





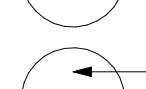

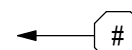
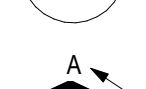

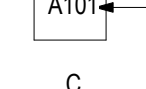
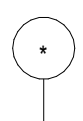




PROJECT TEAM










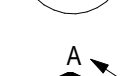

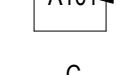

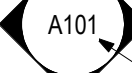
ssdailey@gmail.com
cwdailey@gmail.com
757.621.5660

INDEX OF DRAWINGS

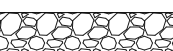



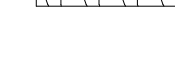



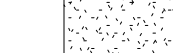
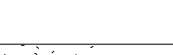


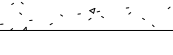
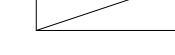
SYMBOLS

	BUILDING SECTION NUMBER SHEET WHERE SECTION IS FOUND		WINDOW TYPE		PLAN NOTE
	WALL SECTION NUMBER SHEET WHERE SECTION IS FOUND		ROOM NUMBER		ELEVATION NOTE
	DETAIL NUMBER OR LETTER SHEET WHERE DETAIL IS FOUND		PARTITION TYPE		DEMO NOTE
	EXTERIOR ELEVATION LETTER SHEET WHERE ELEVATION IS FOUND		DOOR NUMBER		
	INTERIOR ELEVATION LETTER SHEET WHERE ELEVATION IS FOUND		WITH LETTER OR NUMBER INDICATES CENTERLINE OF COLUMN		
			NORTH ARROW		

SYMBOLS

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	INTERIOR ELEVATION LETTER SHEET WHERE ELEVATION IS FOUND		WITH LETTER OR NUMBER INDICATES CENTERLINE OF COLUMN		
	NORTH ARROW				

MATERIAL DESIGNATIONS

	POROUS FILL		FINISH WOOD		SHEATHING/SUBSTRATE BOARD
	MORTAR		ROUGH CARPENTRY		GYPSUM BOARD
	CONCRETE		BLOCKING - SIZED AS REQUIRED		MINERAL FIBER INSULATION
	CMU		RIGID INSULATION		CAVITY INSULATION
	BRICK		EARTH		

GENERAL NOTES

- ## BUILDING THERMAL ENVELOPE

CLIMATE ZONE 4A (VIRGINIA BEACH, VA)						VRC TABLE R402.1.2			
FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAMED WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE AND DEPTH	CRAWLSPACE WALL R-VALUE
0.35	0.55	0.40	49	15 or 13+1c	8/13	19	10/13	10, 2 FT	10/13

- REFER TO VCC SECTION 402 FOR ADDITIONAL INFORMATION NOT NOTED HERE
- VALUES SHOWN ARE A MINIMUM REQUIRED BY CODE
- SEE UNVENTED ROOF NOTE FOR ADDITIONAL INFORMATION

ARCHITECT

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ARCHITECT

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VIRGINIA BEACH, VA 23451

MADELINE NERO, AIA, NCARB, LEED AP
ALTRUISTIC DESIGN
3330 PACIFIC AVE SUITE 300
VIRGINIA BEACH VA 23451

STRUCTURAL ENGINEER

TO BE DETERMINED

PLUMBING, MECHANICAL, ELECTRICAL ENGINEER

DESIGN BUILD BY GC

CONTRACTOR

TO BE DETERMINED

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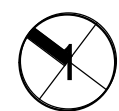
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NOT FOR
CONSTRUCTION

ADDITION AND RENOVATIONS FOR
DAILEY RESIDENCE
7300 WOODWAY LANE, NORFOLK, VIRGINIA 23505
CONCEPTUAL DOCUMENTS

PROJECT #	2233
DATE	2024.04.10
REVISIONS:	

D101
FIRST FLOOR DEMOLITION
PLAN



FIRST FLOOR DEMOLITION PLAN

3/16" = 1'-0"

DEMOLITION LEGEND:

- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING WALL TO REMAIN

DEMOLITION GENERAL NOTES:

- A. MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN IN SERVICE BEFORE PROCEEDING WITH DEMOLITION. PROVIDING BYPASS CONNECTIONS TO OTHER PARTS OF THE BUILDING.
- B. LOCATE, IDENTIFY, SHUT OFF, DISCONNECT, AND CAP OFF UTILITY SERVICES TO BE DEMOLISHED.
- C. CONDUCT DEMOLITION OPERATIONS AND REMOVE DEBRIS TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND SITE IMPROVEMENTS.
- D. PROVIDE AND MAINTAIN SHORING, BRACING, OR STRUCTURAL SUPPORT TO PRESERVE BUILDING STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE.
- E. PROTECT BUILDING STRUCTURE OR INTERIOR FROM WEATHER AND WATER LEAKAGE AND DAMAGE.
- F. PROTECT REMAINING WALLS, CEILINGS, FLOORS, AND EXPOSED FINISHES. ERECT AND MAINTAIN DUSTPROOF PARTITIONS.
- G. COVER AND PROTECT REMAINING FURNITURE, FURNISHINGS, AND EQUIPMENT.
- H. NEATLY CUT OPENINGS AND HOLES PLUMB, SQUARE, AND TRUE TO DIMENSIONS REQUIRED. USE CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION.
- I. PROMPTLY PATCH AND REPAIR HOLES AND DAMAGED SURFACES OF BUILDING CAUSED BY DEMOLITION. RESTORE EXPOSED FINISHES OF PATCHED AREAS AND EXTEND FINISH RESTORATION INTO REMAINING ADJOINING CONSTRUCTION.
- J. PROMPTLY REMOVE DEMOLISHED MATERIALS FROM OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM. DO NOT BURN DEMOLISHED MATERIALS.
- K. COORDINATE DEMOLITION WITH THE NEEDS OF THE NEW CONSTRUCTION AND NOTIFY THE OWNER OF ANY CONFLICTS.
- L. REMOVE ALL FLOOR FINISHES AND TRANSITION STRIPS. PREPARE FOR NEW FINISHES.
- M. COORDINATE ALL WALL DEMOLITION WITH STRUCTURAL EOR TO VERIFY NON-LOAD BEARING WALLS.

DEMOLITION NOTES:

1. REMOVE EXISTING DOOR AND FRAME ASSEMBLY COMPLETE. SALVAGE FOR POTENTIAL REUSE.
2. REMOVE EXISTING INTERIOR PARTITION TO THE EXTENTS INDICATED. REMOVE ALL ASSOCIATED ELECTRICAL WIRING, MECHANICAL, ETC. COORDINATE DEMOLITION EFFORTS WITH NEW WORK PLAN.
3. REMOVE EXISTING CASEWORK AND ALL ASSOCIATED HARDWARE, SUPPORTS, ETC.
4. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR FOR INSTALLATION OF NEW RAISED FLOOR AND FINISH.
5. REMOVE EXISTING APPLIANCE FOR REUSE IN NEW LOCATION - COORDINATE WITH OWNER.
6. REMOVE EXISTING STAIR ASSEMBLY.
7. REMOVE EXISTING EXTERIOR PARTITION COMPLETE TO THE EXTENTS SHOWN. COORDINATE DEMOLITION EFFORTS WITH NEW WORK PLAN.
8. REMOVE EXISTING EXTERIOR WINDOW ASSEMBLY COMPLETE.
9. REMOVE EXISTING EXTERIOR DOOR ASSEMBLY.
10. REMOVE EXISTING FIREBOX. COORDINATE DEMOLITION EFFORTS WITH NEW WORK PLAN.
11. REMOVE EXISTING PATIO PAVERS AND STAIR TO THE EXTEND SHOWN. COORDINATE DEMOLITION WITH NEW WORK PLAN.
12. INFILL EXISTING POOL. PREPARE FOR INSTALLATION OF NEW FLOOR FINISH.
13. REMOVE ROOF SYSTEM, SHEATHING, 2X FRAMING, SKYLIGHTS, CEILING, LIGHTS AND WIRING ETC. COMPLETE. COORDINATE EXTENTS OF WORK WITH NEW WORK PLAN AND STRUCTURAL DRAWINGS.
14. REMOVE EXISTING PLUMBING FIXTURES COMPLETE AND PREPARE INFRASTRUCTURE FOR SCOPE OF NEW WORK - COORDINATE WITH NEW WORK DOCUMENTS.

