

NEW RESIDENCE FOR

RODNEY DUCKWORTH

142 PINWOOD ROAD, VIRGINIA BEACH, VA 23451

GENERAL PROJECT NOTES

1.

ALL WORK TO BE DONE IN ACCORDANCE WITH STATE AND LOCAL CODES AND ORDINANCES.
2.

CONTRACTOR IS TO DETERMINE LAYOUT AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION AND TO CONSULT WITH THE ARCHITECT REGARDING ANY DISCREPANCIES THAT EXIST WITHIN THESE DOCUMENTS.
3.

ALL WORK PERFORMED TO BE OF ACCEPTED INDUSTRY STANDARDS AND PRACTICES GOVERNING THE HIGHEST QUALITY OF WORKMANSHIP.
4.

EACH SUB CONTRACTOR IS TO THOROUGHLY REVIEW THESE DOCUMENTS AND EVALUATE THE SCOPE OF WORK REQUIRED BY THEIR RESPECTIVE TRADE PRIOR TO THE START OF CONSTRUCTION.
5.

ALL EXTERIOR WOOD BLOCKING AND ALL WOOD IN CONTACT WITH CONCRETE SLABS AND / OR MASONRY TO BE PRESSURE TREATED.
6.

DIMENSIONS SHOWN ARE FROM EXTERIOR FACE OF SHEATHING TO FINISH FACE OF INTERIOR.
7.

THE CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS & HEIGHTS PRIOR TO STARTING CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
8.

ALL DECOR ITEMS AND FINISH SELECTIONS ARE OUTSIDE OF THIS DRAWING SCOPE - COORDINATE ALL FINISHES WITH OWNER.
9.

CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, FEES, ETC. ASSOCIATED WITH THE EXECUTION AND COMPLETION OF THE WORK.
10.

ALL ABUTTING DISSIMILAR MATERIALS ARE TO BE CAULKED AND SEALED CONTINUOUS. COLOR TO MATCH ADJACENT MATERIALS.
11.

DETAILS SHOWN ARE REPRESENTATIVE OF DESIGN CONCEPT. DETAILS MAY BE MODIFIED TO AFFECT EXISTING CONDITIONS OR INDUSTRY STANDARDS WITH THE APPROVAL OF THE ARCHITECT. HOWEVER, THE BASIC DESIGN AND STRUCTURAL INTENT IS TO BE MAINTAINED.
12.

PROVIDE BLOCKING IN PARTITIONS AS REQUIRED FOR MOUNTING OF CABINETS, SHELVING, GRAB BARS, ETC.
13.

PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD AT ALL WET WALL LOCATIONS.
14.

ALL STAIRS, LANDINGS AND HANDRAILS SHALL COMPLY WITH 2015 IRC. GUARDRAILS MUST BE 36" MINIMUM WITH 4" MAX CLEAR PICKET SPACING, STAIR RISERS 8 1/4" MAXIMUM, STAIR TREADS 9" MINIMUM.
15.

PROVIDE 1/2" THICK CEMENT BACKER BOARD AT ALL HARD TILE LOCATIONS UNLESS OTHERWISE NOTED.
16.

ALL APPLIANCES TO BE OWNER FURNISHED, CONTRACTOR INSTALLED UNLESS OTHERWISE NOTED. CONTRACTOR TO PROVIDE ROUGH-INS TO ACCOMMODATE APPLIANCE LOCATIONS AS INDICATED.
17.

CONTRACTOR TO PROVIDE 5 SHELVES IN LINEN CLOSETS AND STANDARD SHELF/ROD IN COAT AND CLOTHES CLOSETS UNLESS OTHERWISE NOTED.
18.

FLOOR LEVELS SHOWN ARE TO TOP OF SUBFLOOR UNLESS OTHERWISE NOTED.
19.

PLUMBING FIXTURES AND TRIM TO BE CONTRACTOR FURNISHED, CONTRACTOR INSTALLED UNLESS OTHERWISE NOTED. CONTRACTOR TO COORDINATE ACTUAL FIXTURE SELECTION WITH OWNER.
20.

ALL HANGERS, CLIPS, TIES, ETC SHALL BE BY SIMPSON AND COATED WITH ZMAX/HDG. PROVIDE COMPATIBLE FASTENERS WITH EQUAL OR GREATER CORROSIVE RESISTANCE.
21.

CONTRACTOR TO VERIFY ALL CONSTRUCTION IS INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS (AS APPLICABLE) AND INSTALLED IN SUCH A MANNER TO MEET ALL APPLICABLE BUILDING CODES.

ABBREVIATIONS

ABV	ABOVE	FEC	FIRE EXTINGUISHER CABINET	PLYWD	PLYWOOD
ACT	ACOUSTICAL CEILING TILE	FIN	FINISH	PR	PAIR
ADJ	ADJACENT	FLR	FLOOR	PT	PAINT
AFF	ABOVE FINISHED FLOOR	FLUOR	FLUORESCENT	QT	QUARRY TILE
ALUM	ALUMINUM	FRT	FIRE RETARDANT TREATED	R	RISER
APPROX	APPROXIMATELY	FT	FOOT	RAD	RADIUS
ARCH	ARCHITECTURAL	FV	FIELD VERIFY	RD	ROOF DRAIN
ASPH	ASPHALT	GA	GAGE	REF	REFERENCE
BC	BASE CABINET	GALV	GALVANIZED	REINF	REINFORCE
BITUM	BITUMINOUS	GYP BD	GYPSUM WALL BOARD	REQ	REQUIRED
BLDG	BUILDING	GL	GLASS	RESIL	RESILIENT
BLKG	BLOCKING	GND	GROUND	RM	ROOM
BM	BEAM	HB	HOSE BIB	RO	ROUGH OPENING
BTM	BOTTOM	HDWD	HARDWOOD	RUB	RUBBER
BRG	BEARING	HDWE	HARDWARE	S	SOUTH
CAB	CABINET	HM	HOLLOW METAL	SC	SOLID CORE
CT	CERAMIC TILE	HORIZ	HORIZONTAL	SCW	SOLID CORE WOOD
CJ	CONTROL JOINT	HT	HEIGHT	SECT	SECTION
CLG	CEILING	HWH	HOT WATER HEATER	SF	SQUARE FEET
CLR	CLEAR	HVAC	HEATING VENTILATION AIR CONDITIONING	SPM	SINGLE PLY MEMBRANE
CMU	CONCRETE MASONRY UNIT	ID	INSIDE DIAMETER	SHT	SHEET
CO	CLEAN OUT	INSUL	INSULATION	SHTG	SHEATHING
COL	COLUMN	INT	INTERIOR	SIM	SIMILAR
CONC	CONCRETE	INV	INVERT	SPEC	SPECIFICATION
CONT	CONTINUOUS	JAN	JANITOR	SQ	SQUARE
CPT	CARPET	JT	JOINT	STD	STANDARD
CTR	CENTER	LAM	LAMINATE	STL	STEEL
DBL	DOUBLE	LAV	LAVATORY	STRUCT	STRUCTURAL
DEG	DEGREE	LVL	LAMINATE VENEERED LUMBER	SUSP	SUSPENDED
DF	DRINKING FOUNTAIN	MAX	MAXIMUM	SYM	SYMMETRICAL
DTL	DETAIL	MECH	MECHANICAL	SYS	SYSTEM
DEMO	DEMOLITION	MEMB	MEMBRANE	T	TREAD
DIA	DIAMETER	MFR	MANUFACTURER	TEL	TELEPHONE
DIAG	DIAGONAL	MH	MANHOLE	T&G	TONGUE AND GROOVE
DIM	DIMENSION	MIN	MINIMUM	THK	THICK
DN	DOWN	MISC	MISCELLANEOUS	TRTD	TREATED
DR	DOOR	MO	MASONRY OPENING	TW	TOP OF WALL
DS	DOWNSPOUT	MTD	MOUNTED	TYP	TYPICAL
DWG	DRAWING	MTL	METAL	UNF	UNFINISHED
E	EAST	N	NORTH	UON	UNLESS OTHERWISE NOTED
EA	EACH	NIC	NOT IN CONTRACT	UL	UNDERWRITERS LABORATORY
EJ	EXPANSION JOINT	NOM	NOMINAL	VCT	VINYL COMPOSITION TILE
ELEV	ELEVATION	NTS	NOT TO SCALE	VERT	VERTICAL
ELEC	ELECTRICITY	OA	OVERALL	VWC	VINYL WALL COVERING
EMER	EMERGENCY	OC	ON CENTER	W	WEST
ENCL	ENCLOSURE	OD	OUTSIDE DIAMETER	W/	WITH
EQ	EQUAL	OH	OPPOSITE HAND	WD	WOOD
EQUIP	EQUIPMENT	OPNG	OPENING	W/O	WITHOUT
EWC	ELECTRIC WATER COOLER	OPP	OPPOSITE	WP	WATERPROOF
EXIST	EXISTING	PL	PLATE	WT	WEIGHT
EXP	EXPANSION	PLAM	PLASTIC LAMINATE	WWF	WELDED WIRE FABRIC
FD	FLOOR DRAIN	PLAS	PLASTIC	XFRTW	EXT. FIRE RETARDANT WOOD

SYMBOLS

	SECTION NUMBER
	SHEET # WHERE FOUND
	SHEET # WHERE REFERENCED
	ELEVATION NUMBER
	SHEET # WHERE FOUND
	DETAIL NUMBER
	SHEET # WHERE FOUND
	SHEET # WHERE REFERENCED
	NEW WORK AND MATERIAL TAG - SEE TAGGED NOTES
	DOOR NUMBER - SEE DOOR SCHEDULE FOR SIZE, TYPE, HARDWARE, ETC
	WINDOW/STOREFRONT TAG SEE WINDOW SCHEDULE AND/OR STOREFRONT ELEVATIONS
	ROOM NUMBER - SEE FINISH SCHEDULE FOR EXTENTS OF FINISHES

MATERIAL DESIGNATIONS

	POROUS FILL
	CONCRETE
	CMU
	BRICK
	RIGID INSULATION

22.

CONTRACTOR SHALL ENSURE THAT ALL BUILDING COMPONENTS, INCLUDING BUT NOT LIMITED TO CLADDING, WINDOWS, DOORS AND ROOF COVERING COMPLY WITH THE WIND LOAD REQUIREMENT ESTABLISHED BY THE APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL ALSO ENSURE THAT SUCH COMPONENTS, AS INSTALLED, HAVE A DP RATING SUFFICIENT TO MEET SUCH WIND LOADS AS CERTIFIED IN WRITING BY THE MANUFACTURER OF EACH SUCH COMPONENT.
23.

CONTRACTOR TO PROVIDE SOUND BATTS IN ALL NEW FLOOR/CEILING LOCATIONS AND ALL NEW INTERIOR WALLS SURROUNDING SLEEPING ROOMS AND BATHROOMS, LAUNDRY ROOMS, AND AS INDICATED.
24.

CONTRACTOR TO PROVIDE TEMPERED SAFETY IN ACCORDANCE WITH SECTION R308.
25.

CONTRACTOR TO PROVIDE EGRESS DOORS AND/OR WINDOWS AS INDICATED ON PLANS **(E)** AND AS REQUIRED BY BUILDING CODE SECTION R310 FROM ALL SLEEPING AREAS.
26.

CEILING HEIGHTS SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY WITH OWNER/ARCHITECT PRIOR TO FURRING DOWN ANY CEILING AREAS FOR CHASES, ETC. LOWER THAN HEIGHTS INDICATED ON DRAWINGS. ALIGN NEW CONSTRUCTION WITH EXISTING UNLESS OTHERWISE NOTED.
27.

PROVIDE HARDWIRED AND INTERCONNECTED SMOKE DETECTORS W/CARBON MONOXIDE DETECTORS AS INDICATED ON PLANS **(SD)** AND AS REQUIRED BY BUILDING CODE SECTIONS R314 AND R315. COORDINATE LOCATIONS WITH OWNER PRIOR TO INSTALLATION.
28.

PROVIDE WET LISTED FIXTURES AS REQUIRED BY CODE.
29.

VERIFY SWITCHING AND POWER REQUIREMENTS WITH OWNER PRIOR TO INSTALLATION.
30.

CONTRACTOR TO PROVIDE AND INSTALL ELECTRICAL OUTLETS AND SWITCHES AS REQUIRED BY STATE AND LOCAL BUILDING CODES AND AS DIRECTED BY OWNER.
31.

CONTRACTOR TO PROVIDE TV, DATA, AND TELEPHONE HOOKUPS AS DIRECTED BY OWNER.
32.

CONTRACTOR TO PROVIDE ALL LAMPS, TRIM KITS, TRANSFORMERS, ETC. AS REQUIRED FOR WORKING INSTALLATION OF ALL ELECTRICAL APPLIANCES AND LIGHTS.
33.

INSTALL ALL NEW WORK PER MFG. RECOMMENDATIONS IN ORDER TO PROVIDE MAXIMUM WARRANTY AVAILABLE. PROVIDE ALL REQUIRED SUBSTRATE, UNDERLAYMENT, FASTENERS, ETC. FOR A COMPLETE INSTALLATION.
34.

DO NOT SCALE DRAWINGS.
35.

BACK CHARGES FOR CHANGE ORDERS, CORRECTIVE WORK OR REPLACED MATERIALS WILL NOT BE ACCEPTED UNLESS EXPRESSLY AUTHORIZED IN WRITING BY THE ARCHITECT BEFORE ANY SUCH COSTS ARE INCURRED.
36.

PROVIDE POSITIVE SLOPE ON ALL EXTERIOR CONCRETE/HARDSCAPING WORK AS REQUIRED TO ALLOW DRAINAGE AWAY FROM BUILDING - TYPICAL.
37.

CONTRACTOR TO VERIFY EXISTING GRADE AT NEW WORK - SLOPE ALL GRADES AWAY FROM NEW CONSTRUCTION AS REQUIRED FOR POSITIVE DRAINAGE.
38.

PROVIDE MOUNTED PORTABLE FIRE EXTINGUISHERS AS REQUIRED BY BUILDING CODE.
39.

STRUCTURAL FRAMING SPACING/LOCATIONS SHOWN ON ARCHITECTURAL DRAWINGS ARE FOR GENERAL REFERENCE ONLY AND ARE SHOWN FOR REFERENCE ONLY. REFER TO STRUCTURAL DRAWINGS FOR ACTUAL LOCATION/PLACEMENT/SELECTION OF ANY AND ALL STRUCTURAL ELEMENTS.
40.

ALL EXTERIOR AZEK TRIM ADJACENT TO/ABUTTING SIDING TO BE 5/4" UNLESS OTHERWISE NOTED.
41.

MINIMUM INSULATION VALUES SHALL BE R-19 IN NEW EXTERIOR WALLS, R-22 IN FLOOR SYSTEMS AND R-38 IN ATTIC CONSTRUCTION.
42.

THESE DRAWINGS WERE BASED ON INFORMATION AND LIMITED FIELD WORK BY THE OWNER. FIELD VERIFICATION OF ALL DIMENSIONS, HEIGHTS, EXTENTS, ETC. MUST BE PERFORMED PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
43.

CONTRACTOR SHALL PROVIDE AND INSTALL ALL TEMPORARY SHORING/TEMPORARY CONSTRUCTION AS REQUIRED TO ACCOMMODATE NEW WORK.

RELEVANT CODE INFORMATION

2015 INTERNATIONAL RESIDENTIAL CODE
2015 VIRGINIA CONSTRUCTION CODE

BUILDING INFORMATION

USE GROUP CLASSIFICATION	RESIDENTIAL
TYPE OF CONSTRUCTION	V-B COMBUSTIBLE
FIRE SUPPRESSION	NONE

MAIN HOUSE BUILDING FOOTPRINT	6,843 SF
FIRST FLOOR CONDITIONED	4,175 SF
GARAGE	1,350 SF
PORCHES	1,318 SF
SECOND FLOOR CONDITIONED	1,804 SF
ROOM OVER GARAGE CONDITIONED	872 SF
TOTAL CONDITIONED	6,851 SF
POOL HOUSE FOOTPRINT	560 SF
FIRST FLOOR CONDITIONED	560 SF
SECOND FLOOR CONDITIONED	423
TOTAL CONDITIONED	983 SF

REVISION INFORMATION

REVISION NO.	DATE	DESCRIPTION
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SHEET INDEX

S0.1	GENERAL NOTES
S0.2	GENERAL NOTES
S0.3	TYPICAL DETAILS
S0.4	TYPICAL DETAILS
S0.5	TYPICAL SECTIONS
S0.6	TYPICAL SECTIONS
S0.7	SHEAR WALL LAYOUT PLANS AND NOTES
S0.8	SHEAR WALL LAYOUT PLAN AND SCHEDULE
S0.9	SHEAR WALL ELEVATIONS & DETAILS
S1.1	FOUNDATION PLAN
S1.2	GARAGE & POOL HOUSE FOUNDATION PLANS
S1.3	FIRST FLOOR CEILING/SECOND FLOOR FRAMING PLAN
S1.4	GARAGE & POOL HOUSE SECOND FLOOR FRAMING PLAN
S1.5	SECOND FLOOR CEILING & LOW ROOF FRAMING PLAN
S1.6	GARAGE & POOL H OUSE SECOND FLOOR CEILING FRAMING PLANS
S1.7	ROOF FRAMING PLAN
S1.8	GARAGE & POOL HOUSE ROOF FRAMING PLANS
A0.1	KEY PLAN
A1.0	FIRST FLOOR PLAN
A1.1	SECOND FLOOR PLAN
A1.2	GARAGE PLANS AND SECTIONS
A1.3	ROOF PLAN
A1.4	FIRST FLOOR SCHEMATIC ELECTRICAL
A1.5	SECOND FLOOR SCHEMATIC ELECTRICAL
A1.6	GARAGE SCHEMATIC ELECTRICAL
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	GARAGE EXTERIOR ELEVATIONS & DETAILS
A3.0	PORCH SECTIONS
A4.0	TYPICAL WALL SECTIONS
A5.0	BUILDING SECTIONS & DETAILS
A5.1	BUILDING SECTIONS AND DETAILS
A6.0	POOL HOUSE
A7.0	3D VIEWS

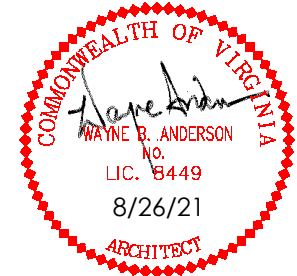
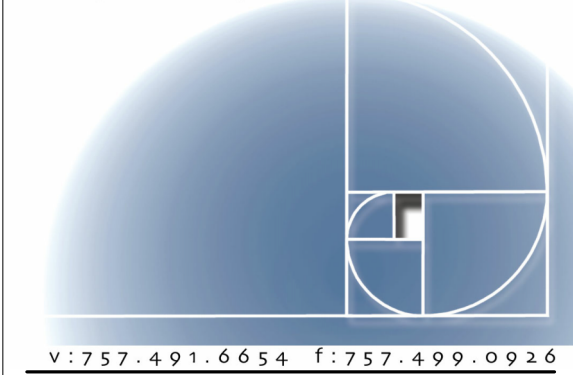
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REVISION NO.	DATE

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COVER

GENERAL STRUCTURAL NOTES:

- 1. COORDINATE AND VERIFY ALL DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF ALL OTHER DISCIPLINES PRIOR TO STARTING CONSTRUCTION.
- 2. THE STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS THAT COMPRISE THE COMPLETE CONSTRUCTION DOCUMENT SET FOR THIS PROJECT. THE CONTRACTOR SHALL COORDINATE AND VERIFY THE REQUIREMENTS OF ALL OTHER TRADES AS TO SLEEVES, CHASES, ANCHORS, INSERTS, HANGERS, HOLES, AND ANY ADDITIONAL ITEMS TO BE PLACED IN THE STRUCTURAL WORK.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, SEQUENCES, REGULATIONS, AND SAFETY MEASURES AS IT RELATES TO THIS PROJECT.
- 4. PROVIDE ALL TEMPORARY SHORING, GUYING AND BRACING AS REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK HAS BEEN COMPLETED. THE DESIGN OF SHORING, GUYING AND BRACING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. THE REFERENCE DATUM (ELEVATION = 0'-0") FOR ELEVATIONS SHOWN ON THESE DRAWINGS SHALL BE SUB FLOOR ELEVATION WHICH PREDOMINATES ON THE FIRST FLOOR.
- 6. WHERE A SECTION OR DETAIL IS SHOWN FOR ONE CONDITION, IT SHALL APPLY TO ALL LIKE AND SIMILAR CONDITIONS.
- 7. THE GENERAL STRUCTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE DRAWINGS, THE SPECIFICATIONS AND THE GENERAL STRUCTURAL NOTES, THE STRICTEST PROVISION SHALL GOVERN.
- 8. PRODUCTS AND MANUFACTURER'S SPECIFICALLY IDENTIFIED IN THE DRAWINGS ARE REQUIRED TO COMPLY WITH THE DESIGN. BEFORE SUBMITTING SUBSTITUTIONS, CONFIRM LOAD CAPACITY BASED ON RELIABLE TESTING DATA OR CALCULATIONS PUBLISHED BY AN INDEPENDENT, THIRD PARTY. THE ENGINEER OF RECORD SHOULD EVALUATE AND GIVE WRITTEN APPROVAL FOR SUBSTITUTIONS PRIOR TO INSTALLATION. INSTALL ALL PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.

