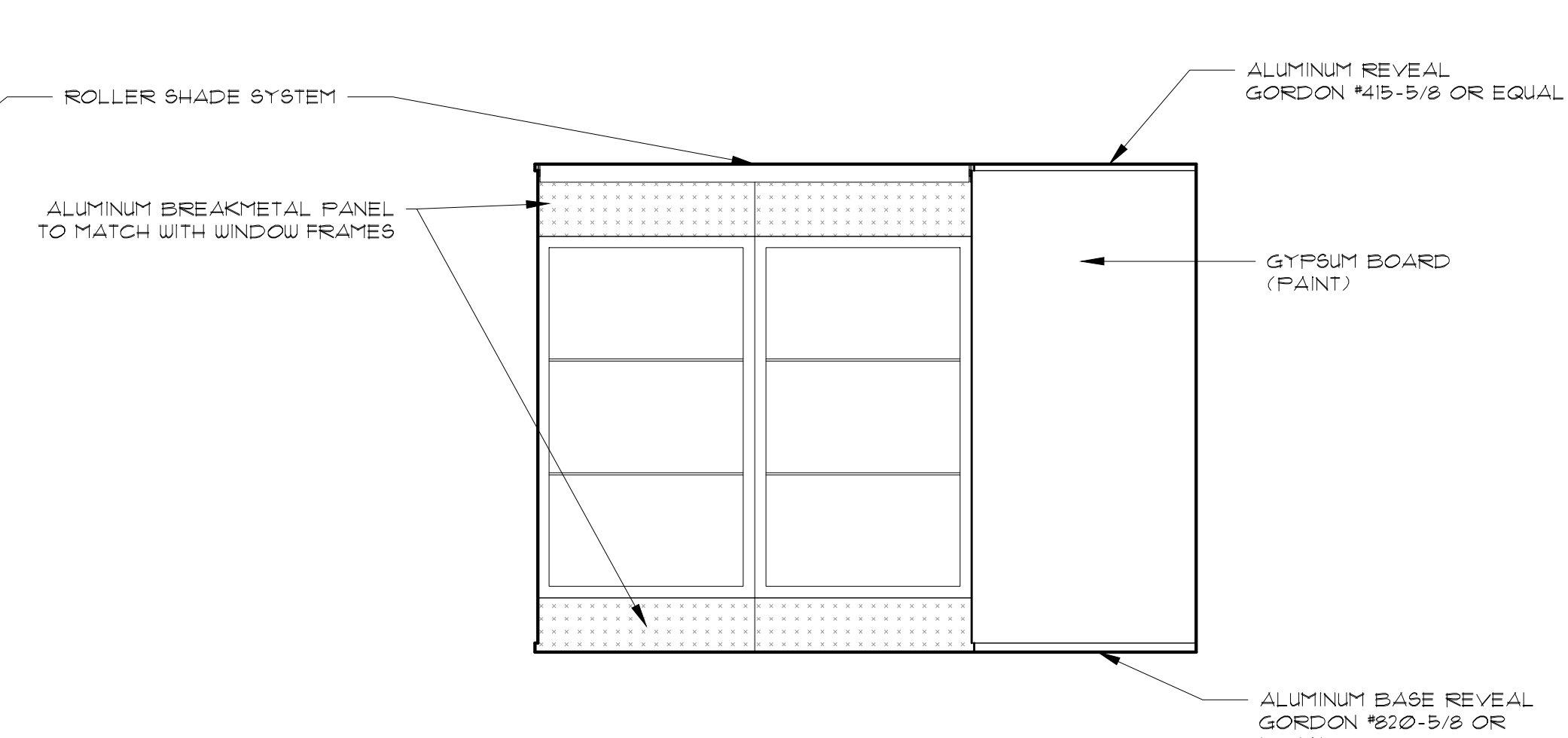
5 BEDROOM 1 WEST WALL
A15
NOTE: BEDROOM 3 TREATMENT SIMILAR TO BEDROOM 1



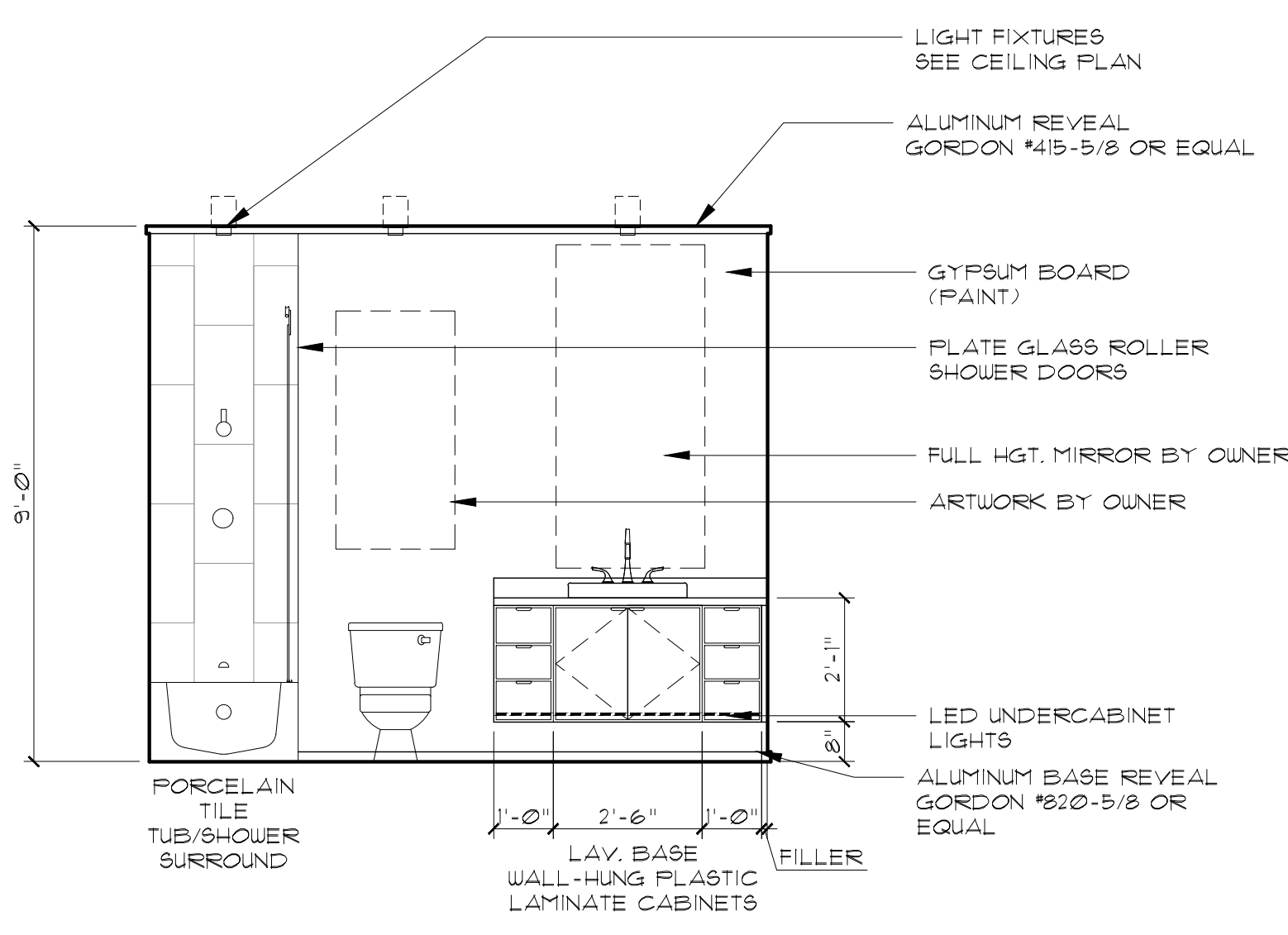
6 BEDROOM 1 NORTH WALL
A15