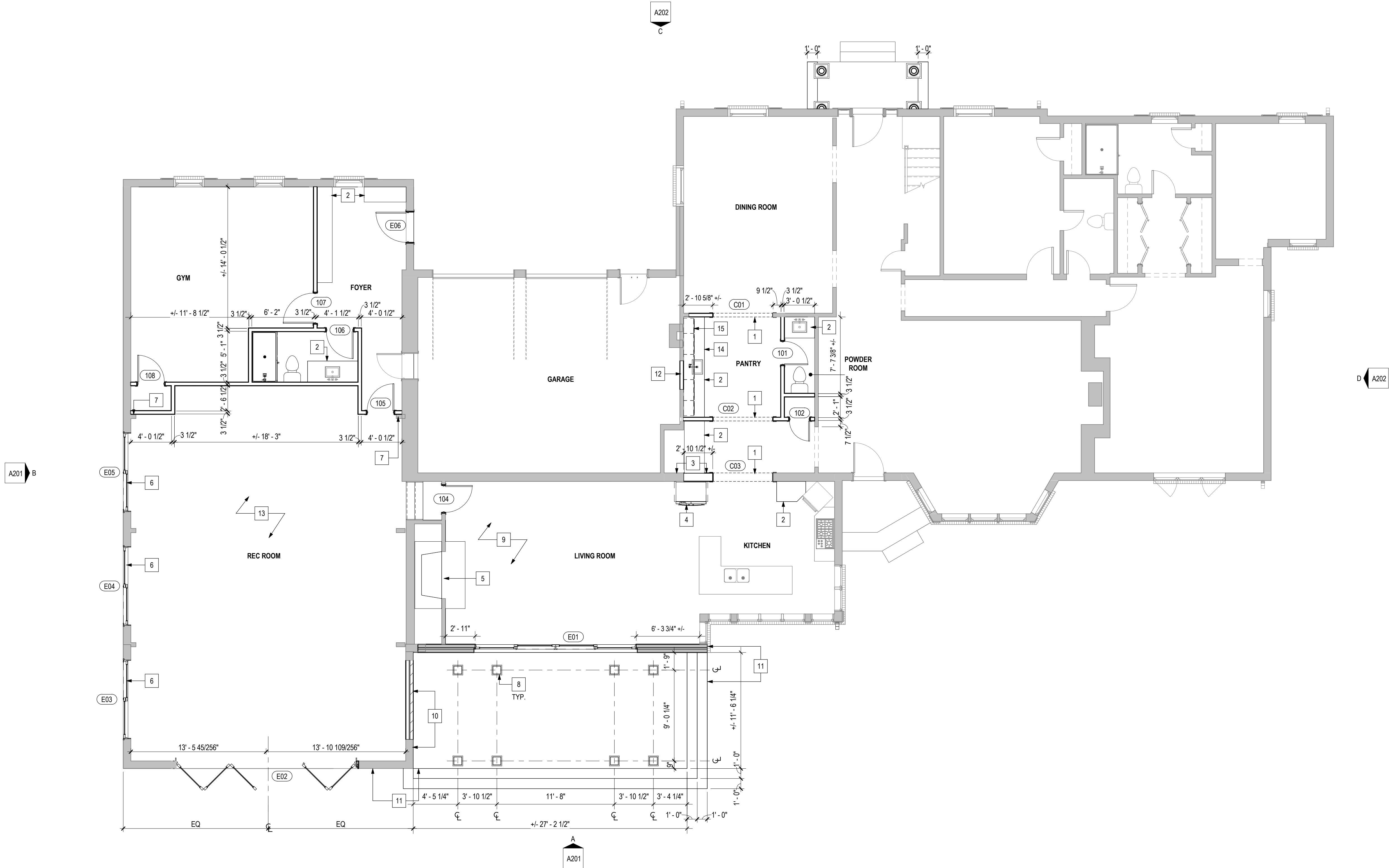
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FIRST FLOOR NEW WORK PLAN
3/16" = 1'-0"

[EXISTING CONDITIONS SHOWN FOR REFERENCE ONLY. FIELD VERIFY, COORDINATE, ETC. AS NECESSARY.]



FLOOR PLAN LEGEND:

- EXISTING CONSTRUCTION
- 2X4 WOOD STUD GYPSUM BOARD PARTITION

FLOOR PLAN GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CMU, BRICK OR CENTERLINE OF A COLUMN.
- PROVIDE ALL NECESSARY WOOD BLOCKING IN PARTITIONS AS REQUIRED FOR MOUNTING OF AV EQUIPMENT, CABINETS, SHELVING, ETC.
- CONFIRM ALL FINISHES, EQUIPMENT, PRODUCTS, ETC. WITH OWNER PRIOR TO INSTALLATION AND/OR ORDERING.
- FURNITURE, FIXTURES, EQUIPMENT, N.I.C.
- PATCH AND REPAIR HARDWOOD FLOORING AS REQUIRED DUE TO DEMOLITION TO CREATE A SEAMLESS [TOOTH-IN NEW] TRANSITION BETWEEN EXISTING AND NEW FLOORING. CONFIRM FINAL STAIN AND FINISH WITH OWNER.
- SEE SHEET A201 FOR WINDOW SCHEDULE.
- SEE SHEET A201 FOR DOOR SCHEDULE.

FLOOR PLAN NEW WORK NOTES:

- CASED OPENING - TRIM TO MATCH EXISTING - ALIGN/ CENTER CASED OPENINGS C01, C02 AND C03.
- BUILT IN CASEWORK.
- ALIGN TO CREATE A SEAMLESS TRANSITION BETWEEN EXISTING AND NEW CONSTRUCTION. FUR OUT AND ADJUST FINISHES AS REQUIRED TO CREATE A SEAMLESS TRANSITION BETWEEN NEW AND EXISTING.
- EXISTING APPLIANCE IN NEW LOCATION.
- NEW ISOKERN FIREBOX RAISED TO LEVEL OF NEW FLOOR FINISH.
- NEW SLIDING FRENCH DOOR IN EXISTING MASONRY OPENING.
- ALIGN FACE OF NEW PARTITION WITH FACE OF EXISTING COLUMN.
- PERGOLA COLUMN.
- INSTALL NEW RAISED FLOOR STRUCTURE, SHEATHING AND FINISH TO ALIGN WITH EXISTING. FINISH TO MATCH EXISTING. TOOTH IN WITH EXISTING TO CREATE A SEAMLESS TRANSITION.
- PAD OUT EXTERIOR WALL FOR SEAMLESS TRANSITION BETWEEN EXISTING AND NEW CONSTRUCTION.
- ALIGN EDGE OF STEP WITH EXISTING FACE OF BRICK.
- GARAGE WALLS TO RECEIVE MIN 1/2" TYPE X GYPSUM WALLBOARD PER R302.6
- INFILL EXISTING POOL. PREPARE FOR INSTALLATION OF NEW FLOOR FINISH.
- COUNTERTOP DEPTH BUILT-IN REFRIGERATOR.
- WALL MOUNTED UPPER CABINETS - COORDINATE WITH OWNER.

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B

C

D

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5

A201

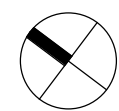
B

A202

C

A202

D



SECOND FLOOR NEW WORK FLOOR PLAN

3/16" = 1'-0"

[EXISTING CONDITIONS SHOWN FOR REFERENCE ONLY. FIELD VERIFY, COORDINATE, ETC. AS NECESSARY.]