DESIGN CODES AND GOVERNING STANDARDS:

- 1. 2015 EDITION OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (VUSBC).
- 2. 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).
- 3. 2010 EDITION OF THE AMERICAN SOCIETY OF CIVIL ENGINEERS/STRUCTURAL ENGINEERS INSTITUTE (ASCE/SEI): ASCE/SEI 7-10, "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES".
- 4. 2014 EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI): ACI 318-14, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE".
- 5. 2013 EDITION OF THE AMERICAN CONCRETE INSTITUTE (ACI): ACI 530-13, "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" AND ACI 530.1-13, "SPECIFICATIONS FOR MASONRY STRUCTURES".
- 6. 2010 EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC): AISC 360-10, "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS".
- 7. 2011 EDITION OF THE AMERICAN WELDING SOCIETY (AWS), D1.1 "STRUCTURAL WELDING CODE - STEEL", D1.3 "STRUCTURAL WELDING CODE - SHEET STEEL" AND D1.4 "STRUCTURAL WELDING CODE – REINFORCING STEEL".
- 8. 2015 EDITION OF THE AMERICAN WOOD COUNCIL: ANSI/AWC NDS-2015 NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION.

DESIGN LOADS:

THE FOLLOWING LOADS IN ADDITION TO THE DEAD LOADS OF THE PERMANENT CONSTRUCTION BUILDING MATERIALS WERE USED:

FLOOR LIVE LOAD(S):

LIVING AREAS : 40 PSF
SLEEPING AREAS : 30 PSF
ATTIC SPACE : 20 PSF

ROOF LIVE LOAD:

MINIMUM ROOF LOAD : 20 PSF

SNOW LOAD:

GROUND SNOW LOAD, Pg : 10 PSF

WIND DESIGN CRITERIA:

ULTIMATE DESIGN WIND SPEED, Vult (3 SECOND GUST) : 122 MPH
NOMINAL DESIGN WIND SPEED, Vasd : 94 MPH
RISK CATEGORY : II
WIND EXPOSURE : B
INTERNAL PRESSURE COEFFICIENT : +/-0.18

SEISMIC DESIGN CRITERIA:

RISK CATEGORY : II
SEISMIC IMPORTANCE FACTOR, Ie : 1.0
MAPPED SPECTRAL RESPONSE ACCELERATION PARAMETERS:
SHORT PERIODS, Ss : 0.086 g
1-SECOND PERIOD, S1 : 0.046 g
SITE CLASS : D (ASSUMED)
DESIGN SPECTRAL RESPONSE ACCELERATION PARAMETERS:
SHORT PERIODS, SDS : 0.093 g
1-SECOND PERIOD, SD1 : 0.073 g
SEISMIC DESIGN CATEGORY : B
BASIC SEISMIC FORCE-RESISTING SYSTEM(S) : BEARING WALL SYSTEM WITH LIGHT FRAMED WALLS WITH SHEAR PANELS OF ALL OTHER MATERIALS
ANALYSIS PROCEDURE USED : EQUIVALENT LATERAL FORCE

SOIL PREPARATION NOTES:

- 1. ALL FILL AND BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINED IN ACCORDANCE WITH ASTM D698, STANDARD PROCTOR METHOD, IN LIFTS NO GREATER THAN TWELVE (12) INCHES.
- 2. SOFT AND OTHERWISE UNSATISFACTORY SOILS BENEATH PROPOSED FOUNDATION ELEMENTS SHALL BE REMOVED AND BACKFILLED WITH PROPERLY COMPACTED MATERIALS AT THE DIRECTION OF THE ARCHITECT/ENGINEER. IF EXPANSIVE SILTS AND CLAYS ARE PRESENT, THESE SHALL BE REMOVED TO A MINIMUM OF THREE FEET BELOW ALL FOOTINGS AND BE REPLACED WITH ENGINEERED FILL MATERIAL.
- 3. THE AREA BELOW THE BUILDING FOOTPRINT SHALL BE STRIPPED OF ALL SURFACE VEGETATION AND TOPSOIL. STRIPPING SHOULD EXTEND AT LEAST FIVE FEET (5'-0") BEYOND CONCRETE LIMITS.
- 4. THE EXCAVATION FOR THE BUILDING'S FOUNDATIONS SHALL BE INSPECTED AND TESTED BY THE GEOTECHNICAL ENGINEER TO CONFIRM THAT THE EXCAVATION IS ADEQUATE TO SUPPORT THE FOOTINGS.
- 5. DUE TO THE TENDENCY OF THE UPPER STRATA TO BECOME SOFTENED AND UNSTABLE WHEN SATURATED AND WORKED BY EQUIPMENT, IT IS RECOMMENDED THAT THE EXPOSED SUBGRADE BE WELL DRAINED TO PREVENT ACCUMULATION OF WATER ON THE SITE AND CONSTRUCTION TRAFFIC SHOULD BE LIMITED TO MAINTAIN A MINIMUM. FOUNDATIONS SHALL BE PLACED AS SOON AS POSSIBLE AFTER EXCAVATION TO MINIMIZE THE POTENTIAL FOR DAMAGE TO THE FOUNDATION SOILS.

FOUNDATION NOTES:

- 1. THE FOUNDATIONS WERE DESIGNED FOR AN ASSUMED MAXIMUM ALLOWABLE NET SOIL BEARING PRESSURE OF 1500 PSF. THE SOILS BENEATH THE PROPOSED FOOTINGS SHALL BE CAPABLE OF SAFELY SUPPORTING THIS LOAD WITHOUT EXCESSIVE SETTLEMENT. ANY UNUSUAL SOIL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
- 2. ELEVATIONS TO TOP OF ALL FOOTINGS ARE INDICATED ON THE FOUNDATION PLAN. FOOTINGS SHALL BE LOWERED, IF APPROVED BY THE ARCHITECT/ENGINEER, TO OBTAIN THE DESIGN BEARING PRESSURE.
- 3. EARTH FORMED FOOTINGS SHALL CONFORM TO THE SHAPE, LINES, AND DIMENSIONS AS SHOWN ON THE FOUNDATION PLAN. BEFORE PLACING CONCRETE, ALL EMBEDDED ITEMS SHALL BE PROPERLY PLACED, ACCURATELY POSITIONED AND MAINTAINED SECURELY IN PLACE.
- 4. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT WATER FROM ENTERING FOUNDATION EXCAVATIONS. ALL WATER SHALL BE REMOVED PRIOR TO PLACING CONCRETE. CONCRETE SHALL NOT BE PLACED ON SOFT, SATURATED SOIL.
- 5. WALL FOOTINGS SHALL BE CENTERED ON THE WALLS AND COLUMN FOOTINGS SHALL BE CENTERED ON THE COLUMNS, UNLESS OTHERWISE NOTED.
- 6. PIPES SHALL NOT RUN THROUGH FOOTINGS. STEP FOOTINGS AS REQUIRED FOR UTILITIES TO RUN ABOVE TOP OF FOOTINGS. REFER TO TYPICAL STEPPED FOOTING DETAIL OR TYPICAL PIPE SLEEVE THRU CONTINUOUS FOOTING DETAIL ON SHEET S-___ FOR CLEARANCE REQUIREMENTS.
- 7. PRIOR TO ANY EXCAVATION OPERATIONS, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES OR OTHER SUBSURFACE STRUCTURES WITHIN THE AREA TO BE EXCAVATED.
- 8. PRIOR TO PLACING FOUNDATION CONCRETE, ALL FOUNDATION EXCAVATIONS SHALL BE INSPECTED BY A GEOTECHNICAL ENGINEER

CAST-IN-PLACE CONCRETE NOTES:

- 1. ALL CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 301 "STRUCTURAL CONCRETE FOR BUILDINGS" AND ACI 318/318R "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE." CONCRETE PLACED IN HOT WEATHER SHALL BE PLACED IN ACCORDANCE WITH ACI 305 "HOT WEATHER CONCRETING." CONCRETE PLACED IN COLD WEATHER SHALL BE PLACED IN ACCORDANCE WITH ACI 306 "COLD WEATHER CONCRETING."
- 2. ALL CAST-IN-PLACE CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND ATTAIN THE FOLLOWING MINIMUM 28 DAY COMPRESSIVE STRENGTHS (F_c) OF 3,000 PSI.
- 3. REINFORCING MATERIALS SHALL BE AS FOLLOWS:
A. REINFORCING BARS – ASTM A 615, GRADE 60, DEFORMED
B. WELDED WIRE REINFORCEMENT – ASTM A 185 – WELDED STEEL WIRE REINFORCEMENT; PROVIDE FLAT SHEETS ONLY, ROLL TYPE IS PROHIBITED.
- 4. BEND ALL BARS 24 DIAMETERS AROUND CORNERS. ALL BENT BARS SHALL BE SHOP FABRICATED. FIELD BENDING OF REINFORCEMENT IS NOT PERMITTED.
- 5. PROVIDE 3/4" CHAMFERS ON ALL EXPOSED EDGES OF CONCRETE, UNLESS OTHERWISE NOTED.
- 6. THE SLUMP OF CAST-IN-PLACE CONCRETE SHALL NOT EXCEED 4 INCHES WITHOUT A HIGH RANGE WATER REDUCING ADMIXTURE. THE SLUMP OF CAST-IN-PLACE CONCRETE WITH THE USE OF A HIGH RANGE WATER REDUCING ADMIXTURE SHALL NOT EXCEED 8 INCHES. ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED 5% TO 7%. ENTRAPPED AIR SHALL NOT EXCEED 3%.
- 7. ALL REINFORCING STEEL AND EMBEDDED ITEMS SUCH AS ANCHOR BOLTS AND WELD PLATES SHALL BE ACCURATELY PLACED AND HELD SECURELY TO PREVENT DISPLACEMENT DURING THE CONCRETE PLACEMENT. DO NOT WET SET DOWELS, ANCHOR BOLTS, OR OTHER EMBEDDED ITEMS. ALL REINFORCEMENT SHALL BE SUPPORTED ON PLASTIC-PROTECTED WIRE BAR SUPPORTS OR PRECAST CONCRETE BAR SUPPORTS OF GREATER COMPRESSIVE STRENGTH THAN THE CONCRETE, MANUFACTURED IN ACCORDANCE WITH THE CONCRETE REINFORCING STEEL INSTITUTE (CRSI) MANUAL OF STANDARD PRACTICE.
- 8. DURING THE PLACEMENT OF CONCRETE SLABS, TAKE ALL NECESSARY STEPS TO AVOID PLASTIC SHRINKAGE CRACKS DUE TO WEATHER. WET CURE ALL CONCRETE SLABS. CONVENTIONAL SAWED JOINTS SHALL BE COMPLETED WITHIN 4 TO 12 HOURS AFTER THE CONCRETE HAS BEEN FINISHED.
- 9. MINIMUM CONCRETE COVER FOR PROTECTION OF REINFORCEMENT SHALL BE AS FOLLOWS, UNLESS THE DRAWINGS DEPICT GREATER COVER REQUIREMENTS:

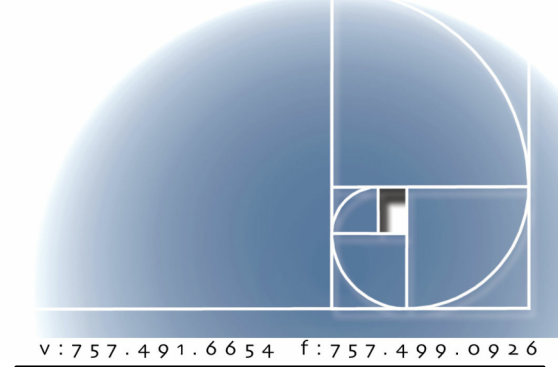
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH : 3 INCHES

CONCRETE CAST AGAINST FORMWORK AND PERMANENTLY EXPOSED TO EARTH OR WEATHER : 1 1/2 INCHES

ALL OTHER LOCATIONS : 1 1/2 INCHES (UNLESS OTHERWISE NOTED)
- 10. WHERE NEW CONCRETE IS PLACED AGAINST EXISTING, INCLUDING RECENTLY PLACED CONCRETE WHICH IS NO LONGER PLASTIC, COAT THE EXISTING CONCRETE SURFACE ABUTTING NEW WITH AN EPOXY BONDING COMPOUND.
- 11. FORMWORK SHALL BE IN ACCORDANCE WITH CHAPTER 26 OF ACI 318.
- 12. THE USE OF POST-INSTALLED REINFORCING STEEL AND ANCHOR BOLTS, EITHER WITH ADHESIVE, EPOXY GROUT AND/OR MECHANICAL SYSTEMS, WILL NOT BE PERMITTED UNLESS OTHERWISE NOTED. THE USE OF POST-INSTALLED SYSTEMS WILL BE CONSIDERED FOR REMEDIAL PURPOSES ONLY, SUBJECT TO APPROVAL BY THE ENGINEER OF RECORD.
- 13. SLABS ON COMPOSITE METAL DECK ARE INTENDED TO BE PLACED MONOLITHICALLY. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS INDICATING LOCATIONS OF PROPOSED INTERMEDIATE CONSTRUCTION JOINTS AND PLACEMENT SEQUENCES FOR REVIEW AND APPROVAL.

NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

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CHA PROJECT	21023
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GENERAL NOTES

S0.1

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MASONRY NOTES:

1.

CONCRETE MASONRY UNITS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH (F'm) OF 1,500 PSI AND BE IN ACCORDANCE WITH THE FOLLOWING:
- A.

CONCRETE MASONRY UNITS – ASTM C90, LIGHTWEIGHT
- B.

CONCRETE FACING BRICK – ASTM C1634
- C.

NON-LOADBEARING CONCRETE MASONRY UNITS – ASTM C129
- D.

MORTAR – ASTM C270, TYPE M, S OR N MASONRY CEMENT
- E.

GROUT – ASTM C476, (F'G) – 3,000 PSI (MIN) AND 5,000 PSI (MAX.)
- F.

REINFORCING BARS – ASTM A615, GRADE 60 DEFORMED BARS
- G.

TYPE N MORTAR SHALL BE USED FOR MASONRY VENEER
2.

ALL MORTAR FOR USE IN MASONRY BEARING WALLS SHALL BE IN ACCORDANCE WITH ASTM C-270 TYPE "S" MORTAR. USE TYPE "M" MORTAR FOR BELOW GRADE MASONRY. GROUT ALL CELLS SOLID BELOW FINISHED FIRST FLOOR UNLESS OTHERWISE NOTED.
3.

PROVIDE FOUNDATION DOWELS FOR ALL REINFORCED MASONRY WALLS WITH STANDARD ACI HOOK. LAP 48 BAR DIAMETERS WITH VERTICAL MASONRY REINFORCING. NUMBER, SIZE AND SPACING OF DOWELS SHALL MATCH WALL REINFORCING. DOWELS SHALL BE WIRE TIED AND NOT SET INTO WET CONCRETE.
4.

ALL REINFORCING STEEL MARKED CONTINUOUS (CONT.) SHALL BE LAPPED 48 BAR DIAMETERS AT SPLICES, UNLESS OTHERWISE NOTED. FULLY GROUT ALL REINFORCED CELLS.
5.

THE MASONRY CONTRACTOR SHALL BUILD, REINFORCE AND GROUT THE WALLS IN NO GREATER THAN 5'-4" LIFTS, VIBRATING GROUT IMMEDIATELY AFTER EACH LIFT.
6.

LAP ALL REINFORCING AS FOLLOWS:

#3 – 12"

#6 – 53"

#4 – 18"

#7 – 63"

#5 – 28"

#8 – 72"
7.

HORIZONTAL JOINTS SHALL BE REINFORCED WITH GALVANIZED STANDARD NO. 9 GAGE LADDER TYPE AT 16" ON CENTER ON ALL WALLS, LAP MINIMUM OF 6 INCHES.
8.

DIMENSIONS SHOWN FOR CMU WALLS ARE NOMINAL BLOCK. HOLD DIMENSIONS TO OUTSIDE FACE OF CMU.
9.

REFER TO ARCHITECTURAL DRAWINGS FOR ANY ADDITIONAL REQUIREMENTS.
10.

VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 192 BAR DIAMETERS OF THE REINFORCEMENT.
11.

PROVIDE ONE VERTICAL BAR THE SAME SIZE AS WALL REINFORCING AT CORNERS AND ENDS OF WALLS. REFER TO TYPICAL WALL REINFORCING DETAILS ON SHEET S0.3.
12.

HOLLOW UNIT MASONRY CONSTRUCTION SHALL CURE AT LEAST 24 HOURS BEFORE GROUTING EACH LIFT.

STRUCTURAL STEEL NOTES:

1.

ALL STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

A.

W-SHAPES - ASTM A992 GRADE 50

B.

MISCELLANEOUS SHAPES, ANGLES, PLATES AND BARS – ASTM A36

C.

HSS SHAPES – ASTM A500 GRADE B

D.

BOLTS - ASTM F3125

E.

NUTS – ASTM A563

F.

WASHERS – F436

G.

ANCHOR RODS – ASTM F1554, GRADE AS INDICATED

H.

WELDING ELECTRODES – E70XX
2.

DESIGN, FABRICATION, ERECTION AND ALL OTHER STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOURTEENTH EDITION OF THE MANUAL OF STEEL CONSTRUCTION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION.
3.

ALL FIELD BOLTED SHEAR CONNECTIONS SHALL BE BEARING TYPE CONNECTIONS (THREADS INCLUDED IN THE SHEAR PLANE) WITH A MINIMUM OF (2)-3/4 INCH DIAMETER ASTM F3125 HIGH STRENGTH BOLTS UNLESS OTHERWISE NOTED.
4.

ALL WELDING SHALL BE IN ACCORDANCE WITH AWS D1.1, "STRUCTURAL WELDING CODE - STEEL". WELD ELECTRODES SHALL BE E70XX.
5.

HIGH STRENGTH BOLTS SHALL BE TIGHTENED TO THE "SNUG TIGHT" CONDITION, UNLESS OTHERWISE NOTED.
6.

ALL HOLES AND CUTS REQUIRED IN STRUCTURAL STEEL MEMBERS SHALL BE SHOWN ON THE SHOP DRAWINGS AND SHALL BE MADE IN THE SHOP. NO HOLES SHALL BE CUT IN THE FIELD WITHOUT THE APPROVAL OF THE ENGINEER. TORCH CUTTING IS NOT PERMITTED.
7.

ALL COLUMN BASE AND BEAM BEARING PLATES SHALL BE GROUTED BELOW WITH NON-SHRINK NON-METALLIC GROUT IN ACCORDANCE WITH ASTM C1107 SPECIFICATIONS.

WOOD FRAMING NOTES:

1.

ALL STRUCTURAL LUMBER SHALL BE IN ACCORDANCE WITH S.P.I.B. SPECIFICATIONS AND SHALL BE NO. 2 SOUTHERN PINE AND USED AT 15% MAXIMUM MOISTURE CONTENT OR EQUAL.
2.

NAILING OF ALL STRUCTURAL LUMBER SHALL CONFORM TO THE "RECOMMENDED FASTENING SCHEDULE", TABLE 2304.9.1 OF THE 2012 INTERNATIONAL BUILDING CODE (IBC).
3.

ALL WOOD FRAMING MEMBERS PERMANENTLY EXPOSED TO THE WEATHER AND SILL PLATES AROUND THE BUILDING PERIMETER SHALL BE PRESERVATIVE TREATED. BOLT HEADS AND NUTS BEARING ON WOOD SHALL BE PROVIDED WITH STANDARD CUT WASHERS. ALL BOLTS OR NAILS EXPOSED TO THE WEATHER OR EMBEDDED IN CONCRETE SHALL BE STAINLESS STEEL OR GALVANIZED IN ACCORDANCE WITH ASTM A153.
4.

CONSTRUCTION PANELS SHALL COMPLY WITH PS 2 "U.S. PERFORMANCE STANDARD FOR WOOD-BASED STRUCTURAL-USE PANELS" FOR O.S.B. CONSTRUCTION PANELS AND THE FOLLOWING REQUIREMENTS:

A.

EXTERIOR WALL AND SHEAR WALL WALL SHEATHING : 1/2", APA RATED SHEATHING, EXPOSURE 1 EXPOSURE DURABILITY CLASSIFICATION.

B.

ROOF SHEATHING : 5/8", APA RATED SHEATHING, EXTERIOR EXPOSURE DURABILITY CLASSIFICATION.

C.

FLOOR SHEATHING : 3/4", APA RATED STURD-I-FLOOR TONGUE AND GROOVE PLYWOOD, 24" SPAN RATING.
5.

STAGGER ROOF SHEATHING SHEETS, FACE GRAIN PERPENDICULAR TO TRUSSES OR RAFTERS, AND NAILED WITH 8d COMMON NAILS AT 6" ON CENTER ON THE PERIMETER AND 12" ON CENTER INTERIOR.
6.

STAGGER WALL SHEATHING SHEETS, FACE GRAIN PERPENDICULAR TO STUDS, AND NAILED WITH 10d COMMON NAILS AT 6" ON CENTER ALONG PANEL EDGES AND AT 12" ON CENTER OVER INTERMEDIATE STUDS. REFER TO SHEAR WALL SCHEDULE FOR OTHER SHEATHING AND NAILING REQUIREMENTS.
7.