NOTE: BEDROOM 3 TREATMENT SIMILAR TO BEDROOM 1



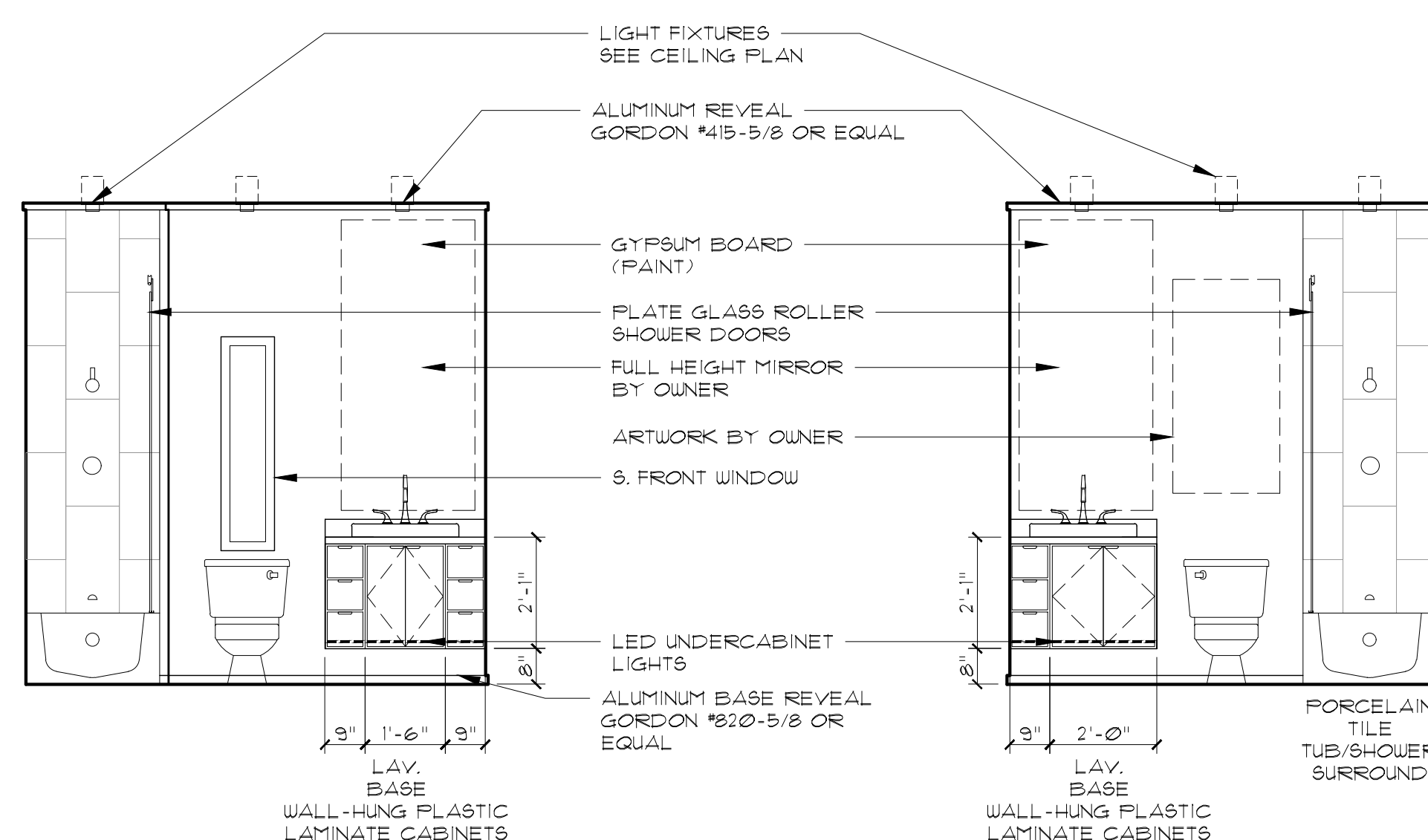
7 BEDROOM 1 EAST WALL
A15
NOTE: BEDROOM 3 TREATMENT SIMILAR TO BEDROOM 1



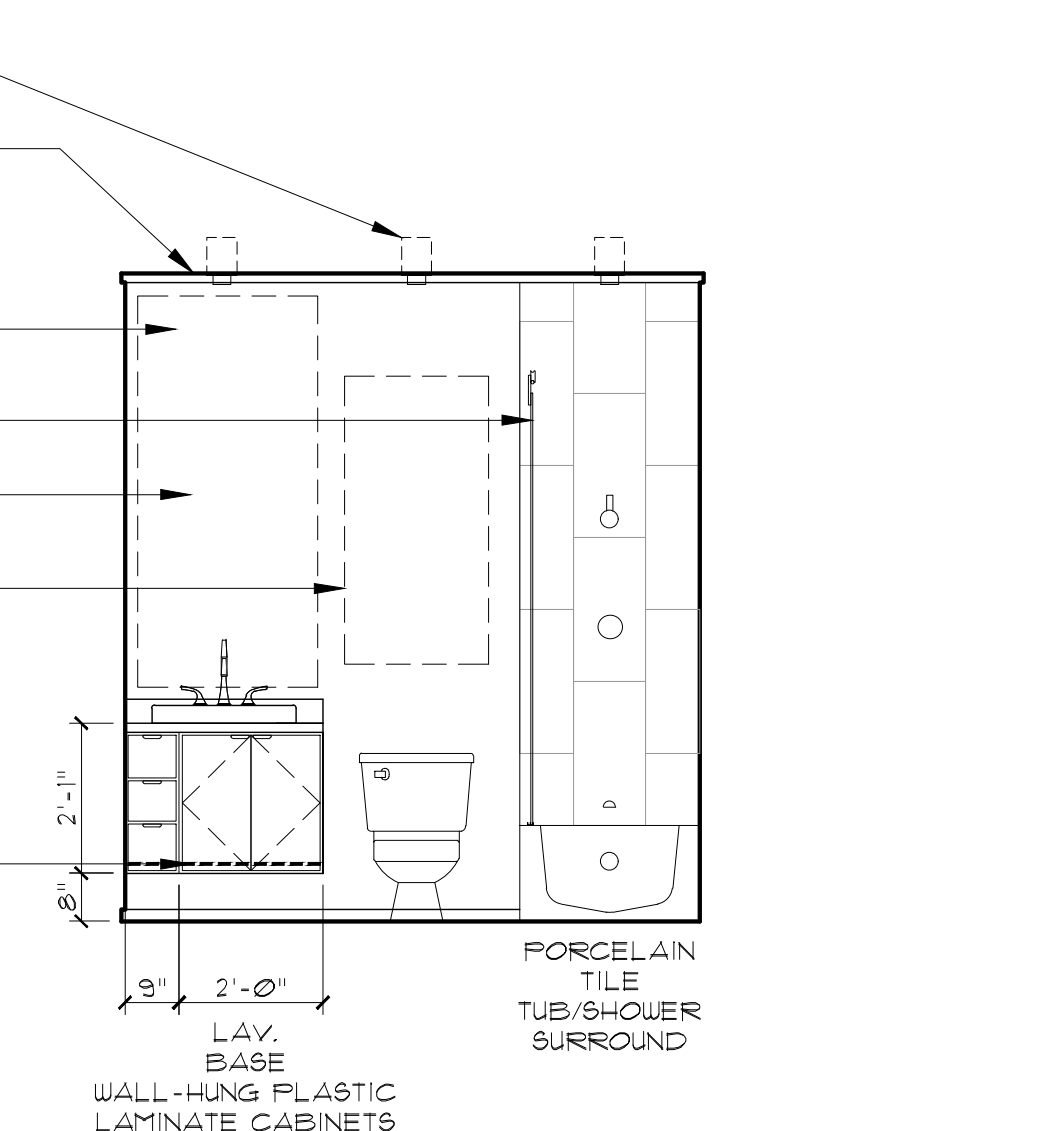