FLOOR PLAN LEGEND:

- EXISTING CONSTRUCTION
- 2X4 WOOD STUD GYPSUM BOARD PARTITION

FLOOR PLAN GENERAL NOTES:

- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CMU, BRICK OR CENTERLINE OF A COLUMN.
- PROVIDE ALL NECESSARY WOOD BLOCKING IN PARTITIONS AS REQUIRED FOR MOUNTING OF AV EQUIPMENT, CABINETS, SHELVING, ETC.
- CONFIRM ALL FINISHES, EQUIPMENT, PRODUCTS, ETC. WITH OWNER PRIOR TO INSTALLATION AND/OR ORDERING.
- FURNITURE, FIXTURES, EQUIPMENT, N.I.C.
- PATCH AND REPAIR HARDWOOD FLOORING AS REQUIRED DUE TO DEMOLITION TO CREATE A SEAMLESS (TOOTH-IN NEW) TRANSITION BETWEEN EXISTING AND NEW FLOORING. CONFIRM FINAL STAIN AND FINISH WITH OWNER.
- SEE SHEET A201 FOR WINDOW SCHEDULE.
- SEE SHEET A201 FOR DOOR SCHEDULE.

FLOOR PLAN NEW WORK NOTES:

- CASED OPENING - TRIM TO MATCH EXISTING - ALIGN/ CENTER CASED OPENINGS C01, C02 AND C03.
- BUILT IN CASEWORK.
- ALIGN TO CREATE A SEAMLESS TRANSITION BETWEEN EXISTING AND NEW CONSTRUCTION. FUR OUT AND ADJUST FINISHES AS REQUIRED TO CREATE A SEAMLESS TRANSITION BETWEEN NEW AND EXISTING.
- EXISTING APPLIANCE IN NEW LOCATION.
- NEW ISOKERN FIREBOX RAISED TO LEVEL OF NEW FLOOR FINISH.
- NEW SLIDING FRENCH DOOR IN EXISTING MASONRY OPENING.
- ALIGN FACE OF NEW PARTITION WITH FACE OF EXISTING COLUMN.
- PERGOLA COLUMN.
- INSTALL NEW RAISED FLOOR STRUCTURE, SHEATHING AND FINISH TO ALIGN WITH EXISTING. FINISH TO MATCH EXISTING. TOOTH IN WITH EXISTING TO CREATE A SEAMLESS TRANSITION.
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- INFILL EXISTING POOL. PREPARE FOR INSTALLATION OF NEW FLOOR FINISH.
- COUNTERTOP DEPTH BUILT-IN REFRIGERATOR.
- WALL MOUNTED UPPER CABINETS - COORDINATE WITH OWNER.

X



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ADDITION AND RENOVATIONS FOR
DAILEY RESIDENCE
7300 WOODWAY LANE, NORFOLK, VIRGINIA 23505
CONCEPTUAL DOCUMENTS

PROJECT # 2233
DATE 2024.04.10
REVISIONS:

A102

SECOND FLOOR PLAN

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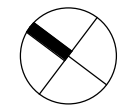
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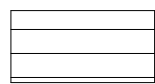
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ROOF PLAN
3/16" = 1'-0"

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ROOF PLAN LEGEND:



STANDING SEAM METAL ROOF
BOD: DREXEL METALS DMC 200S 18" METAL
ROOF SYSTEM WITH HIGH TEMP ICE AND
WATER SHIELD UNDERLAYMENT -
CONFIRM FINISH DURING PROCUREMENT

ROOF PLAN GENERAL NOTES:

- A. ROOFING MATERIAL TO MATCH EXISTING
B. ALL WORK TO BE PERFORMED PER MANUFACTURERS STANDARDS
AND RECOMMENDATIONS AND COMPLETED AS TO NOT VOID THE
EXISTING ROOF WARRANTY
C. SEE SHEET A301, A302, AND A303 FOR SECTIONS.
D. SEE SHEET A201 AND A202 FOR EXTERIOR ELEVATIONS.

ROOF PLAN NEW WORK NOTES:



1. PRESSURE TREATED WOOD PERGOLA

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A

B

C

D

A EXTERIOR ELEVATION [SOUTH]
3/16" = 1'-0"



[EXISTING CONDITIONS SHOWN FOR REFERENCE ONLY. FIELD VERIFY, COORDINATE, ETC. AS NECESSARY.]



EXTERIOR MATERIAL LEGEND

BRICK VENEER:	MATCH EXISTING.
PAINT:	COORDINATE FINAL COLOR SELECTION WITH OWNER
PRIMER:	SHERWIN WILLIAMS LOXON CONCRETE AND MASONRY
METAL ROOFING:	DREXEL METALS: STANDING SEAM SNAP-LOCK 150 FLAT PANEL CHARCOAL GRAY
ASPHALT SHINGLES:	BOD: GAF TIMBERLINE HDZ - FINAL FINISH APPROVAL TO BE GIVEN AFTER REVIEW OF SITE MOCKUP

* GC TO CONFIRM ALL FINISHES, COLORS, ETC. WITH OWNER PRIOR TO ORDERING

* GC TO CONSTRUCT A FIELD MOCKUP PANEL FOR OWNER/ARCHITECT REVIEW AND APPROVAL. ALLOW TIME FOR REVIEW, TWEAKING, AND REVISING THE PANEL PRIOR TO ORDERING MATERIAL



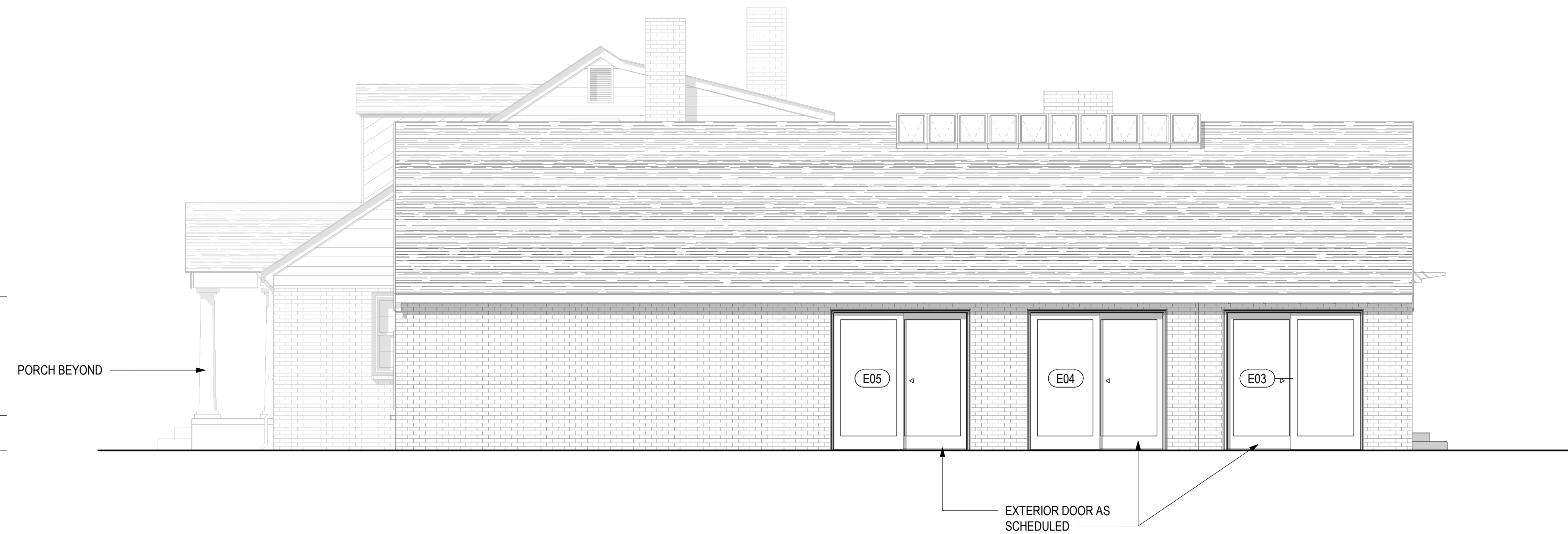
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ADDITION AND RENOVATIONS FOR
DAILEY RESIDENCE
7300 WOODWAY LANE, NORFOLK, VIRGINIA 23505
CONCEPTUAL DOCUMENTS