PROVIDE WOOD BRIDGING FOR ALL ROOF RAFTERS. WOOD BRIDGING SHALL BE SPACED AT A MAXIMUM OF 8'-0" ON CENTER, UNLESS OTHERWISE NOTED.
8.

ALL LVL BEAMS INDICATED ON PLAN SHALL BE 1.9E MICROLLAM LVL AS MANUFACTURED BY TRUSS JOIST MACMILLAN, OR EQUIVALENT, AND SHALL BE DESIGNED FOR 100% OF THE LOAD DURATION.

PREFABRICATED WOOD TRUSS NOTES:

1.

PREFABRICATED METAL-PLATE-CONNECTED WOOD TRUSSES FOR THIS STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL (AWC) "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND THE TRUSS PLATE INSTITUTE (TPI) ("DESIGN SPECIFICATION FOR METAL-PLATE-CONNECTED WOOD TRUSSES").
2.

THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN THE COMMONWEALTH OF VIRGINIA FOR THE DESIGN OF PREFABRICATED METAL-PLATE-CONNECTED WOOD TRUSSES, INCLUDING DESIGN LOADINGS AND REACTIONS APPLIED TO THE SUPPORTING STRUCTURE. SECONDARY BENDING STRESSES IN TRUSS TOP AND BOTTOM CHORDS DUE TO LOADS SHALL BE CONSIDERED IN THE DESIGN.
3.

WOOD TRUSS FRAMING MEMBERS SHALL COMPLY WITH PS 20 "AMERICAN SOFTWOOD LUMBER STANDARD" AND THE FOLLOWING REQUIREMENTS:

A.

MOISTURE CONTENT – SEASONED, WITH 19 PERCENT MAXIMUM MOISTURE CONTENT.

B.

GRADE – NO. 2.

C.

SPECIES – SOUTHERN PINE GRADED UNDER SPIB RULES.
4.

METAL CONNECTOR PLATES SHALL COMPLY WITH ASTM A653, GRADE A WITH COATING AS SPECIFIED.
5.

METAL FRAMING ANCHORS SHALL COMPLY WITH ASTM A653 GRADE A STRUCTURAL QUALITY. ANCHORS SHALL BE CAPABLE OF SUPPORTING THE REACTIONS SHOWN.
6.

WOOD (FLOOR) TRUSS DESIGN LOADS SHALL BE AS FOLLOWS:

A.

TOP CHORD LOADING:

LIVE LOAD = AS INDICATED IN "GENERAL NOTES"

DEAD LOAD = 10 PSF

B.

BOTTOM CHORD LOADING:

DEAD LOAD = 10 PSF

7.

WHERE MULTIPLE TRUSS PLIES ARE INDICATED, FASTEN TOGETHER AS REQUIRED BY THE TRUSS MANUFACTURER.

8.

IN ADDITION TO ANY TRUSS BRACING SHOWN, THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY AND PERMANENT BRACING AS REQUIRED FOR SAFE ERECTION OF THE TRUSSES, OR AS RECOMMENDED BY THE MANUFACTURER. THE GUIDELINES SET FORTH IN THE TRUSS PLATE INSTITUTE PUBLICATION "BRACING WOOD TRUSSES, COMMENTARY AND RECOMMENDATIONS" SHALL BE CONSIDERED MINIMUM REQUIREMENTS.

9.

TRUSS MANUFACTURER SHALL DESIGN AND SPECIFY BOTTOM CHORD BRACING WHERE CEILING SHEATHING DOES NOT ATTACH DIRECTLY TO TRUSS BOTTOM CHORD. COORDINATE EXTENTS OF CEILING SHEATHING WITH ARCHITECTURAL DRAWINGS.

10.

TRUSS MANUFACTURER MAY USE ALTERNATIVE TRUSS WEB CONFIGURATIONS SUBJECT TO APPROVAL OF THE ARCHITECT/ENGINEER.
- ABBREVIATION LEGEND:
- | | | | |
|--------|--|---------|---------------------------|
| ACI | AMERICAN CONCRETE INSTITUTE | INFO. | INFORMATION |
| ADDIT. | ADDITION/ADDITIONAL | KSI | KIPS PER SQUARE INCH |
| AISC | AMERICAN INSTITUTE OF STEEL CONSTRUCTION | LBS. | POUNDS |
| ARCH. | ARCHITECTURAL | LLH | LONG LEG HORIZONTAL |
| ASTM | AMERICAN STANDARD FOR TESTING OF MATERIALS | LLV | LONG LEG VERTICAL |
| AWS | AMERICAN WELDING SOCIETY | LT. | LIGHT |
| BLDG. | BUILDING | L.W. | LONG WAY |
| B.O. | BOTTOM OF | MANUF. | MANUFACTURER |
| BOTT. | BOTTOM | MAS. | MASONRY |
| BRG. | BEARING | MAX. | MAXIMUM |
| CL | CENTERLINE | MIN. | MINIMUM |
| CLR. | CLEAR | MECH. | MECHANICAL |
| CMU | CONCRETE MASONRY UNIT | MTL. | METAL |
| COL. | COLUMN | o/c | ON CENTER |
| CONC. | CONCRETE | OPNG. | OPENING |
| CONN. | CONNECT/CONNECTION | OPP. | OPPOSITE |
| CONT. | CONTINUE/CONTINUOUS | PEJ | PREMOLDED EXPANSION JOINT |
| COORD. | COORDINATE | PL | PLATE |
| DBL | DOUBLE | PROJ. | PROJECTION |
| DEMO. | DEMOLISH/DEMOLITION | PSF | POUNDS PER SQUARE FOOT |
| DET. | DETAIL | PSI | POUNDS PER SQUARE INCH |
| DIA. | DIAMETER | REINF. | REINFORCED/REINFORCING |
| DIAG. | DIAGONAL | REM. | REMAINDER |
| DWGS. | DRAWINGS | REQ'D. | REQUIRED |
| EA. | EACH | RTU | ROOF TOP UNIT |
| E.F. | EACH FACE | SB | SLAB BEAM |
| E.W. | EACH WAY | SCHED. | SCHEDULE |
| ELEV. | ELEVATION | SECT. | SECTION |
| EMBED. | EMBEDDED/EMBEDMENT | SIM. | SIMILAR |
| EQ. | EQUAL/EQUALLY | STD. | STANDARD |
| EXIST. | EXISTING | STL. | STEEL |
| EXP. | EXPANSION | STRUCT. | STRUCTURAL |
| F.F. | FINISHED FLOOR | S.W. | SHORT WAY |
| F.F.E. | FINISHED FLOOR ELEVATION | THK. | THICK |
| FIN. | FINISHED | T.O. | TOP OF |
| FLR. | FLOOR | TYP. | TYPICAL |
| FNDN. | FOUNDATION | U.O.N. | UNLESS OTHERWISE NOTED |
| FTG. | FOOTING | VERT. | VERTICAL |
| F.V. | FIELD VERIFY | W.P. | WORKING POINT |
| GA. | GAGE | WT. | WEIGHT |
| GALV. | GALVANIZED | WWR | WELDED WIRE REINFORCEMENT |
| HORIZ. | HORIZONTAL | W/ | WITH |
- 8/25/2021 5:12:59 PM
- McPHERSON

DESIGN

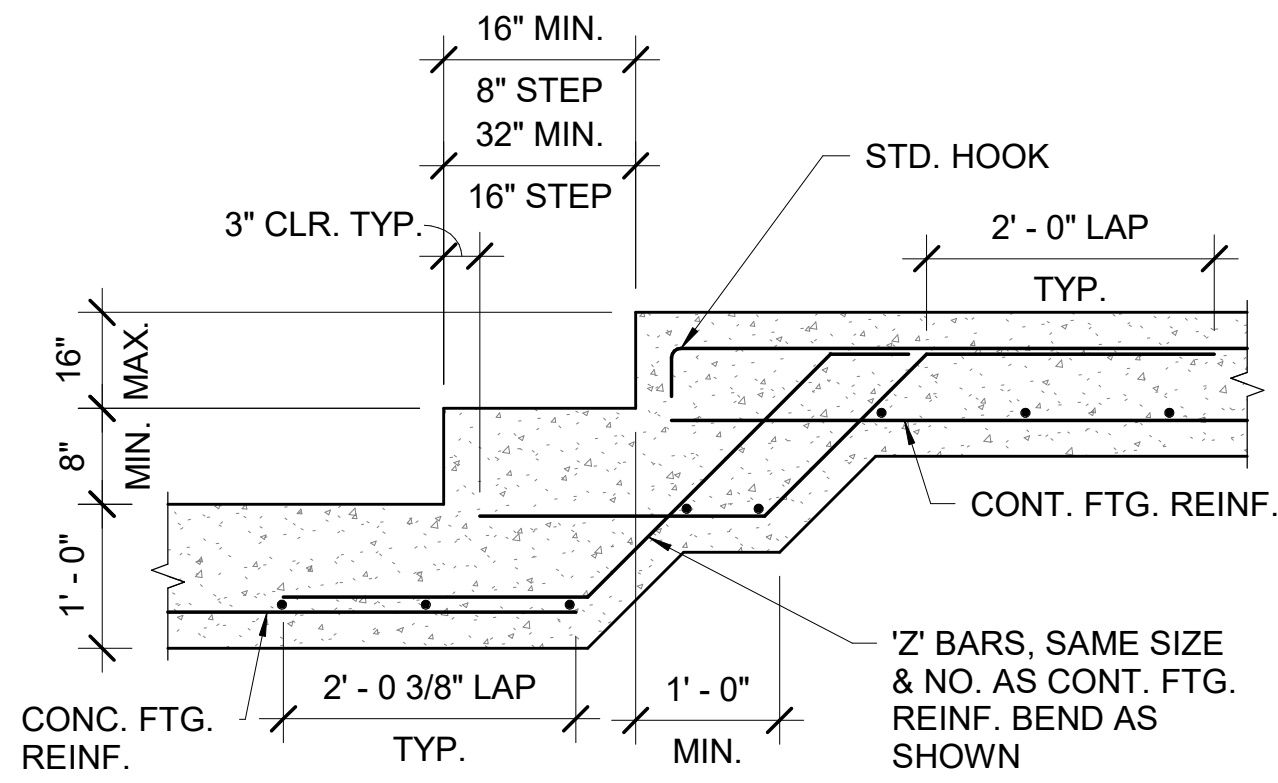
GROUP

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RODNEY DUCKWORTH

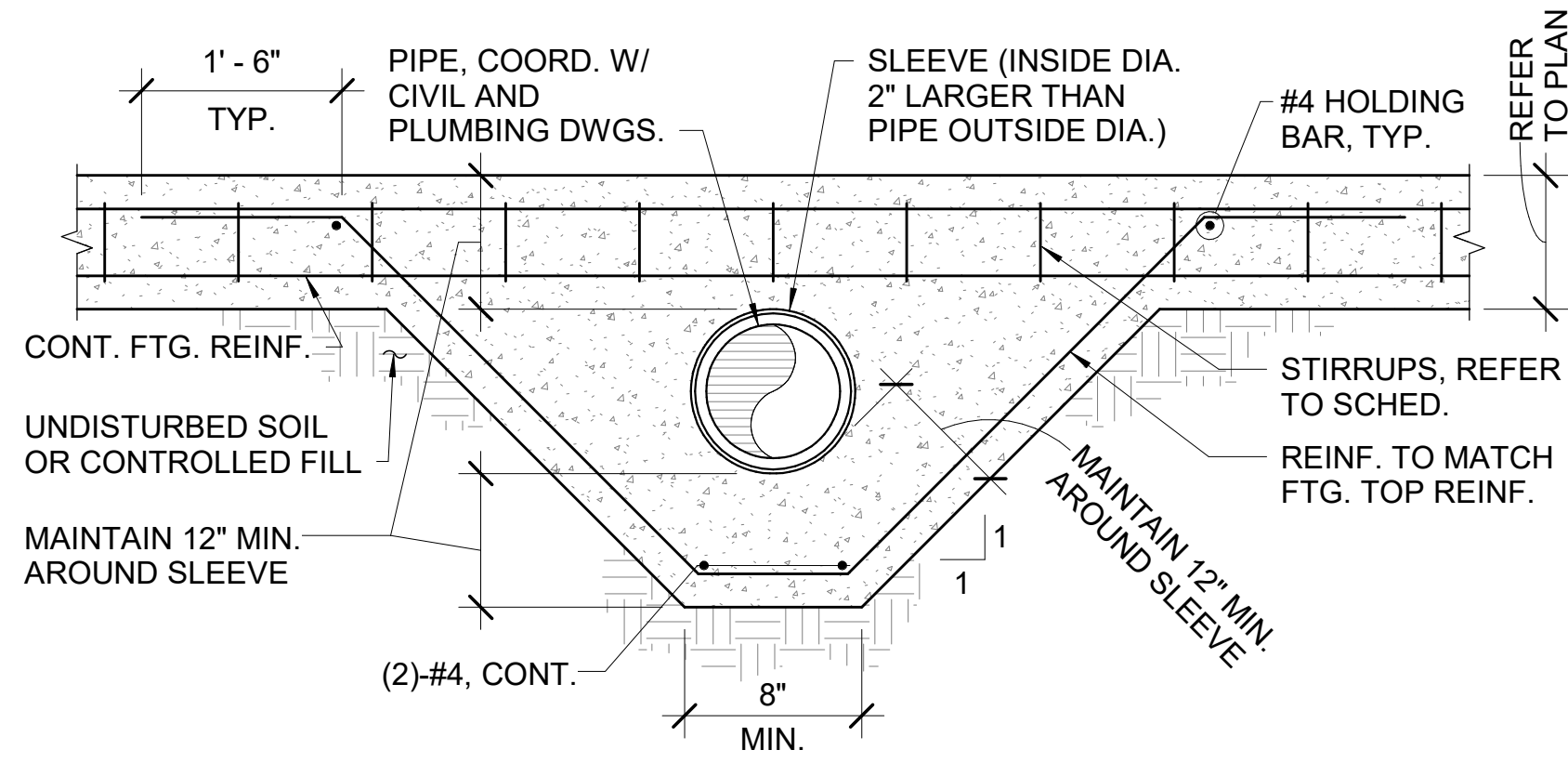
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- GENERAL NOTES
- S0.2