8 BEDROOM 1 SOUTH WALL
A15
NOTE: BEDROOM 3 TREATMENT SIMILAR TO BEDROOM 1



9 BATH 2 FIXTURE WALL
A15

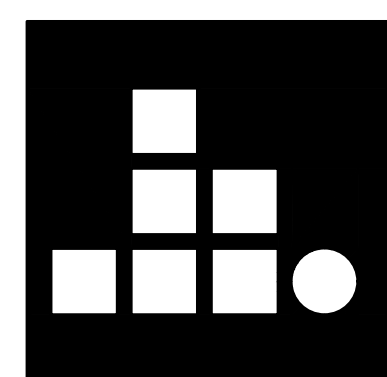
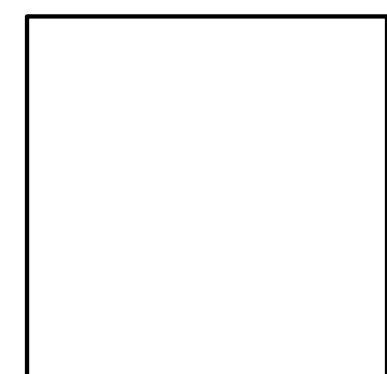
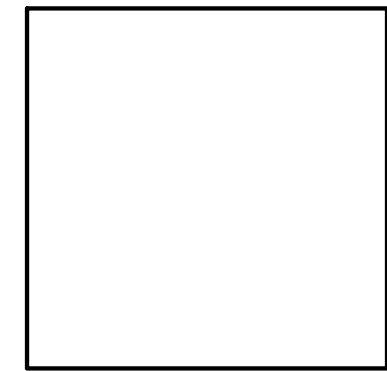


10 BATH 1 FIXTURE WALL
A15



11 BATH 3 FIXTURE WALL
A15

INTERIOR ELEVATIONS
SCALE : 3/8" = 1'-0"



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