PROJECT #	2233
DATE	2024.04.10
REVISIONS:	

A201
EXTERIOR ELEVATIONS

B EXTERIOR ELEVATION [WEST]
3/16" = 1'-0"



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EXTERIOR MATERIAL LEGEND	
BRICK VENEER:	MATCH EXISTING.
PAINT:	COORDINATE FINAL COLOR SELECTION WITH OWNER
PRIMER:	SHERWIN WILLIAMS LOXON CONCRETE AND MASONRY
METAL ROOFING:	DREXEL METALS: STANDING SEAM SNAP-LOCK 150 FLAT PANEL CHARCOAL GRAY
ASPHALT SHINGLES:	BOD: GAF TIMBERLINE HDZ - FINAL FINISH APPROVAL TO BE GIVEN AFTER REVIEW OF SITE MOCKUP
* GC TO CONFIRM ALL FINISHES, COLORS, ETC. WITH OWNER PRIOR TO ORDERING	
* GC TO CONSTRUCT A FIELD MOCKUP PANEL FOR OWNER/ARCHITECT REVIEW AND APPROVAL. ALLOW TIME FOR REVIEW, TWEAKING, AND REVISING THE PANEL PRIOR TO ORDERING MATERIAL	



C EXTERIOR ELEVATION [NORTH]
3/16" = 1'-0"



D EXTERIOR ELEVATION [EAST]
3/16" = 1'-0"

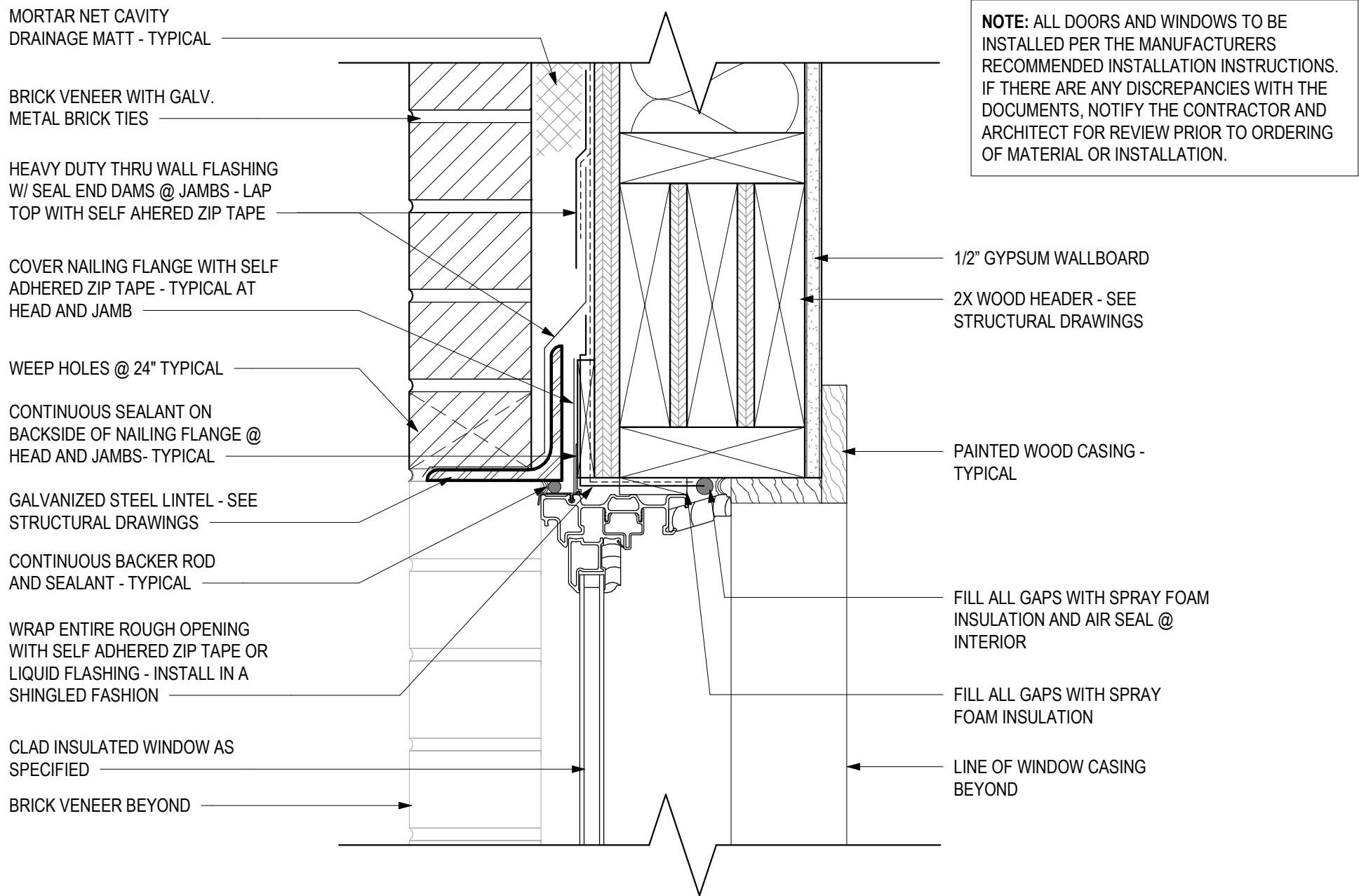
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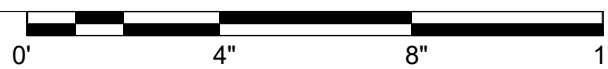
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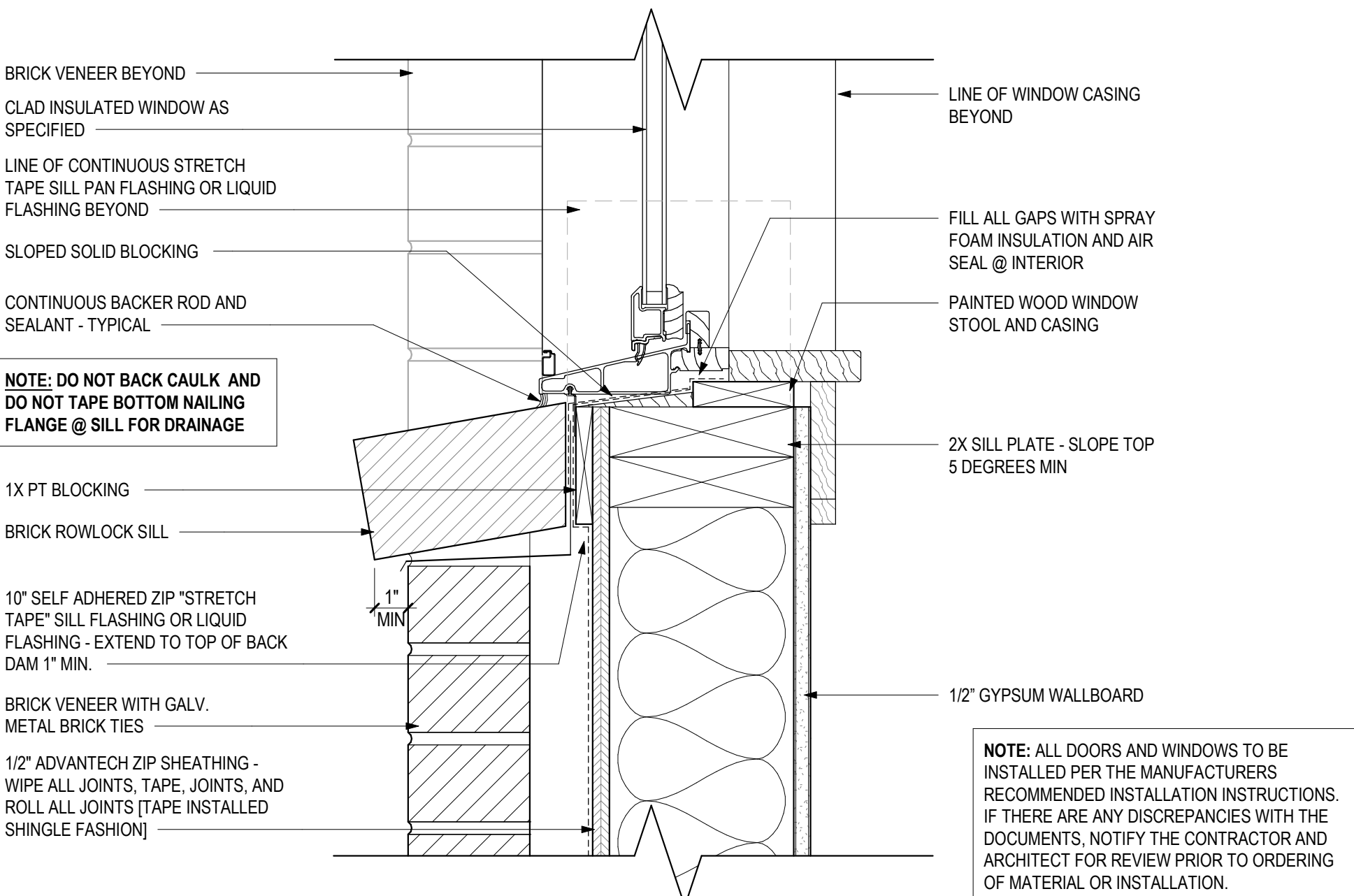
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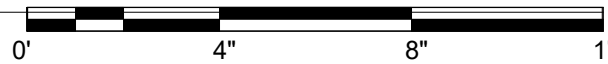
1 HEAD DETAIL
3" = 1'-0"