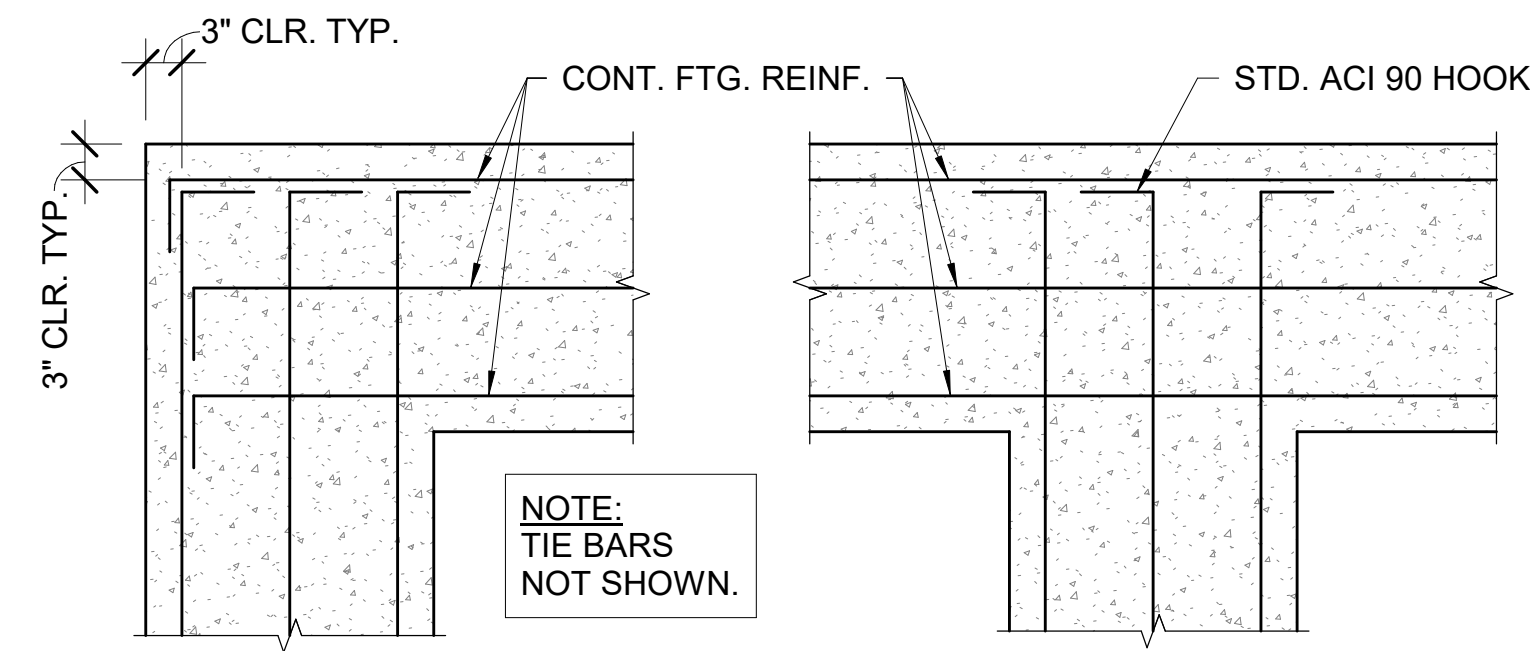
TYPICAL STEPPED FOOTING DETAIL

NOT TO SCALE



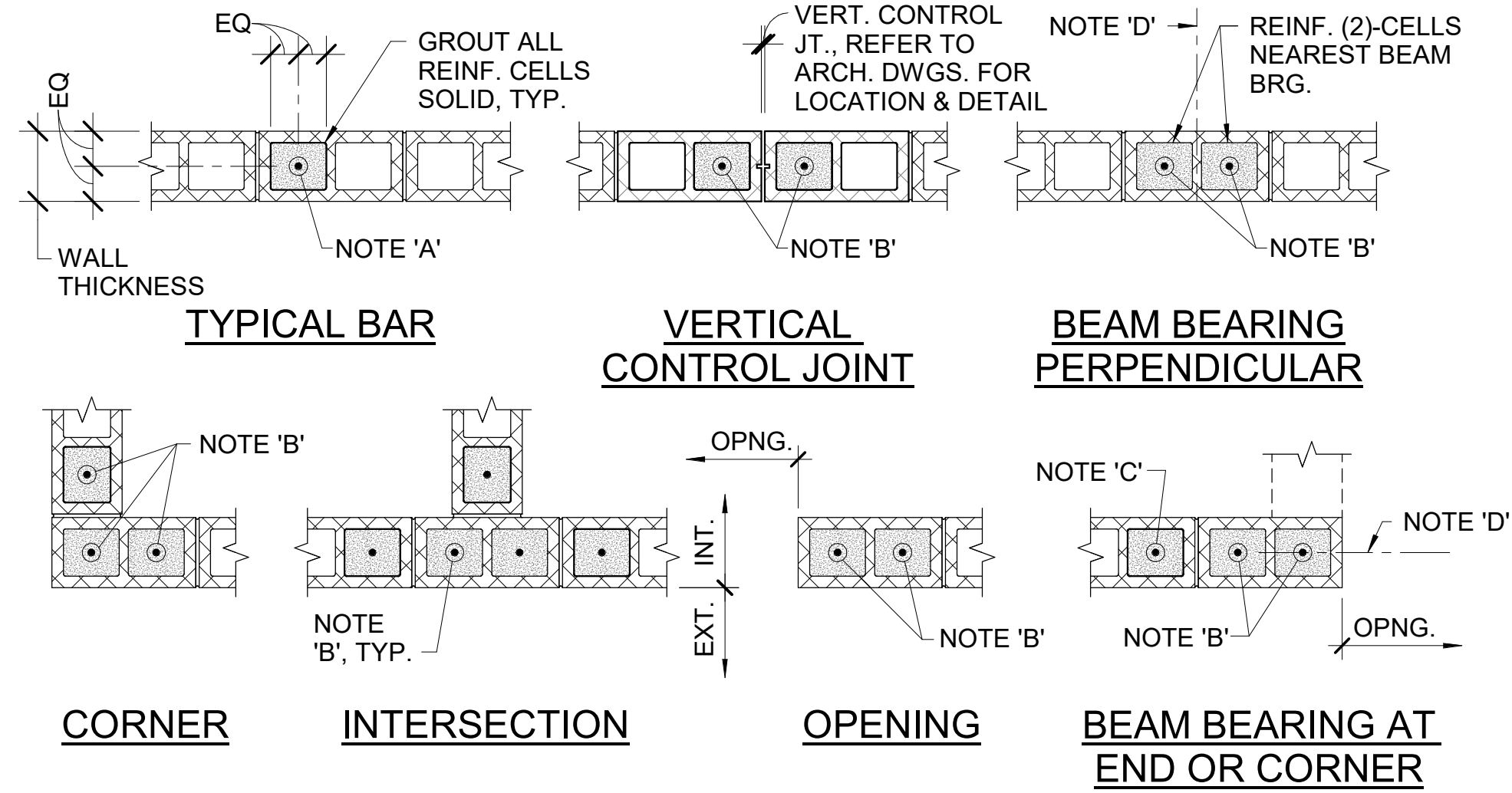
TYPICAL PIPE SLEEVE THRU CONTINUOUS FOOTING DETAIL

NOT TO SCALE



TYPICAL FOOTING REINFORCING DETAIL

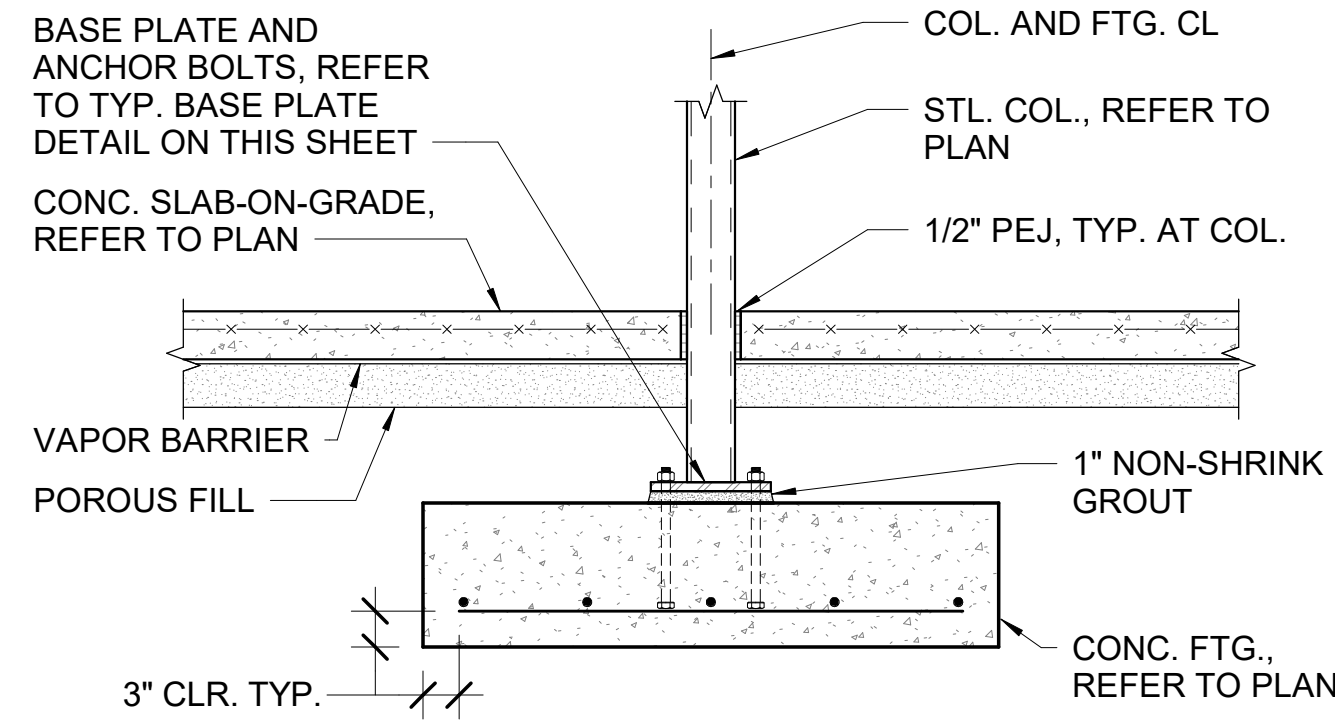
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TYPICAL WALL REINFORCING DETAILS

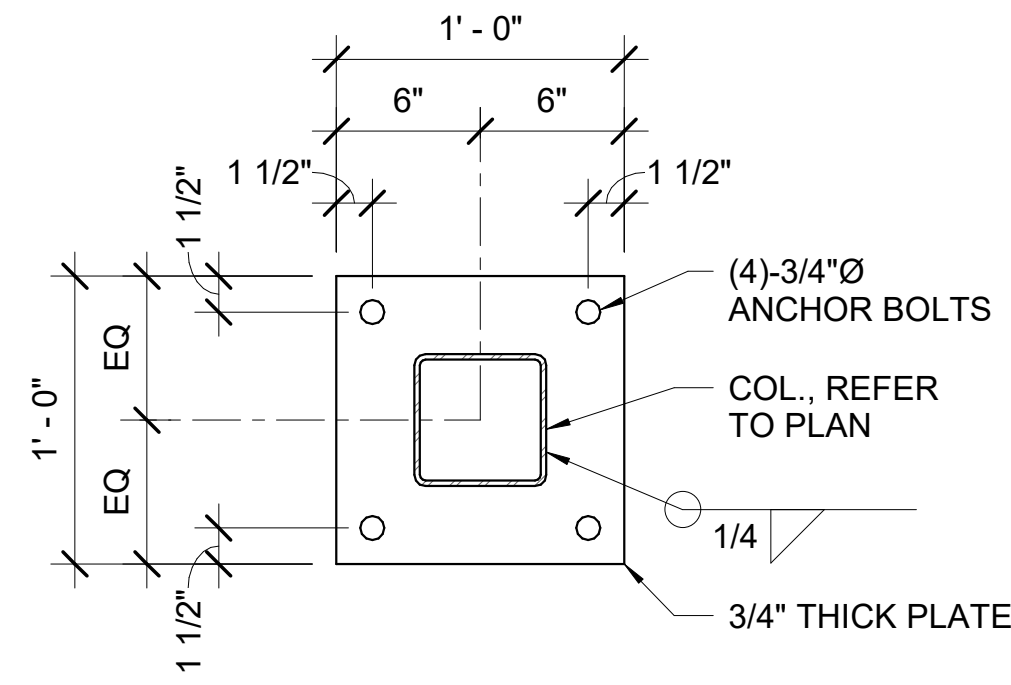
NOT TO SCALE

- NOTES:**
- VERTICAL WALL REINFORCING BAR AS SPECIFIED. REFER TO OTHER DETAILS AND SECTIONS FOR SIZE AND SPACING.
 - VERTICAL WALL REINFORCING BAR AS SPECIFIED (PROVIDE #4 BAR WHERE NOT OTHERWISE SPECIFIED).
 - ADDITIONAL VERTICAL WALL REINFORCING BARS MAY BE REQUIRED, REFER TO PLANS AND OTHER DETAILS.
 - CENTERLINE OF BEAM/GIRDER ABOVE, REFER TO FRAMING PLANS FOR EXACT LOCATION.



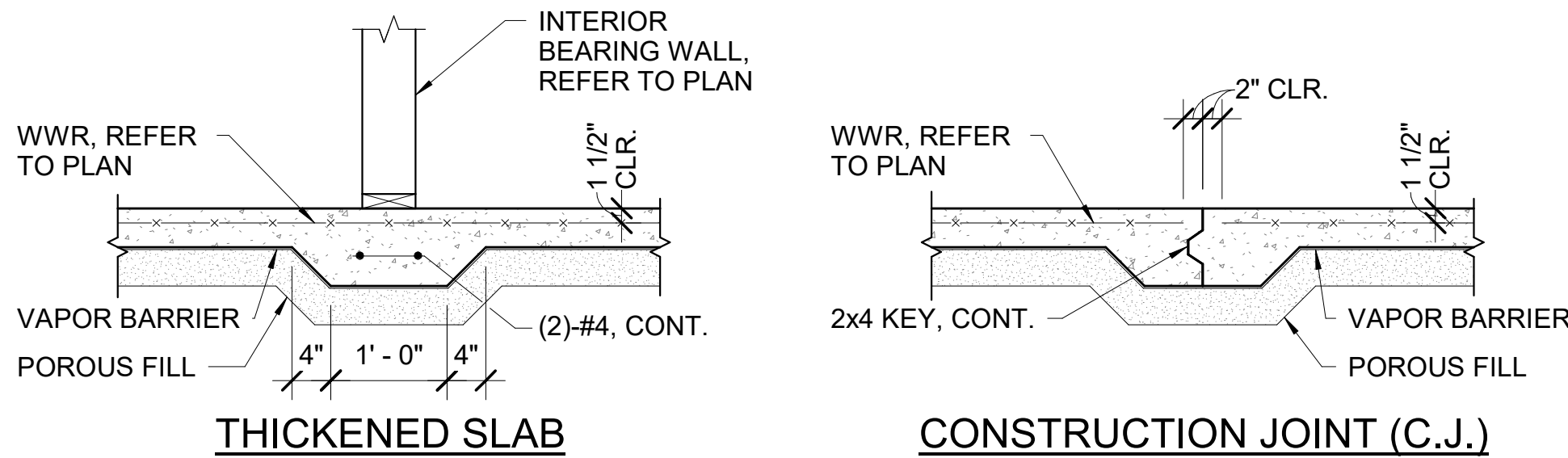
TYPICAL COLUMN FOOTING DETAIL

NOT TO SCALE



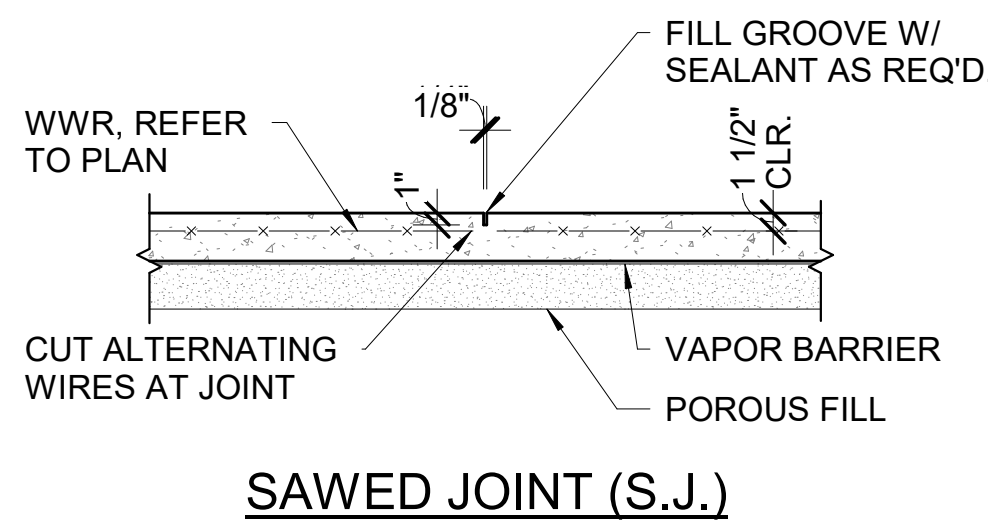
TYPICAL BASE PLATE DETAIL

NOT TO SCALE

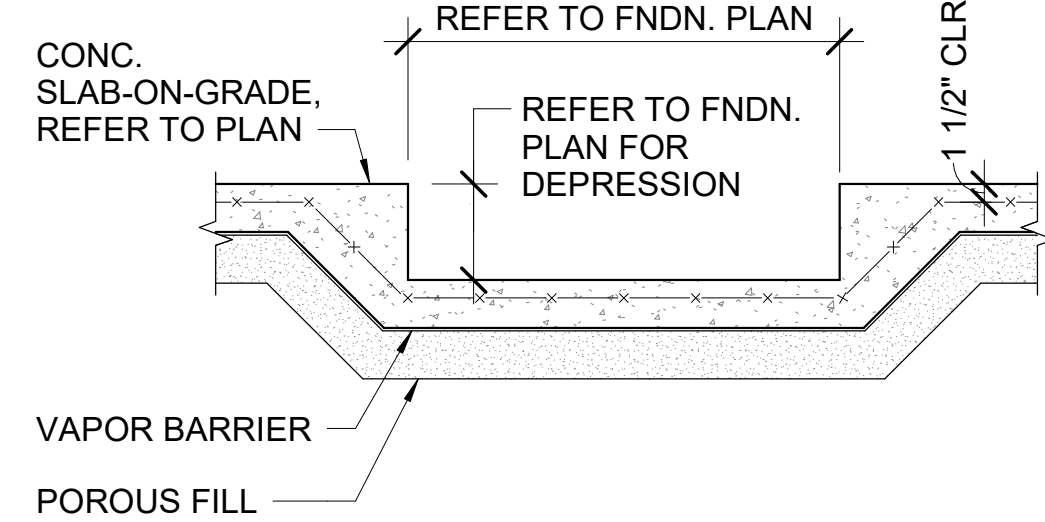


TYPICAL SLAB-ON-GRADE DETAILS

NOT TO SCALE

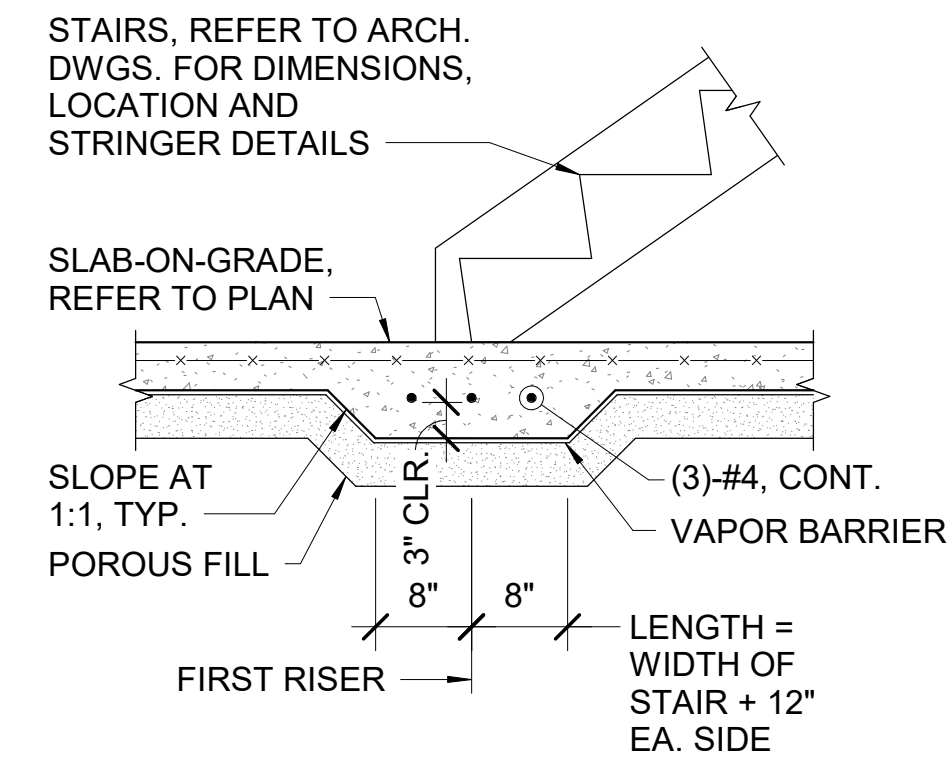


SAWED JOINT (S.J.)



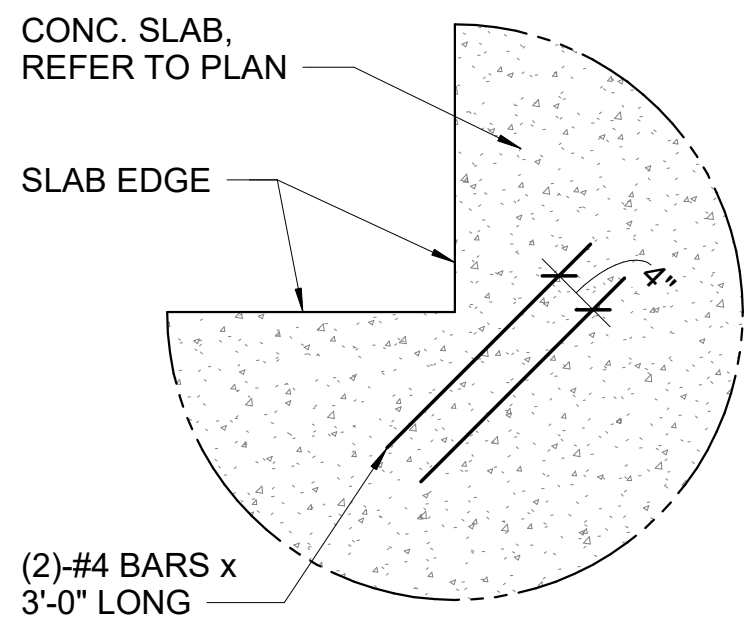
TYPICAL DEPRESSED SLAB DETAIL

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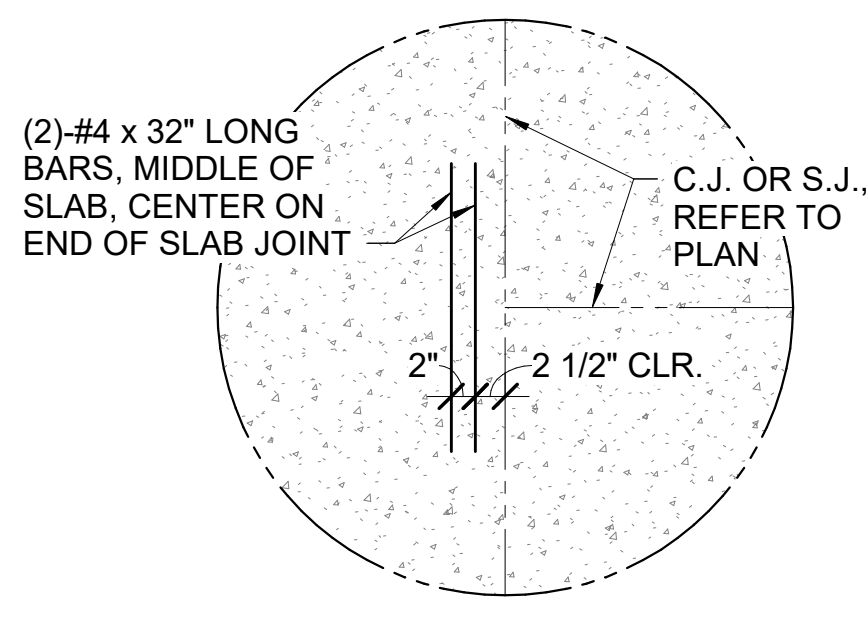
TYPICAL THICKENED SLAB AT STAIR LANDING DETAIL

NOT TO SCALE



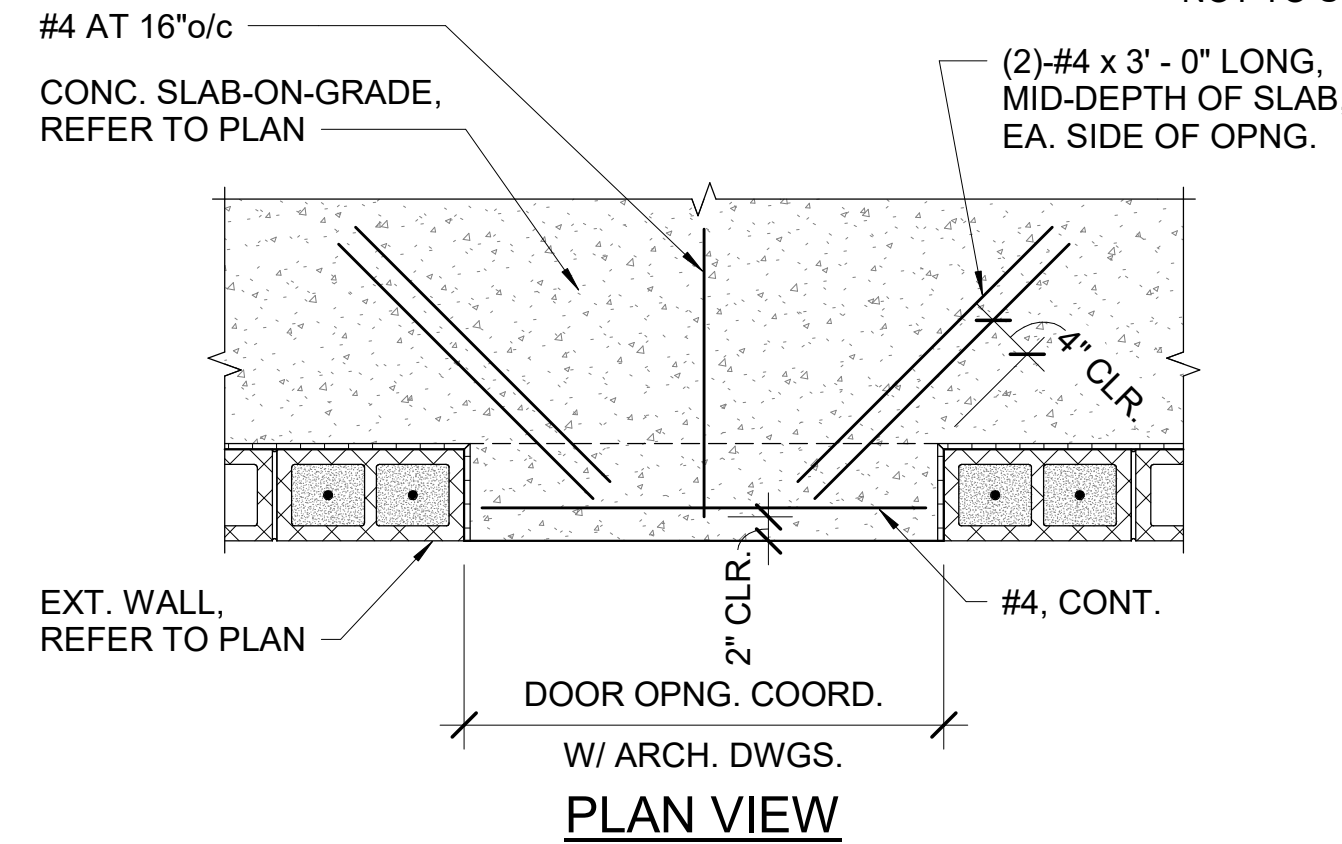
TYPICAL RE-ENTRANT CORNER DETAIL

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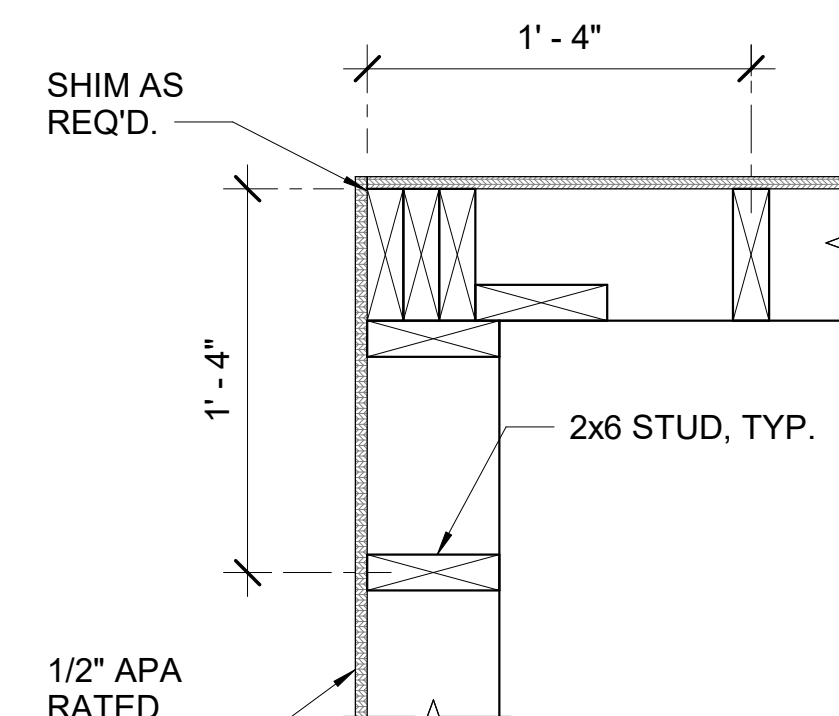
TYPICAL DETAIL AT DISCONTINUOUS SLAB JOINT

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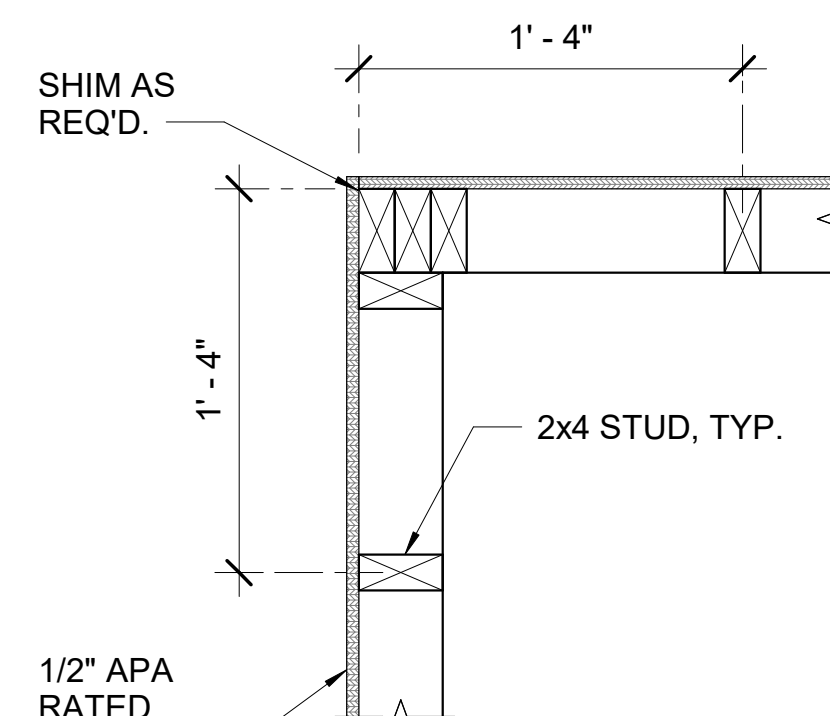
TYPICAL DETAIL OF ADDED SLAB REINFORCING AT EXTERIOR DOORS

NOT TO SCALE



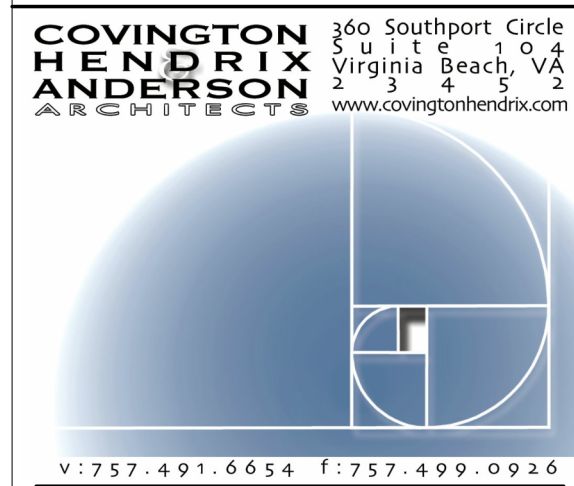
TYPICAL DETAIL AT STUD WALL OUTSIDE CORNERS

NOT TO SCALE



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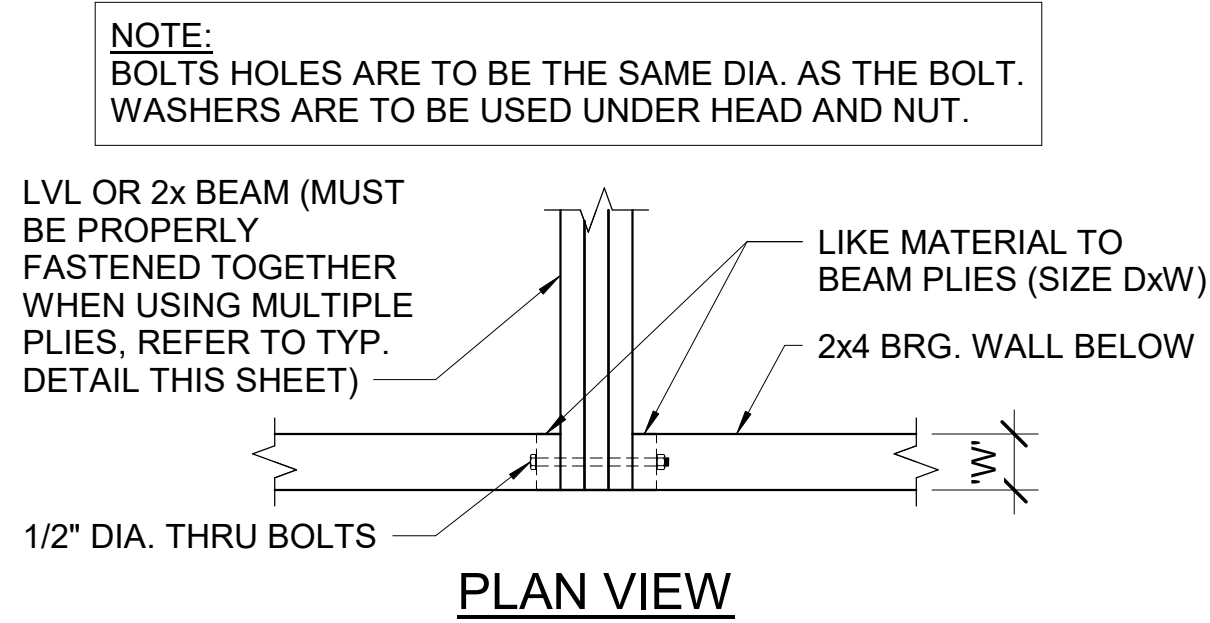
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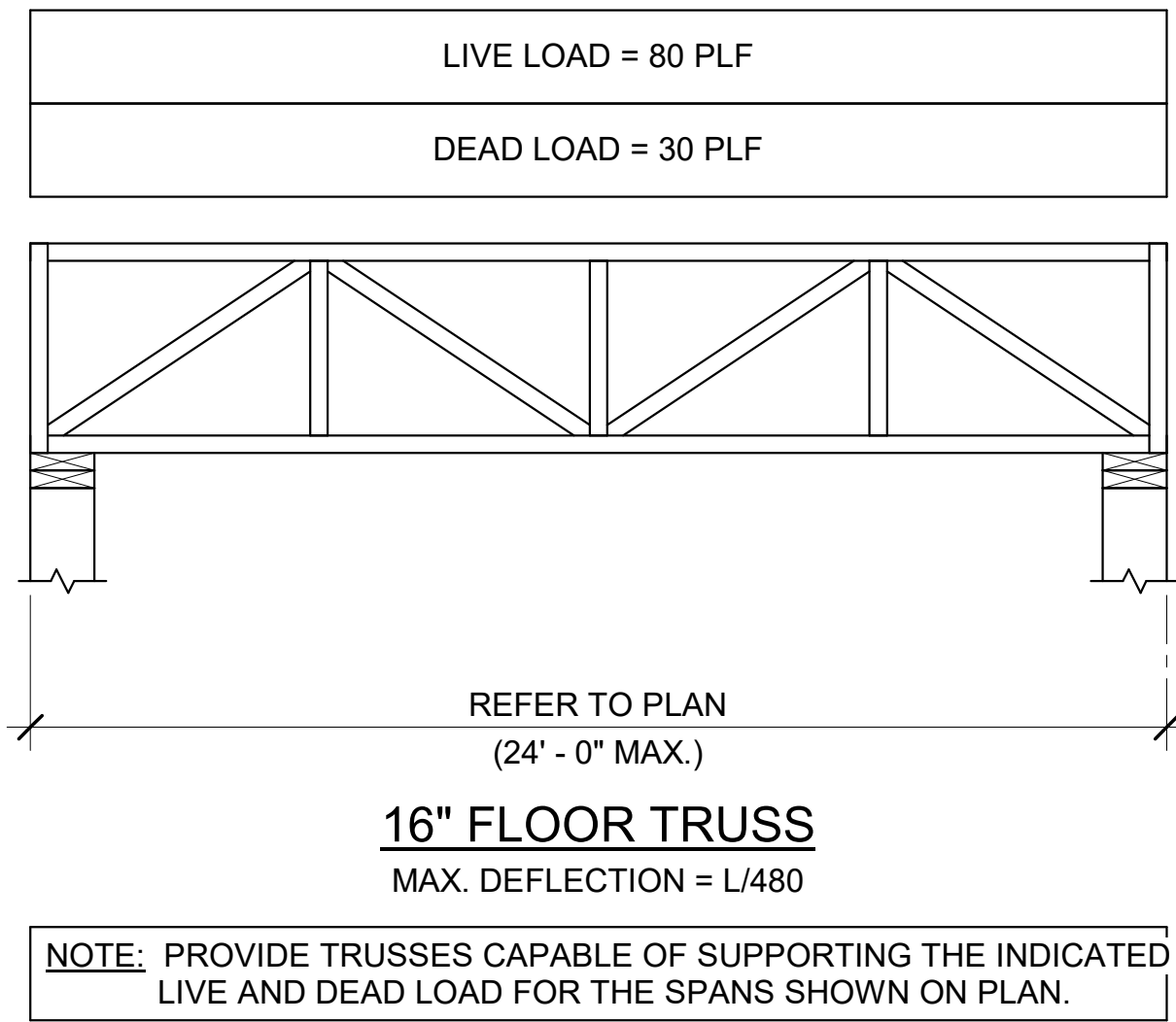
TYPICAL DETAILS

S0.3



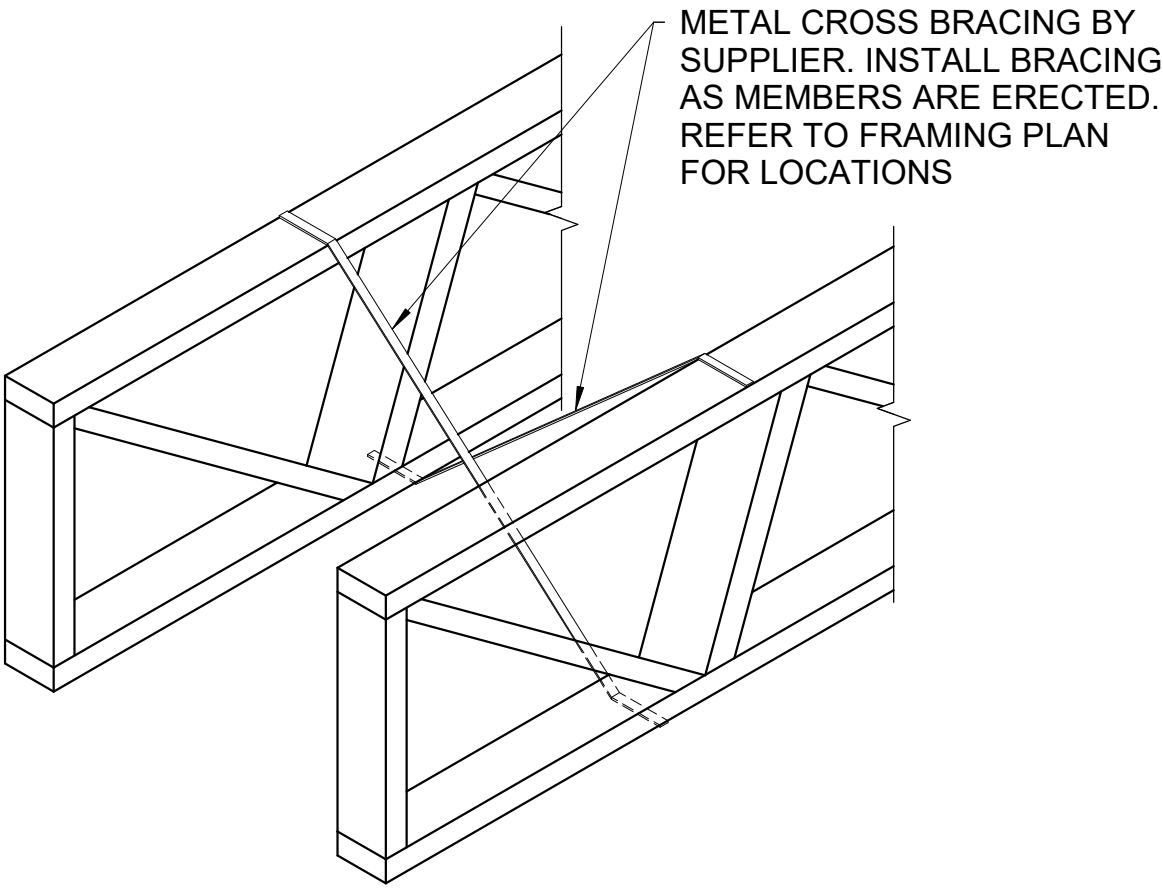
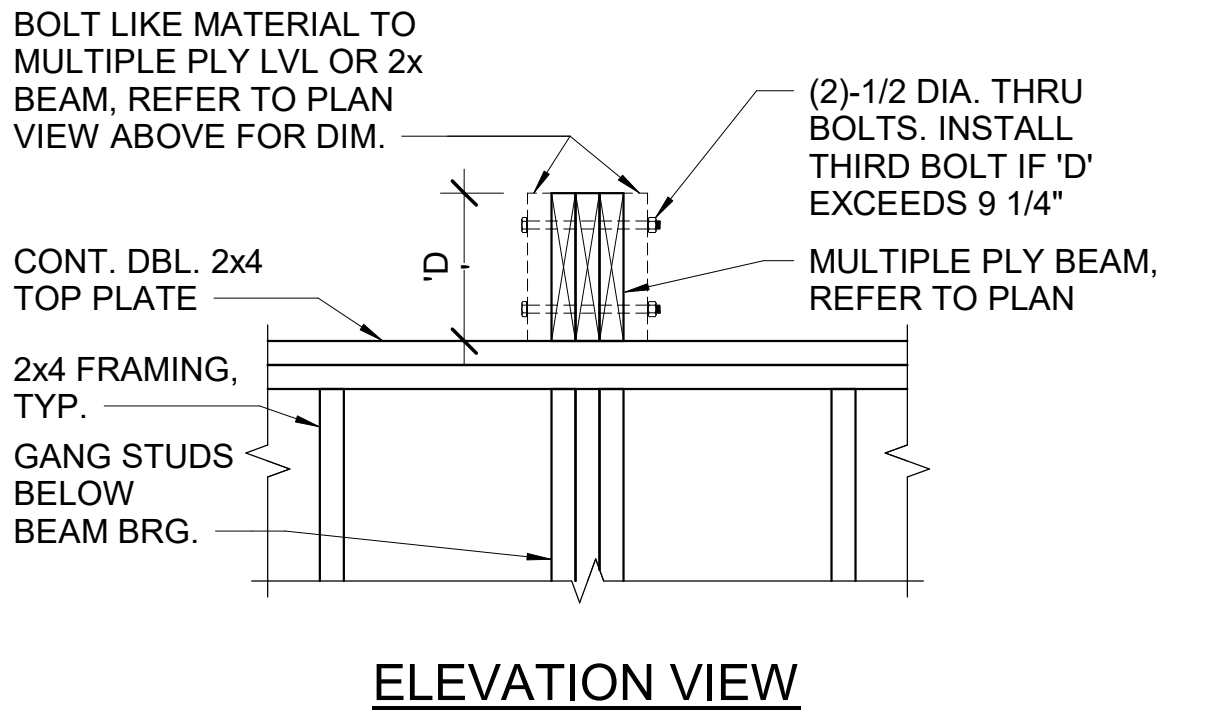
TYPICAL BEAM BEARING DETAIL

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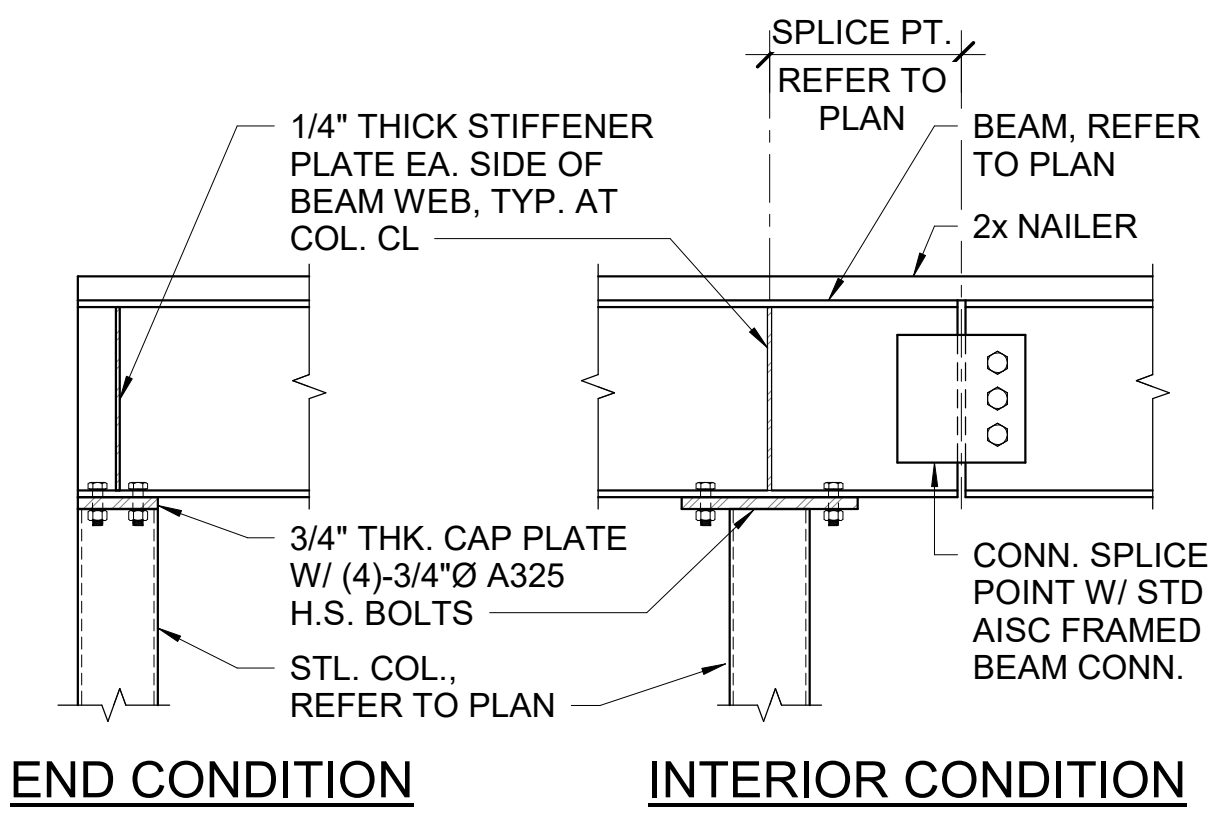
FLOOR TRUSS LOADING DIAGRAM