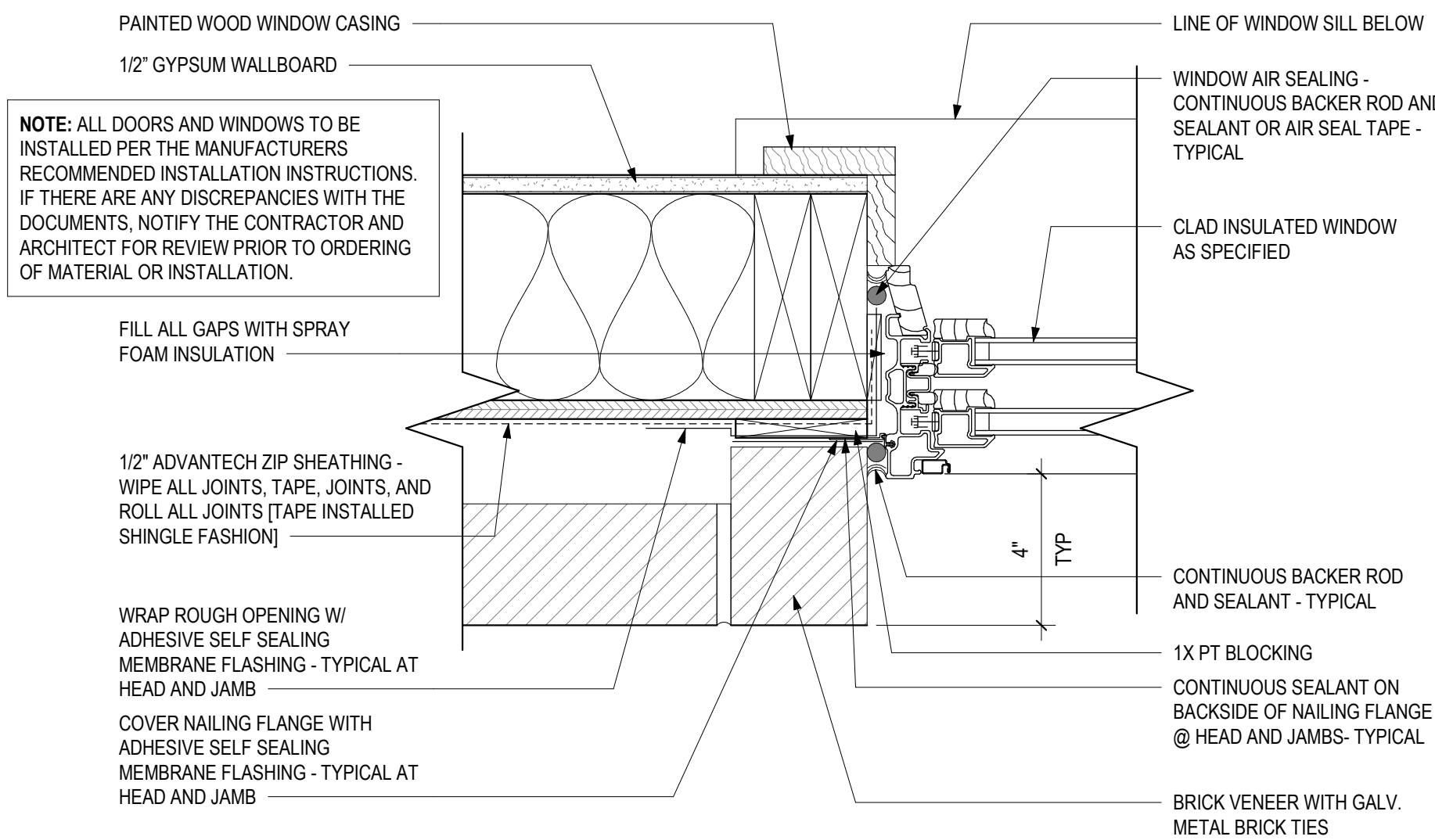
B



2 SILL DETAIL
3" = 1'-0"



C



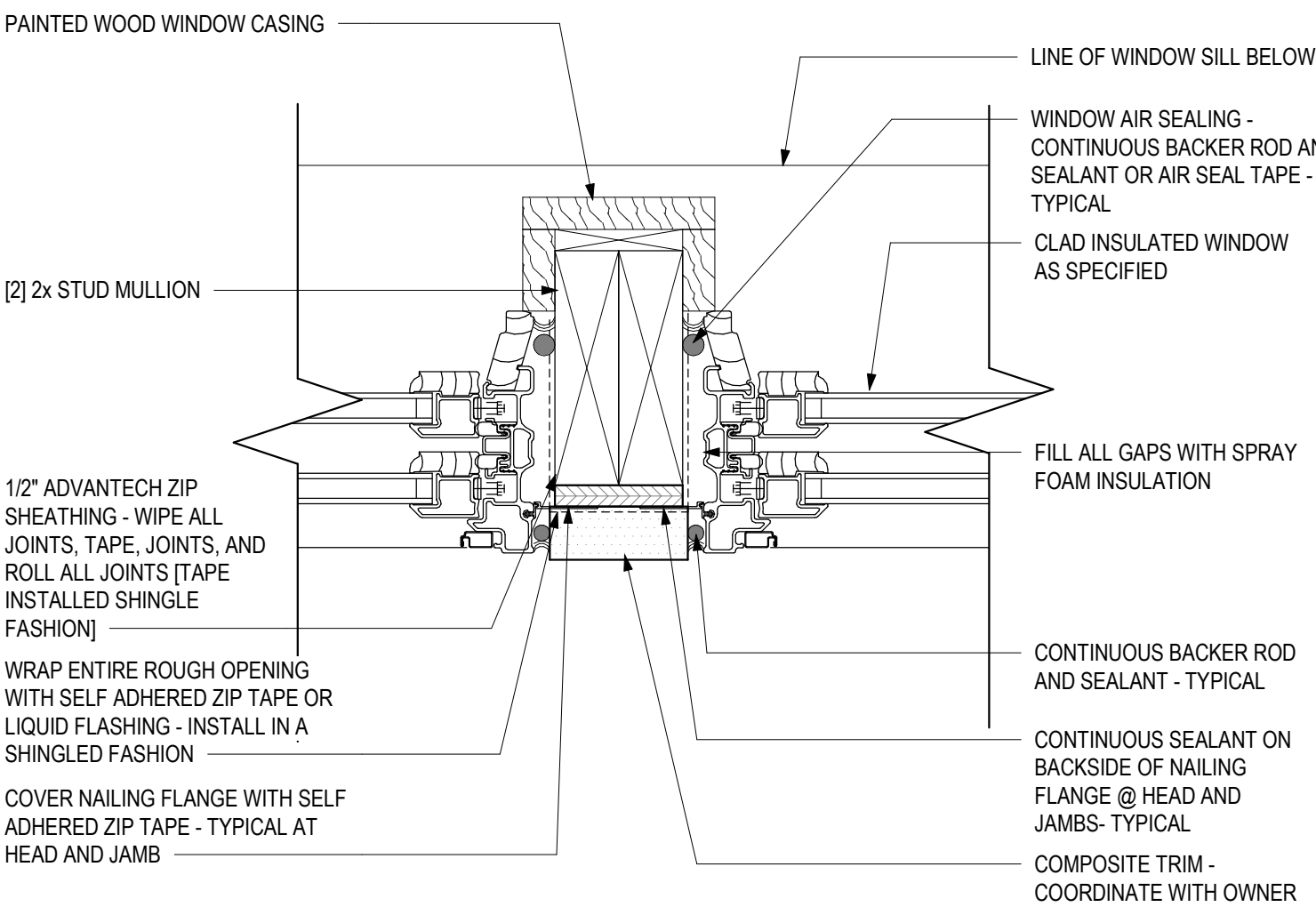
3 JAMB DETAIL
3" = 1'-0"