NOT TO SCALE



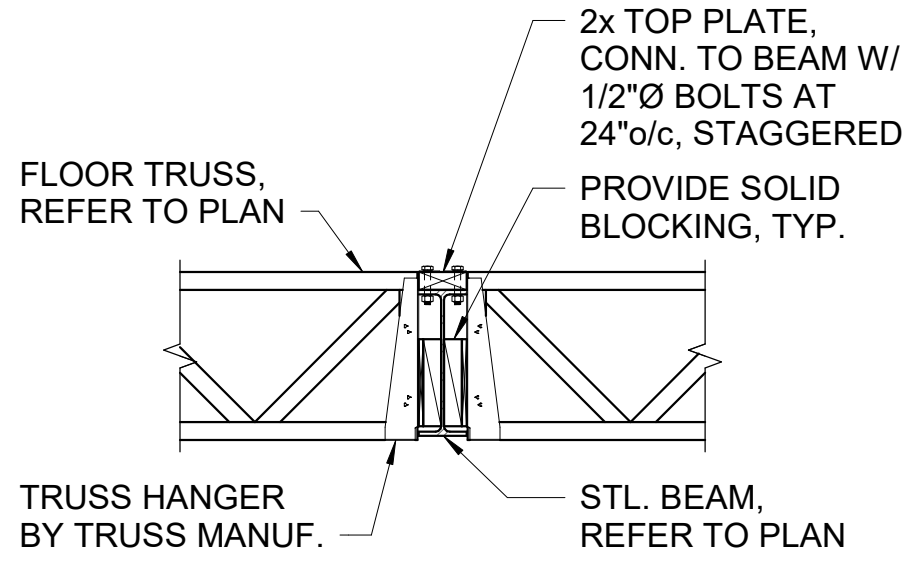
TYPICAL FLOOR TRUSS CROSS BRACING DETAIL

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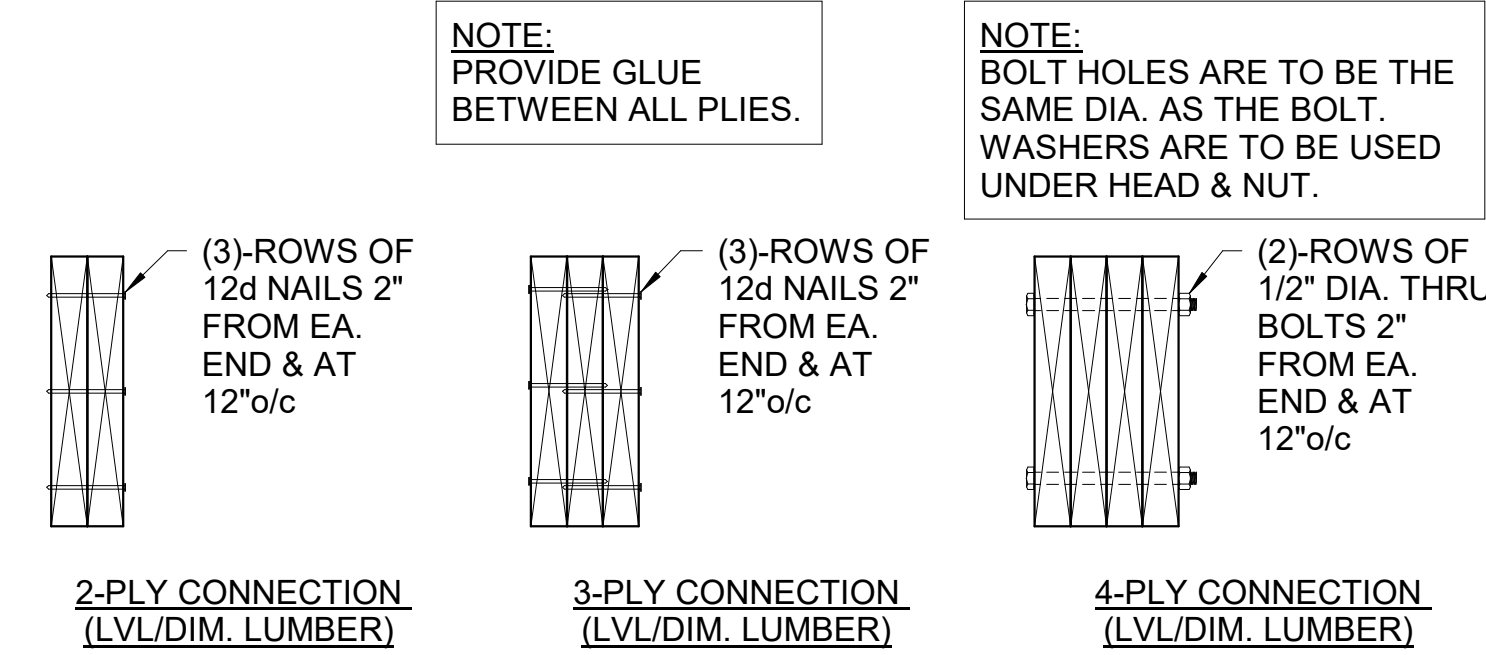
TYPICAL STEEL FRAMING DETAILS

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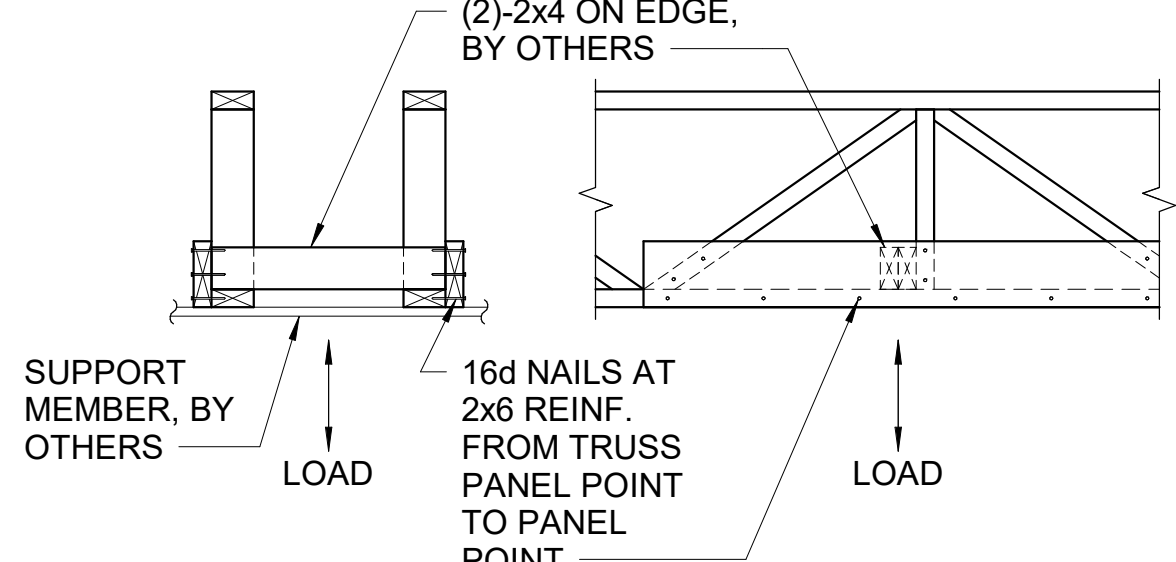
TYPICAL FLOOR TRUSS TO BEAM CONNECTION DETAIL

NOT TO SCALE



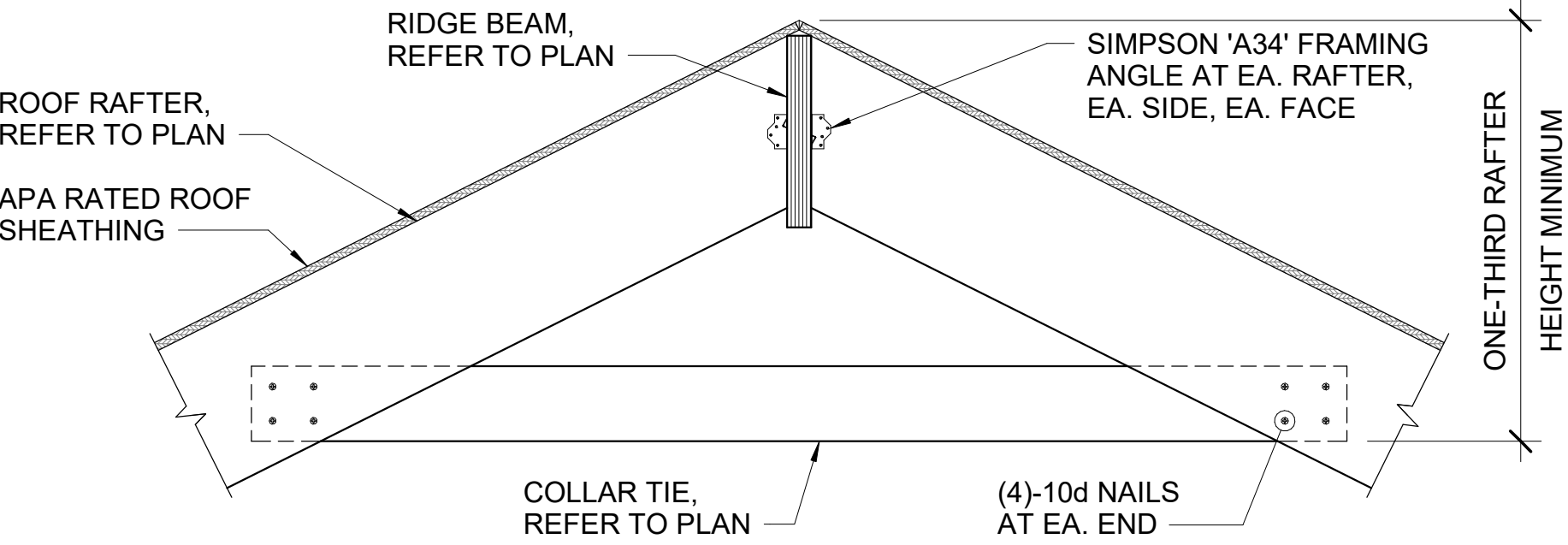
TYPICAL MULTI-PLY BEAM CONNECTION DETAILS

NOT TO SCALE



TYPICAL DETAIL AT FLOOR TRUSS CONCENTRATED LOADS

NOT TO SCALE



TYPICAL COLLAR TIE DETAIL

NOT TO SCALE

DIAPHRAGM NAILING SCHEDULE:

EXCEPT WHERE OTHERWISE NOTED OR DETAILED, PLYWOOD SHEATHING SHALL BE NAILED WITH 8d NAILS AT 6" ON CENTER AT PANEL EDGES, 12" ON CENTER FIELD. BLOCK UNSUPPORTED EDGES WHERE INDICATED ON PLAN.

DEFINITION OF TERMS:

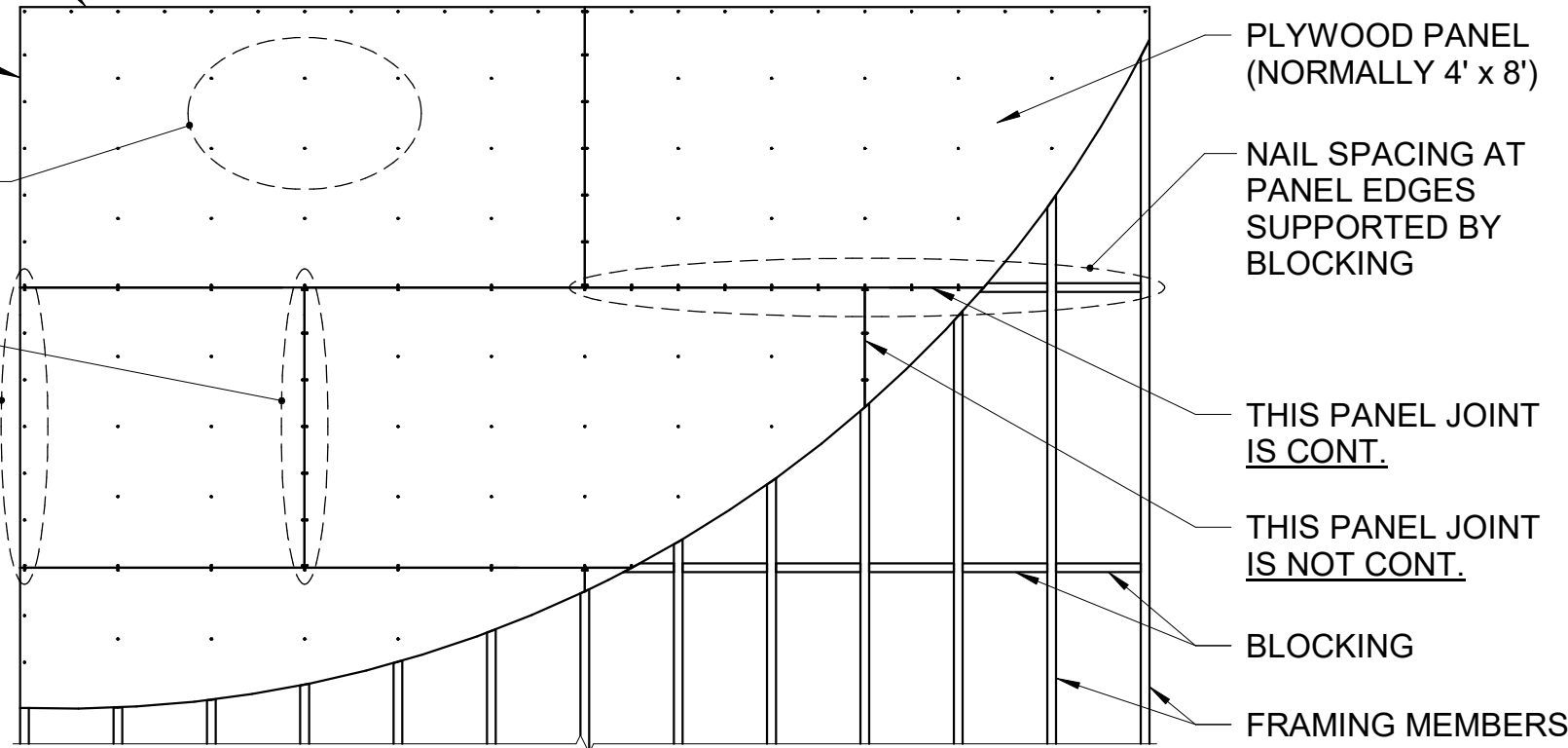
DIAPHRAGM BOUNDARY

NAILING TO INTERMEDIATE FRAMING MEMBERS IS DESIGNATED AS "FIELD NAILING"

NAIL SPACING AT DIAPHRAGM BOUNDARIES AND SUPPORTED EDGES

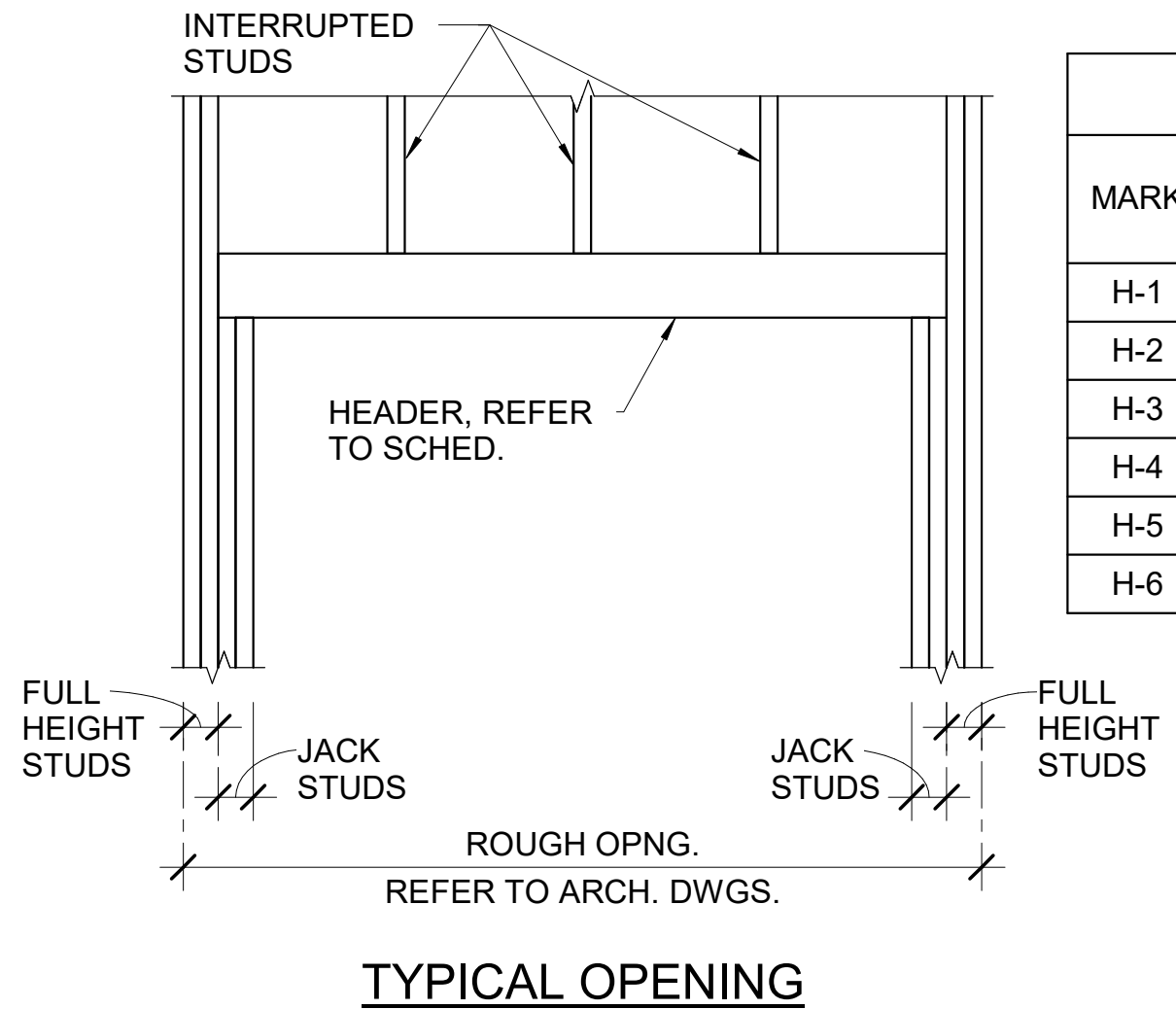
CONDITION FOR "UNBLOCKED" EDGES

CONDITION FOR "BLOCKED" EDGES



TYPICAL PLYWOOD DIAPHRAGM DETAIL

NOT TO SCALE



TYPICAL WOOD HEADER DETAIL

NOT TO SCALE

HEADER SCHEDULE				
MARK	COMPOSITION	JACK STUDS	FULL HEIGHT STUDS	REMARKS
H-1	(2)-2x8 W/ 1/2" PLYWOOD SPACER	1	2	-
H-2	(2)-2x12 W/ 1/2" PLYWOOD SPACER	2	3	-
H-3	(2)-1 3/4"x11 1/4" LVL	2	3	-
H-4	(2)-2x8 W/ (2)-1/2" PLYWOOD SPACER	1	2	-
H-5	(2)-2x10 W/ (2)-1/2" PLYWOOD SPACER	1	2	-
H-6	(2)-2x12 W/ (2)-1/2" PLYWOOD SPACER	2	2	-

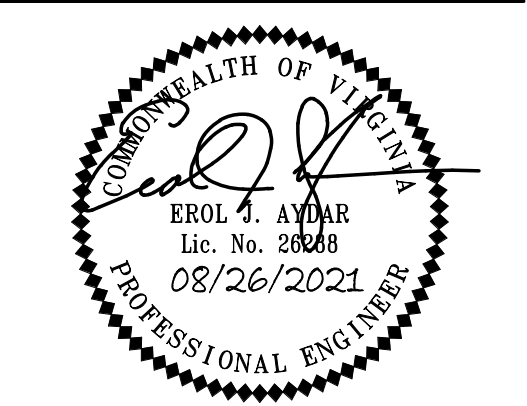
- NOTES:
- SPECIFIED JACK STUDS AND FULL HEIGHT STUDS OCCUR AT EACH JAMB OF OPENING.
 - REFER TO ARCHITECTURAL DRAWINGS FOR EXACT SIZE AND LOCATION OF ALL WALL OPENINGS.
 - UNLESS OTHERWISE INDICATED, PROVIDE (2)-2x6 HEADER WITH 1/2" PLYWOOD SPACER WITH ONE JACK STUD AND ONE FULL HEIGHT STUD.

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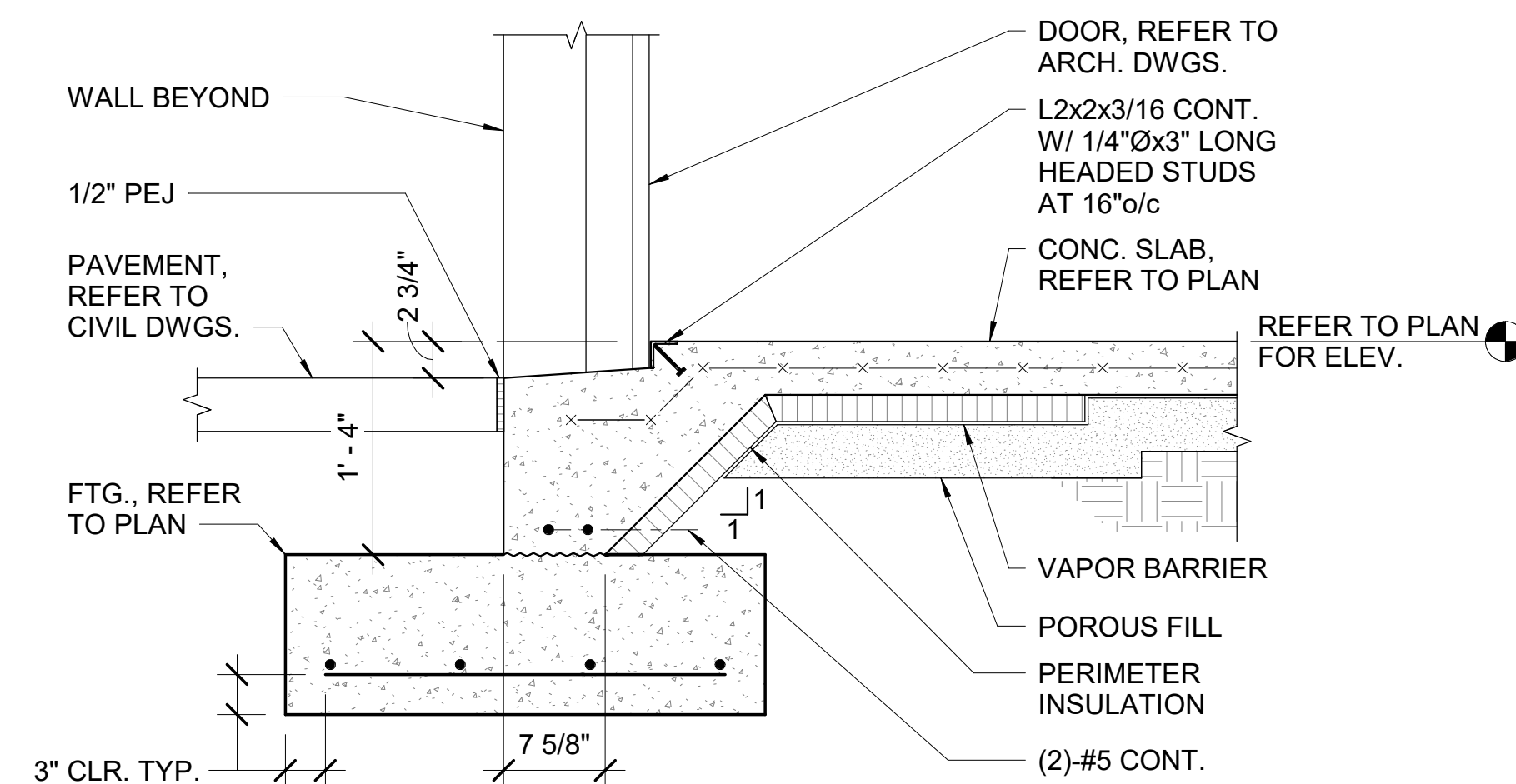
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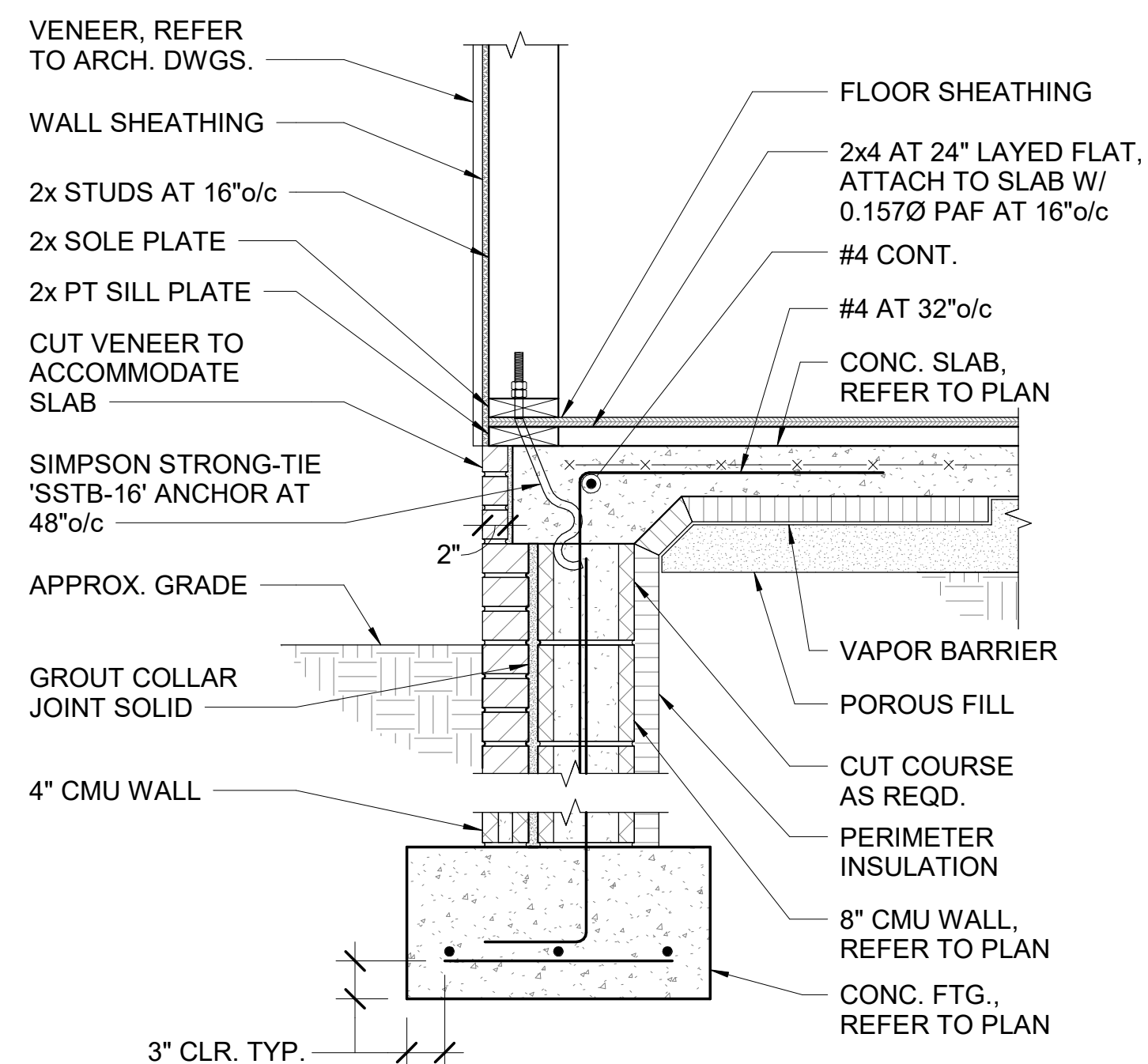
TYPICAL DETAILS

S0.4

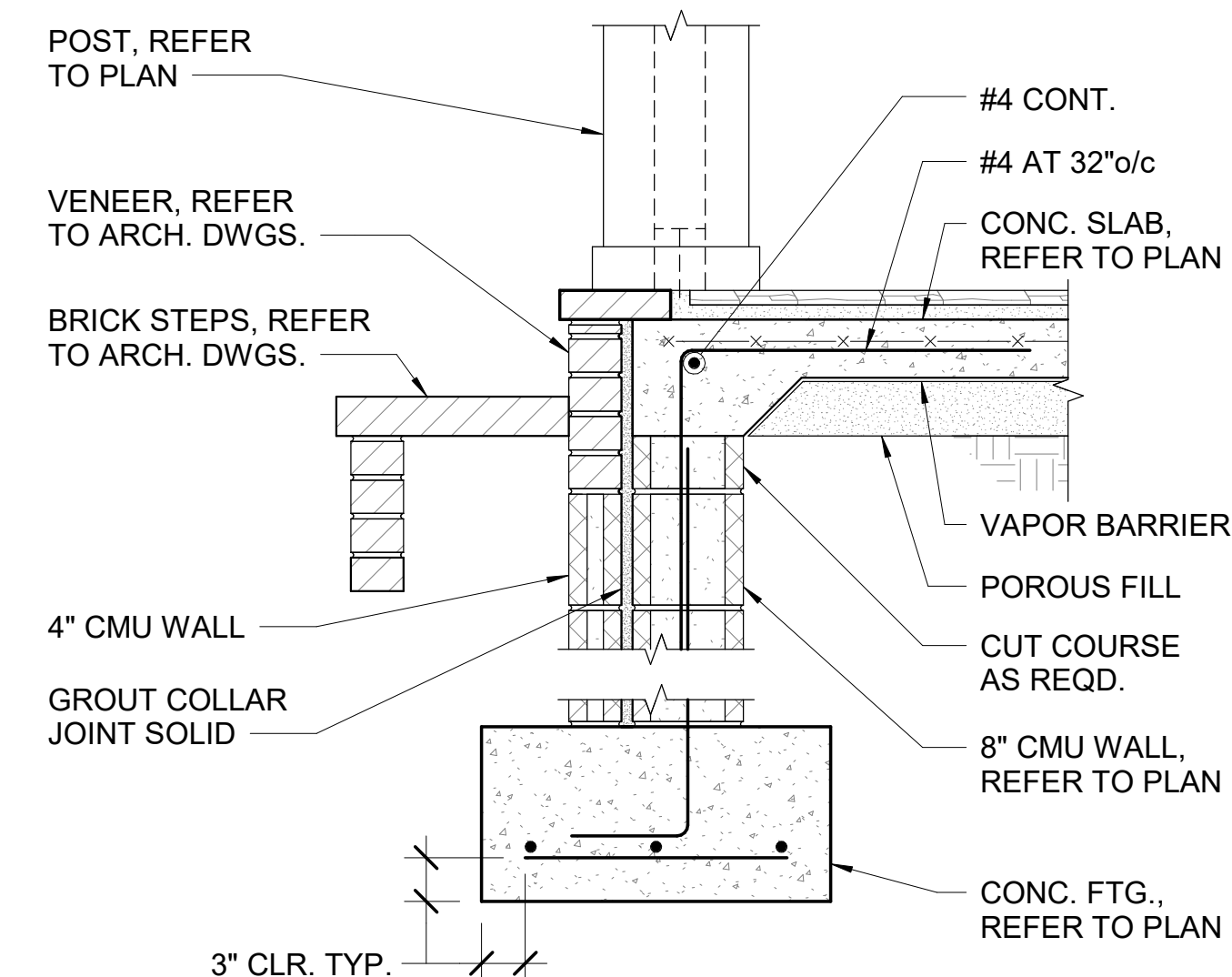
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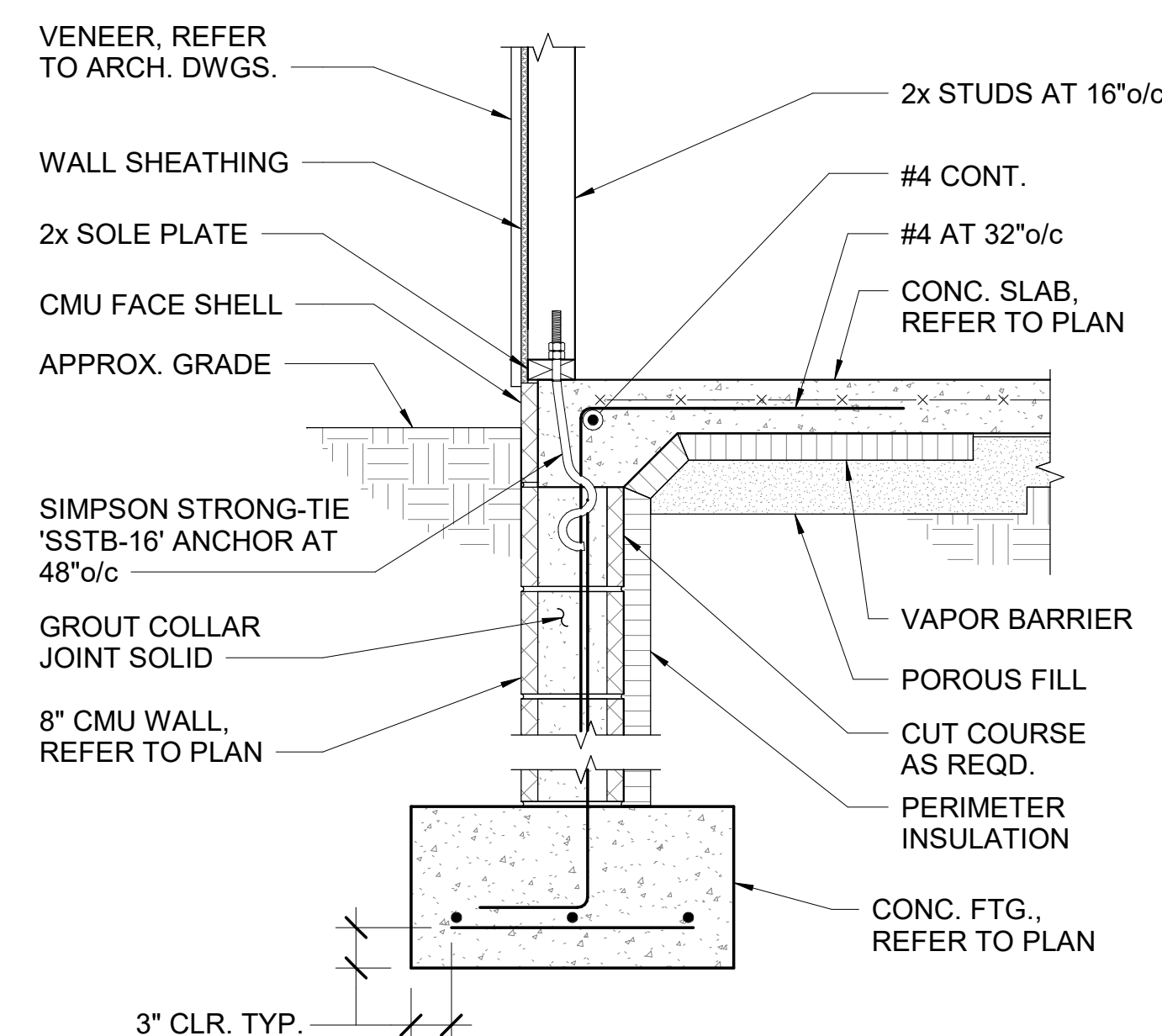
NOT TO SCALE



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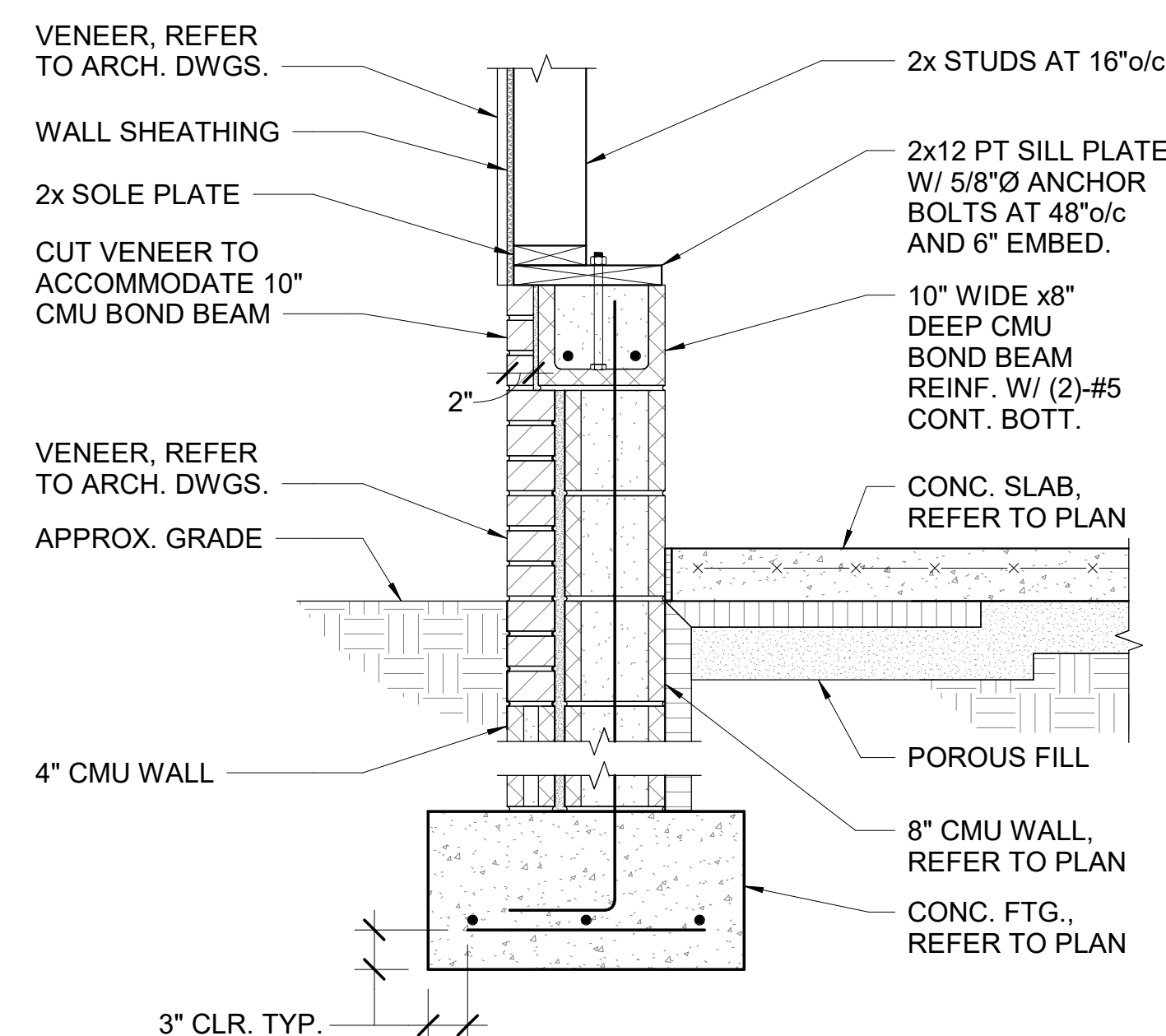


NOT TO SCALE



TYPICAL FOUNDATION WALL SECTION AT POOL HOUSE

NOT TO SCALE

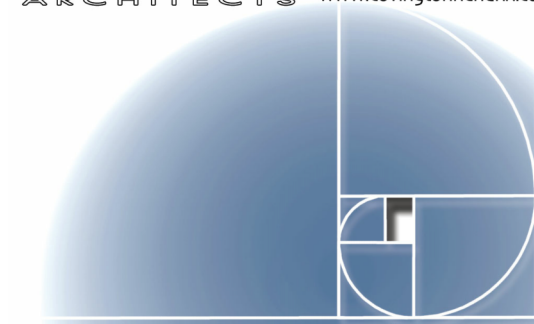


TYPICAL FOUNDATION WALL SECTION AT GARAGE

NOT TO SCALE

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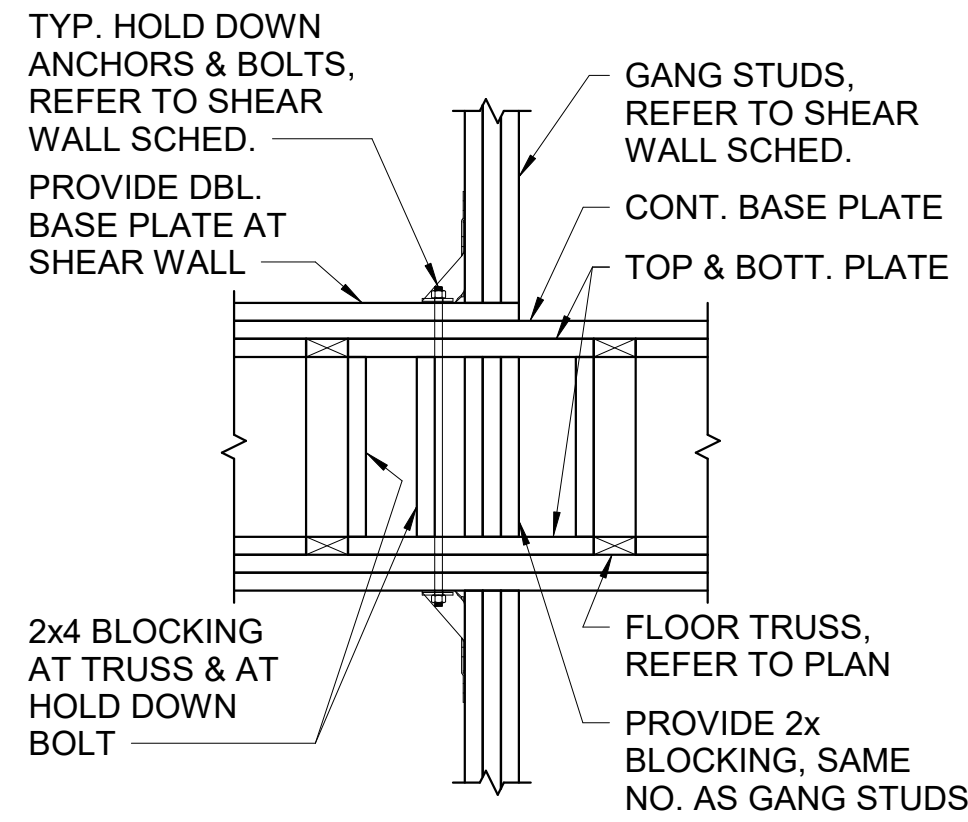
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TYPICAL SECTIONS