2

4

TYPICAL JAMB DETAIL
3" = 1'-0"



3

4

DOOR SCHEDULE					
DOOR NUMBER	TYPE	DOOR		FIRE RATING	COMMENTS
		WIDTH	HEIGHT		
101	SINGLE	2' - 4"	6' - 8"		
102	SINGLE	2' - 0"	6' - 8"		
104	SINGLE	2' - 8"	6' - 8"		
105	SINGLE	2' - 8"	6' - 8"		
106	SINGLE	2' - 8"	6' - 8"		
107	SINGLE	3' - 0"	6' - 8"		
108	SINGLE	2' - 8"	6' - 8"		
C01	CASED OPENING	6' - 0"	6' - 8"		
C02	CASED OPENING	6' - 0"	6' - 8"		
C03	CASED OPENING	6' - 0"	6' - 8"		
E01	EXTERIOR FRENCH SLIDING	16' - 0"	6' - 10"		
E02	EXTERIOR BIFOLD	18' - 0"	8' - 0"		
E03	EXTERIOR SLIDING	7' - 10"	8' - 0"		NEW DOOR IN EXISTING MASONRY OPENING
E04	EXTERIOR SLIDING	7' - 10"	8' - 0"		NEW DOOR IN EXISTING MASONRY OPENING
E05	EXTERIOR SLIDING	7' - 10"	8' - 0"		NEW DOOR IN EXISTING MASONRY OPENING
E06	EXTERIOR SINGLE	3' - 0"	6' - 8"		

DOOR GENERAL NOTES:

- A. BASIS OF DESIGN FOR ALL EXTERIOR GLAZED DOORS TO BE MARVIN ULTIMATE.
B. BASIS OF DESIGN FOR ALL INTERIOR DOORS TO BE SOLID WOOD TRUSTILE DOORS.
C. BASIS OF DESIGN FOR ALL INTERIOR POCKET DOORS TO BE CAVITY SLIDER CV WITH SOFT CLOSE.
D. ALL GLAZING IN DOORS TO BE IMPACT RESISTANT SAFETY GLAZING.
E. COORDINATE FINAL DOOR/HARDWARE STYLE, FINISH, AND HARDWARE FUNCTION WITH OWNER.
F. COORDINATE INTERIOR AND EXTERIOR WINDOW FINISH WITH OWNER.

WINDOW SCHEDULE						
TYPE	QTY.	APPROX. SIZE		TYPE	MODEL	COMMENTS
		WIDTH	HEIGHT			
W2	3	4' - 0"	2' - 0"	AWNING	UAWN4824	

WINDOW GENERAL NOTES:

- A. REFER TO BOTH FLOOR PLANS AND ELEVATIONS FOR WINDOW DESIGNATIONS.
B. BASIS OF DESIGN FOR ALL EXTERIOR WINDOWS IS MARVIN ULTIMATE.
a. INCLUDE LOCK STATUS SENSOR IN EACH WINDOW AS A BASIS OF DESIGN.
C. BASIS OF DESIGN FOR ALL SKYLIGHTS IS MARVIN FIXED CURB MOUNTED SKYLIGHT.
D. QUANTITIES ARE ONLY SHOWN FOR REFERENCE. GC TO COORDINATE FINAL QUANTITIES.
E. WINDOW SIZES ARE ONLY GIVEN FOR REFERENCE. GC TO COORDINATE WITH MANUFACTURER FOR ACTUAL FRAME AND ROUGH-IN DIMENSIONS.
F. ALL WINDOWS LOCATED IN BEDROOMS MUST MEET NATIONAL CODE STANDARDS FOR EGRESS - **GC TO REVIEW AND CONFIRM COMPLIANCE PRIOR TO ORDERING.**
G. PER VRC R312.2 | ALL WINDOWS IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 18 INCHES (457 MM) ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES (1829 MM) ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING: **[GC TO REVIEW AND CONFIRM COMPLIANCE PRIOR TO ORDERING.]**
1. OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4-INCH-DIAMETER SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.
H. WINDOW SIZES GIVEN REFER TO FRAME SIZE ONLY. GC TO REFER TO MANUFACTURERS SPECIFICATIONS FOR ROUGH-IN.
I. GLAZING: SHALL BE L66-272, INSULATED GLASS, TEMPERED WHERE REQUIRED BY CODE AT MIN. SEE SCHEDULE FOR ADDITIONAL SPECIFICATIONS. - **GC TO REVIEW AND CONFIRM COMPLIANCE PRIOR TO ORDERING.**
J. WINDOW MUNTINS: PROVIDE SIMULATED DIVIDED LITE WINDOW MUNTINS W/ SPACER BARS. SEE ARCHITECTURAL ELEVATIONS FOR MUNTIN BAR DESIGNS.
K. PROVIDE SCREENS FOR ALL WINDOWS AND DOORS. COORDINATE INSTALLATION WITH OWNER. GC TO CONFIRM INTERIOR WINDOW/HARDWARE FINISH WITH OWNER.
L. SEE A501 FOR TYPICAL WINDOW HEAD, JAMB, AND SILL DETAILS.
M. COORDINATE FINAL SELECTION, STYLE, INTERIOR AND EXTERIOR FINISH, ETC. WITH OWNER. ALSO, SEE COLOR RENDERINGS FOR REFERENCE.
N.

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ARCHITECTURAL SPECIFICATIONS

DIVISION 01: GENERAL REQUIREMENTS

- A. SUBMIT SAMPLES OF ALL FINISH MATERIALS TO ARCHITECT FOR APPROVAL.
- B. INSTALL ALL PRODUCTS AS SPECIFIED BY THE MANUFACTURER AND APPLICABLE CODES, NOTIFY THE ARCHITECT IF THIS REQUIREMENT CONTRADICTS THE DRAWINGS.
- C. UNLESS OTHERWISE NOTED ASSUME PRODUCTS ARE PART OF A SYSTEM [FOR EXAMPLE, GYPSUM WALLBOARD REQUIRES FASTENERS, CORNERBEADS, SEAM TAPE, MUD, ETC.]
- D. GENERAL CONTRACTOR TO SUBMIT ONE SET OF RECORD DRAWINGS TO THE OWNER AT SUBSTANTIAL COMPLETION.
- E. GENERAL CONTRACTOR TO SUBMIT OPERATIONS AND MAINTENANCE BINDER WITH PRODUCT CUT SHEETS, INSTALLATION AND MAINTENANCE INFORMATION, AND WARRANTY DATA.
- F. GENERAL CONTRACTOR SHALL ENSURE THAT DISSIMILAR METALS ARE SEPARATED TO AVOID GALVANIC ACTION.
- G. CONTRACTOR TO SUBMIT SUBSTITUTIONS OR AS-EQUAL PRODUCTS TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING. SUBMITTAL MUST SPECIFY HOW THE PRODUCTS ARE EQUAL AND WHY THE SUBSTITUTION IS BEING PROPOSED.

DIVISION 02: EXISTING CONDITIONS [NOT USED]

DIVISION 03: CONCRETE [SEE STRUCTURAL DRAWINGS]

DIVISION 04: MASONRY [SEE STRUCTURAL DRAWINGS]

- 04 09 00 CAVITY DRAINAGE MAT
 - A. BASIS OF DESIGN: MORTAR NET SOLUTIONS HOUSE NET WITH INSECT BARRIER
 - B. TO BE USED AT ALL WEEP LOCATIONS

- 04 26 13 MASONRY VENEER
 - A. SEE EXTERIOR MATERIAL LEGEND FOR BASIS OF DESIGN
 - B. INSTALL WEEPVENTS AT ALL WEEPS
 - a. BASIS OF DESIGN: MORTAR NET SOLUTIONS WEEPVENT
 - b. PROVIDE COLOR SAMPLES FOR OWNERS APPROVAL

DIVISION 05: METALS [SEE STRUCTURAL DRAWINGS]

DIVISION 06: WOOD, PLASTICS, AND COMPOSITES

- 06 10 53 MISC ROUGH CARPENTRY
 - A. TREATED WOOD BLOCKING AS REQUIRED AND SHOWN IN THE DOCUMENTS
- 06 16 00 SHEATHING - SEE SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION
 - A. EXTERIOR SHEATHING: HUBER ADVANTECH ZIP SYSTEM EXTERIOR SHEATHING
 - B. ROOF SHEATHING: HUBER ADVANTECH ZIP SYSTEM STRUCTURAL SHEATHING
 - a. GC TO PROVIDE A FORTIFIED ROOF ASSEMBLY
 - C. SUBFLOOR: HUBER ADVANTECH FLOOR SHEATHING WITH ADVANTECH SUBFLOOR ADHESIVE
 - D. ALL SEAMS OF THE SHEATHING TO BE AIR-SEALED WITH FLEXIBLE ZIP FLASHING TAPE, FLUID APPLIED FLASHING SEALANT, PENETRATION FLASHING BOOTS, ETC. - TYPICAL

- 06 46 00 EXTERIOR TRIM - SEE SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION
 - A. DESIGN BASED BORAL TRUEX EXTERIOR POLYASH TRIM
 - B. PAINT BASED ON FIELD SELECTION

DIVISION 07: THERMAL AND MOISTURE PROTECTION

- 07 11 13 BITUMINOUS DAMPPROOFING

- 07 21 00 THERMAL INSULATION [R-VALUE TO MEET OR EXCEED CODE REQUIREMENTS MINIMUMS FOR BUILDING TYPE]
 - A. RIGID PERIMETER INSULATION - DESIGN INTENT IS BASED ON OWENS CORNING FOAMULAR 150 EXTRUDED POLYSTYRENE INSULATION
 - B. BATT INSULATION - SUSTAINABLE INSULATION BY ROCKWOOL COMFORTBATT 3 1/2" R-15
 - a. INSTALL MAXIMUM R-VALUE FOR STUD CAVITY DEPTH.

- 07 26 00 VAPOR BARRIERS
 - A. CONCRETE SLABS: STEGOWRAP 15MIL SYSTEM BY STEGO INDUSTRIES
 - a. TAPE ALL SEAMS AND PENETRATIONS WITH STEGO TAPE
 - B. CRAWLSPACE: STEGOCRAWL WRAP 15 MIL
 - a. TAPE ALL SEAMS AND PENETRATIONS WITH STEGO TAPE

- 07 31 00 ASPHALT SHINGLE ROOFING
 - A. PROVIDE 30 MINIMUM YEAR WARRANTY ON ROOF SYSTEM
 - B. DESIGN IS BASED ON GAF TIMBERLINE HDZ SYSTEM
 - a. COBRA RIDGE VENT 3
 - b. DECK ARMOR
 - C. INSTALLATION TO MEET ALL HIGH WIND COASTAL REQUIREMENTS

- 07 41 00 STANDING-SEAM METAL ROOF PANELS
 - A. PROVIDE 30 MINIMUM YEAR HIGH WIND WARRANTY ON ROOF SYSTEM
 - B. SEE EXTERIOR ELEVATIONS AND ROOF PLAN FOR BASIS OF DESIGN
 - C. BOD: DREXEL METALS DMC 200S 18" METAL ROOF SYSTEM - CONFIRM FINISH DURING PROCUREMENT

- 07 90 00 JOINT PROTECTION
 - A. INTERIOR SEALANT - BY PECORA, SONNEBORN, OR EQUAL.
 - a. COLOR TO MATCH ADJACENT SURFACE

DIVISION 08: OPENINGS

- 08 10 00 DOORS AND FRAMES
 - A. SEE DOOR SCHEDULE, ELEVATIONS, AND NOTES

- 08 16 13 FIBERGLASS DOORS
 - A. SEE DOOR SCHEDULE, ELEVATIONS, AND NOTES

- 08 70 00 DOOR HARDWARE
 - A. SEE DOOR SCHEDULE, ELEVATIONS, AND NOTES

DIVISION 09: FINISHES

- 09 20 00 PLASTER AND GYPSUM BOARD
 - A. TYPICAL WALLS AND CEILINGS - 1/2" [WALLS] AND 1/2" [CEILINGS] - LEVEL FIVE FINISH
 - B. TYPICAL GARAGE WALLS - 1/2" TYPE X [WALLS] AND 5/8" TYPE X [CEILINGS]
 - a. FIRE RATING TO MEET OR EXCEED CODE REQUIREMENTS
 - C. MISCELLANEOUS - PROVIDE METAL CONTROL JOINTS AS SPECIFIED BY THE MANUFACTURER, PROVIDE SQUARE, METAL CORNERBEAD.

- 09 90 00 PAINTING AND COATING [FINAL COLOR TO BE APPROVED BY OWNER]

- A. [PT-1] INTERIOR PAINT
 - a. PRIMER: PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER
 - b. FINISH COAT: 2 COATS OF PROMAR 200 ZERO VOC [EGGSHELL FINISH]
- B. [PT-2] INTERIOR PAINT
 - a. PRIMER: PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER
 - b. FINISH COAT: 2 COATS OF PROMAR 200 ZERO VOC [CEILING FLAT]
- C. [PT-3] EXTERIOR PAINT
 - a. DURATION EXTERIOR ACRYLIC LATEX BY SHERWIN WILLIAMS
 - b. ONE PRIME COAT
 - c. 2 FINISH COATS [FLAT FINISH]

DIVISION 10: SPECIALTIES [NOT USED]

DIVISION 11: EQUIPMENT [NOT USED]

DIVISION 12: FURNISHINGS [NOT USED]

DIVISION 13: SPECIAL CONSTRUCTION [NOT USED]

DIVISION 22: PLUMBING [DESIGN-BUILD BY THE CONTRACTOR]

DIVISION 23: HEATING, VENTILATING, AND AIR CONDITIONING [HVAC] [DESIGN-BUILD BY THE CONTRACTOR]

DIVISION 26: ELECTRICAL [DESIGN-BUILD BY THE CONTRACTOR]

DIVISION 31: EARTHWORK [DESIGN-BUILD BY THE CONTRACTOR]

- 31 31 16 TERMITE CONTROL
 - A. SOIL TREATMENT REQUIRED THROUGHOUT ENTIRE FIRST FLOOR STRUCTURE FOOTPRINT AND ANY ASSOCIATED BUILDINGS
 - B. PROVIDE 5-YEAR WRITTEN GUARANTEE AGAINST TERMITE DAMAGE



NOT FOR
CONSTRUCTION

ADDITION AND RENOVATIONS FOR
DAILEY RESIDENCE
7300 WOODWAY LANE, NORFOLK, VIRGINIA 23505
CONCEPTUAL DOCUMENTS

PROJECT #	2233
DATE	2024.04.10
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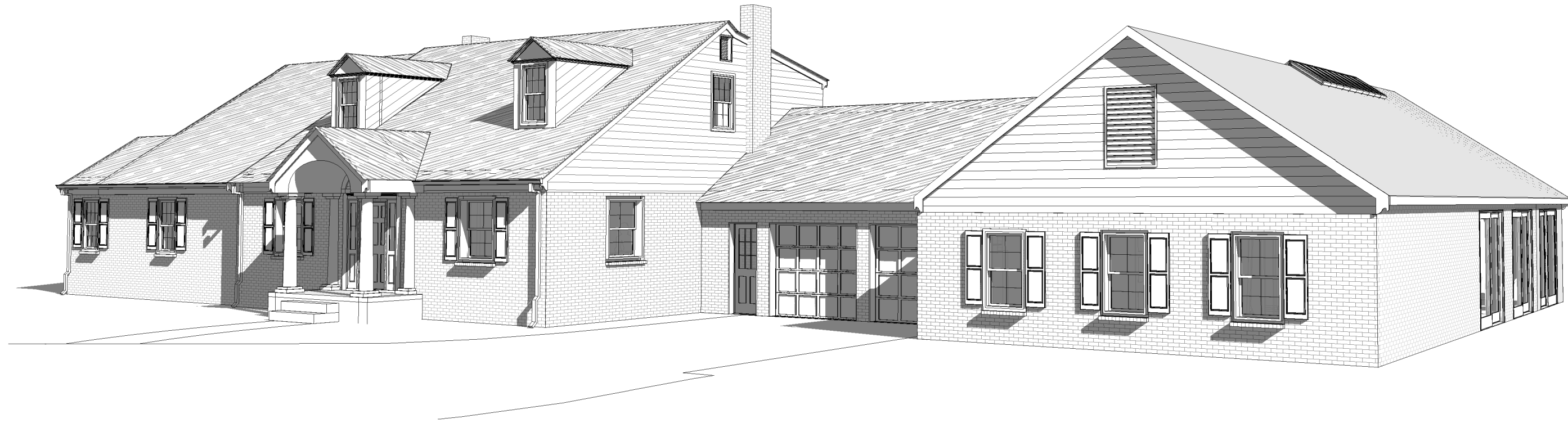
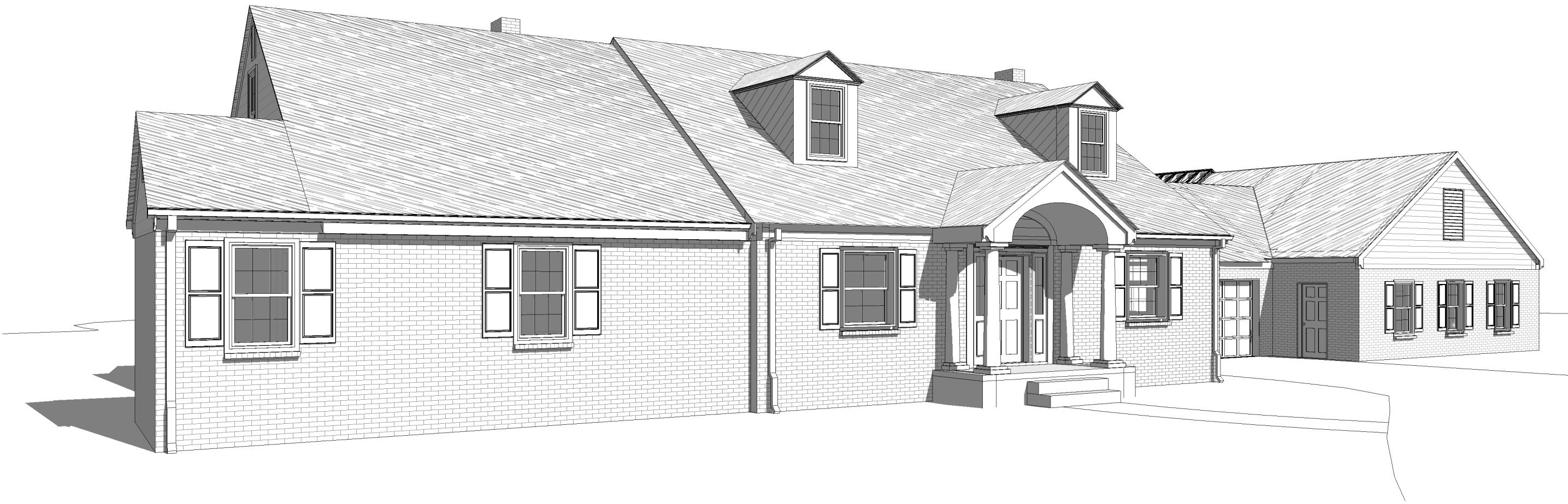
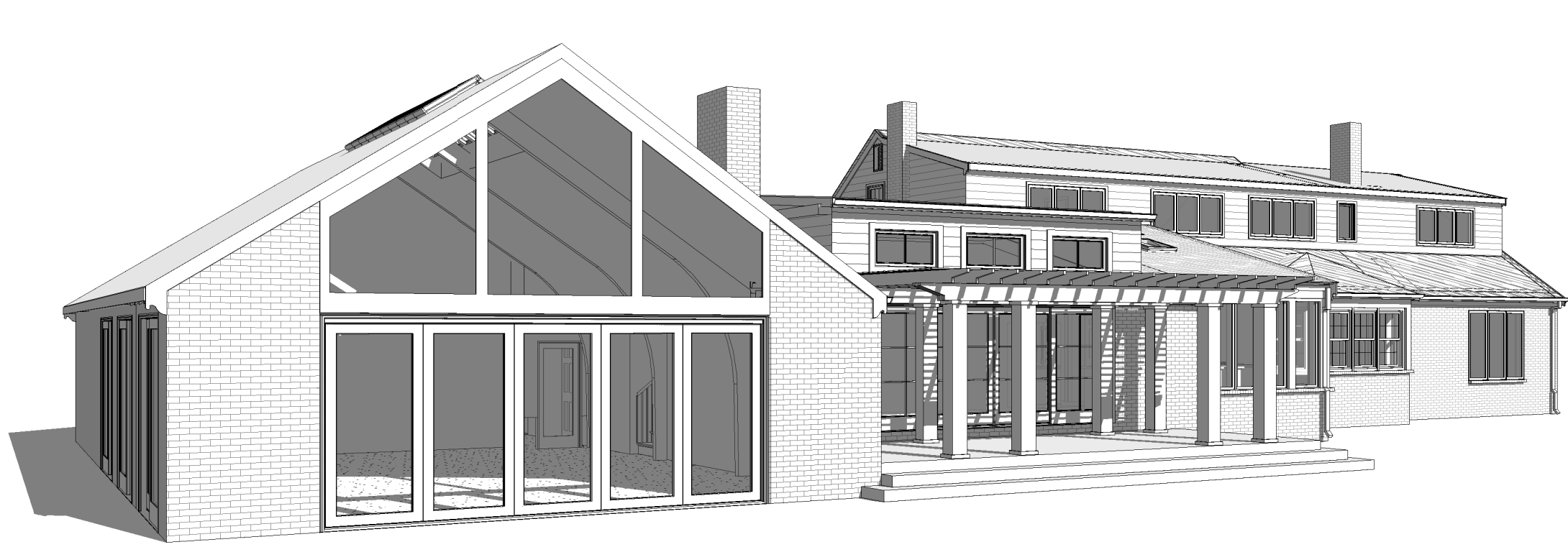
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