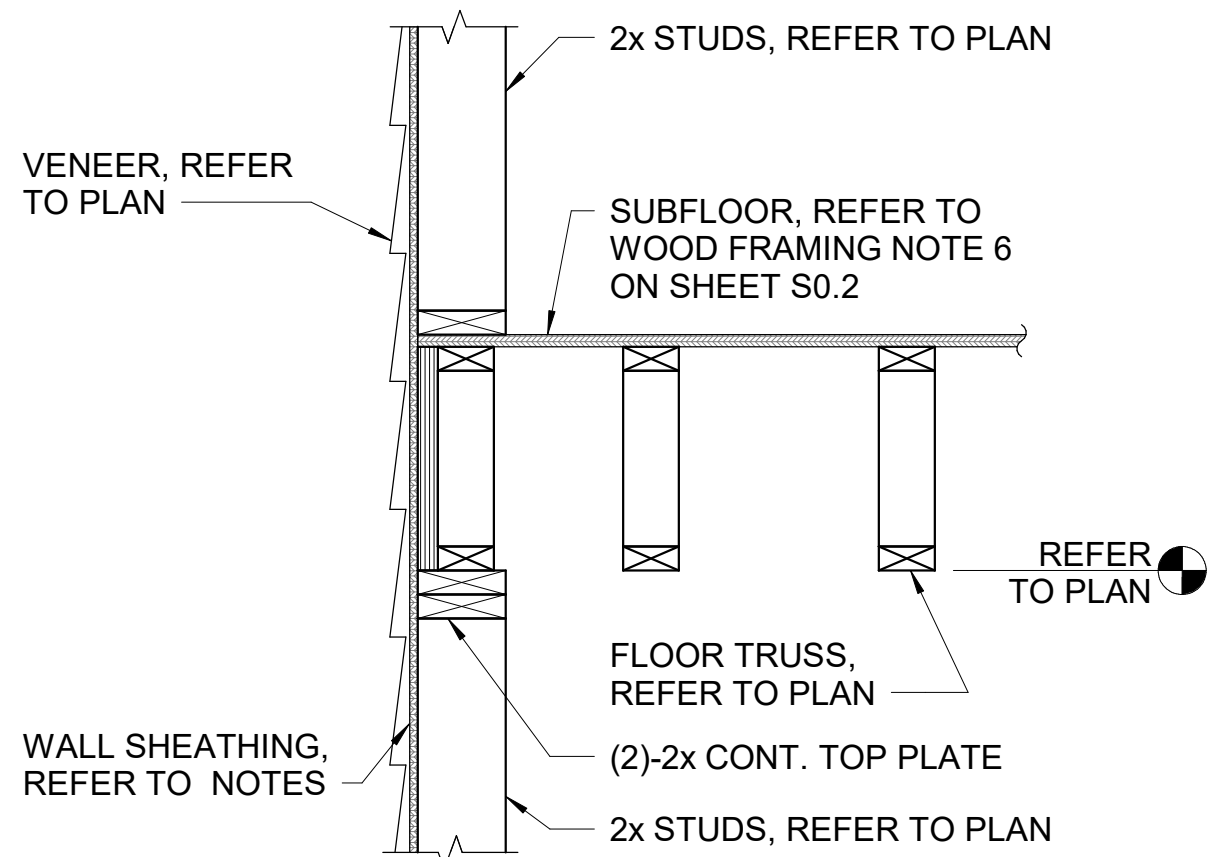
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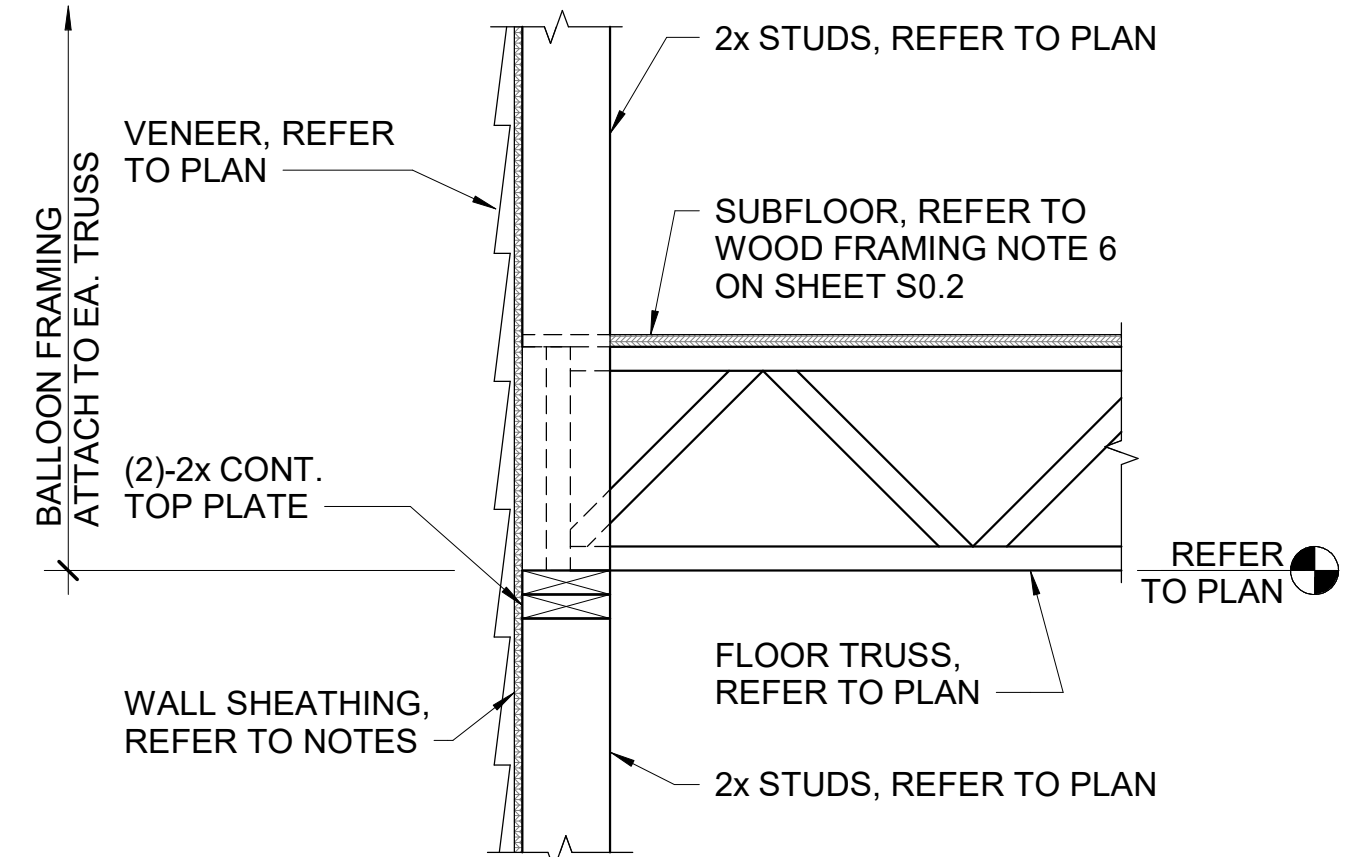
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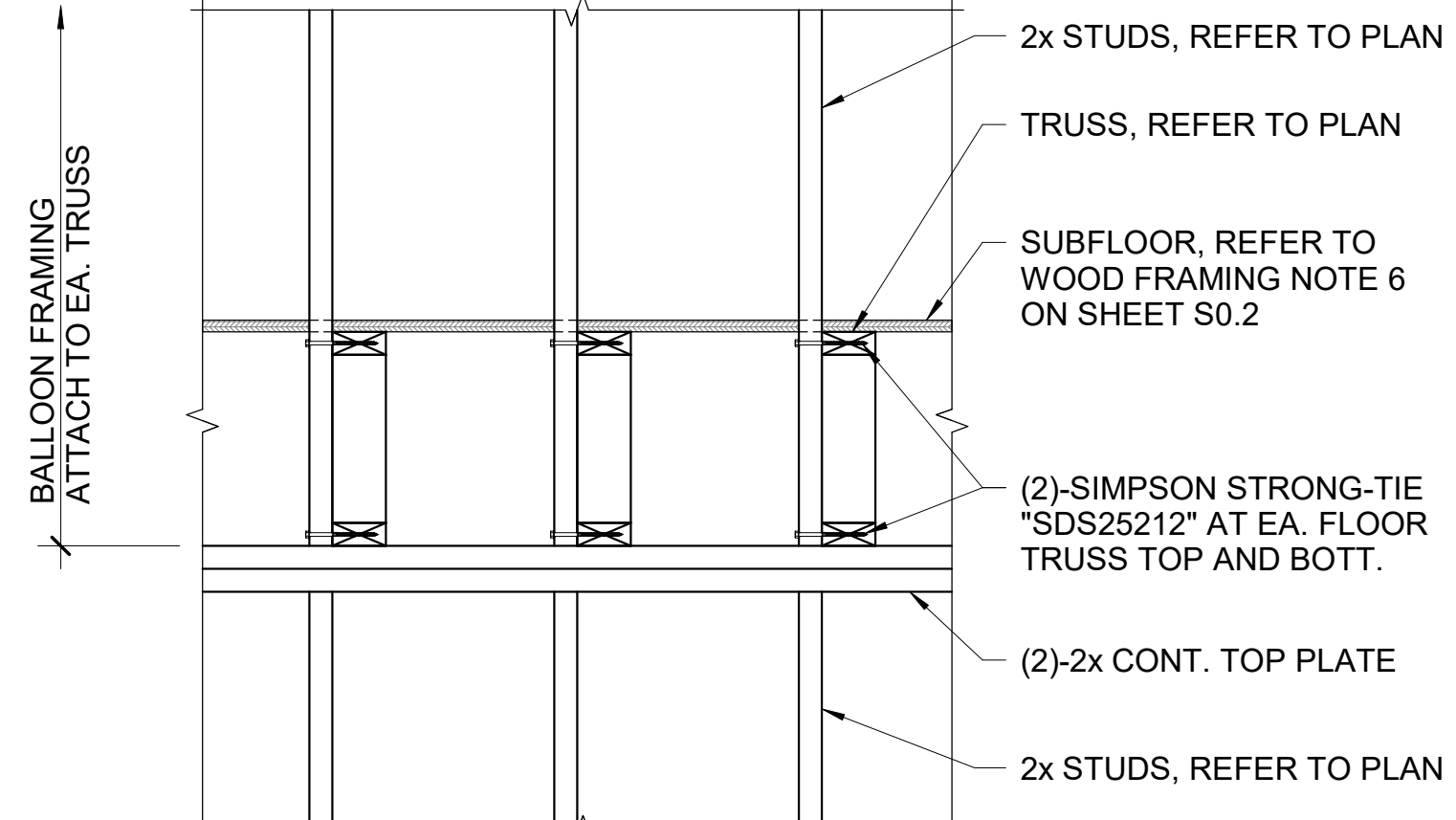
**TYPICAL HOLD DOWN DETAIL
AT WOOD FLOOR FRAMING**
NOT TO SCALE



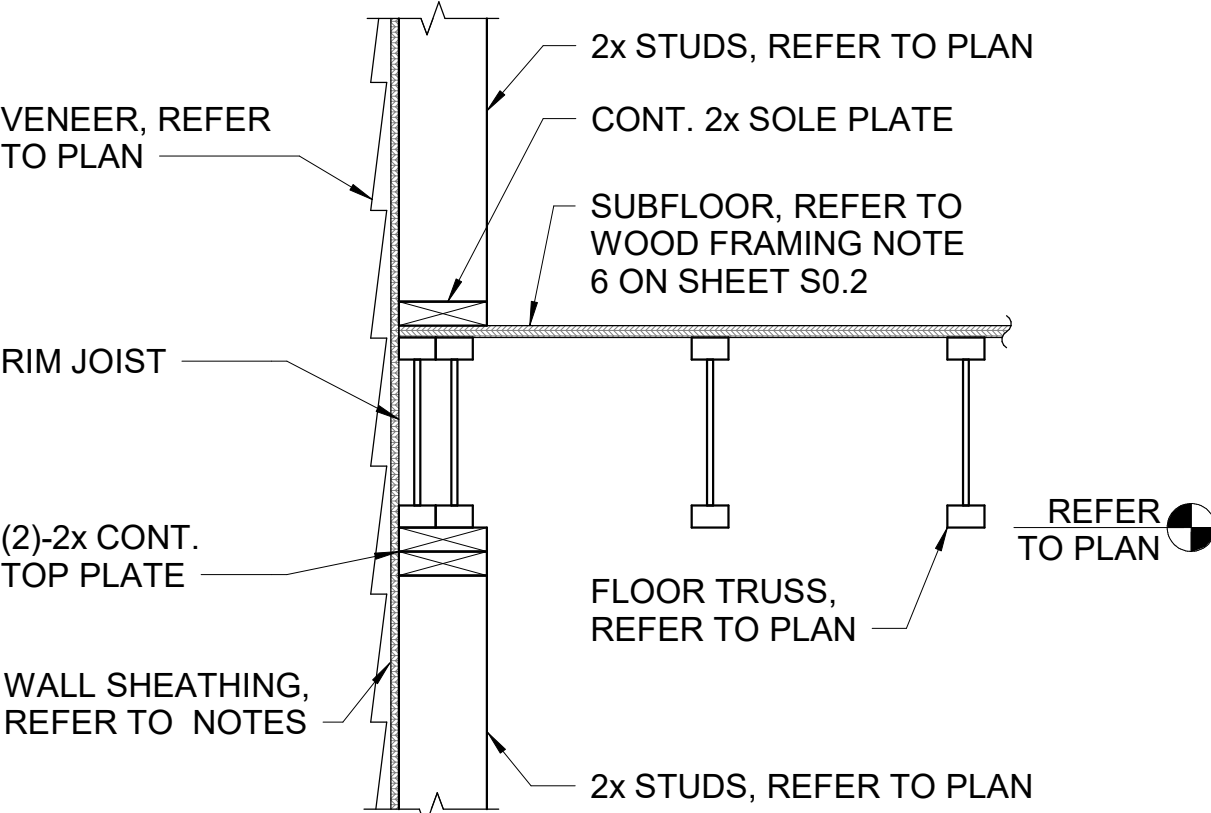
TYPICAL GABLE WALL FRAMING
TYPICAL WOOD FRAMING DETAILS AT FLOOR TRUSS
NOT TO SCALE



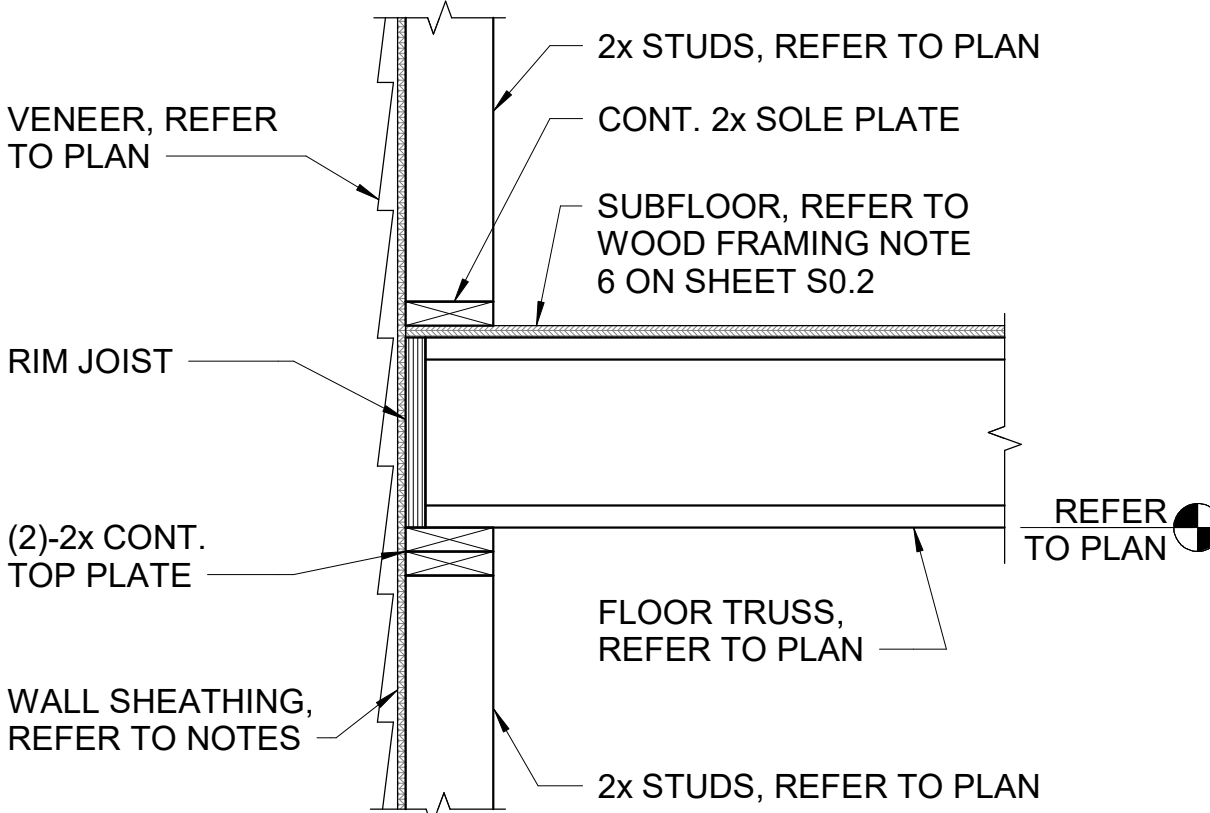
SECTION AT BALLOON FRAMING



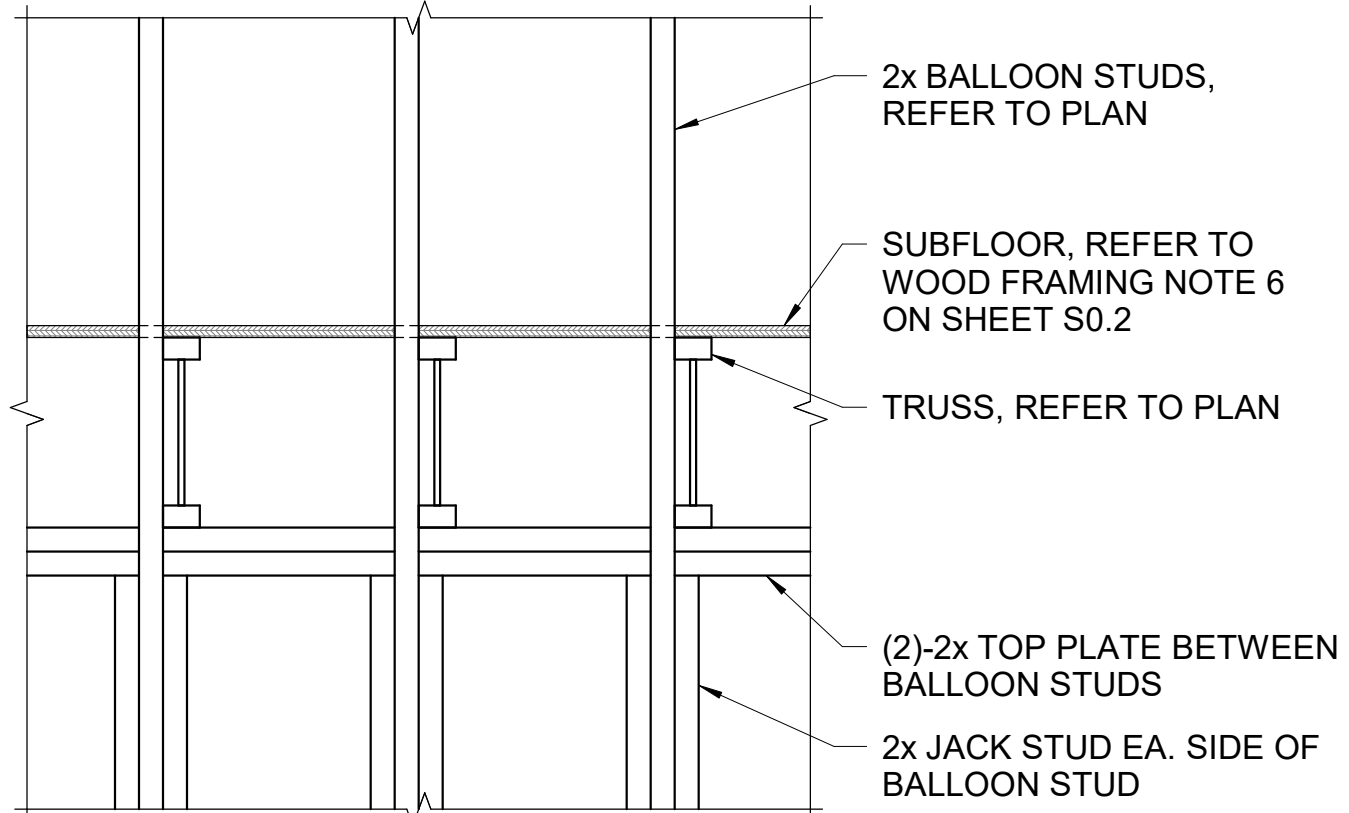
ELEVATION AT BALLOON FRAMING



TYPICAL GABLE WALL FRAMING

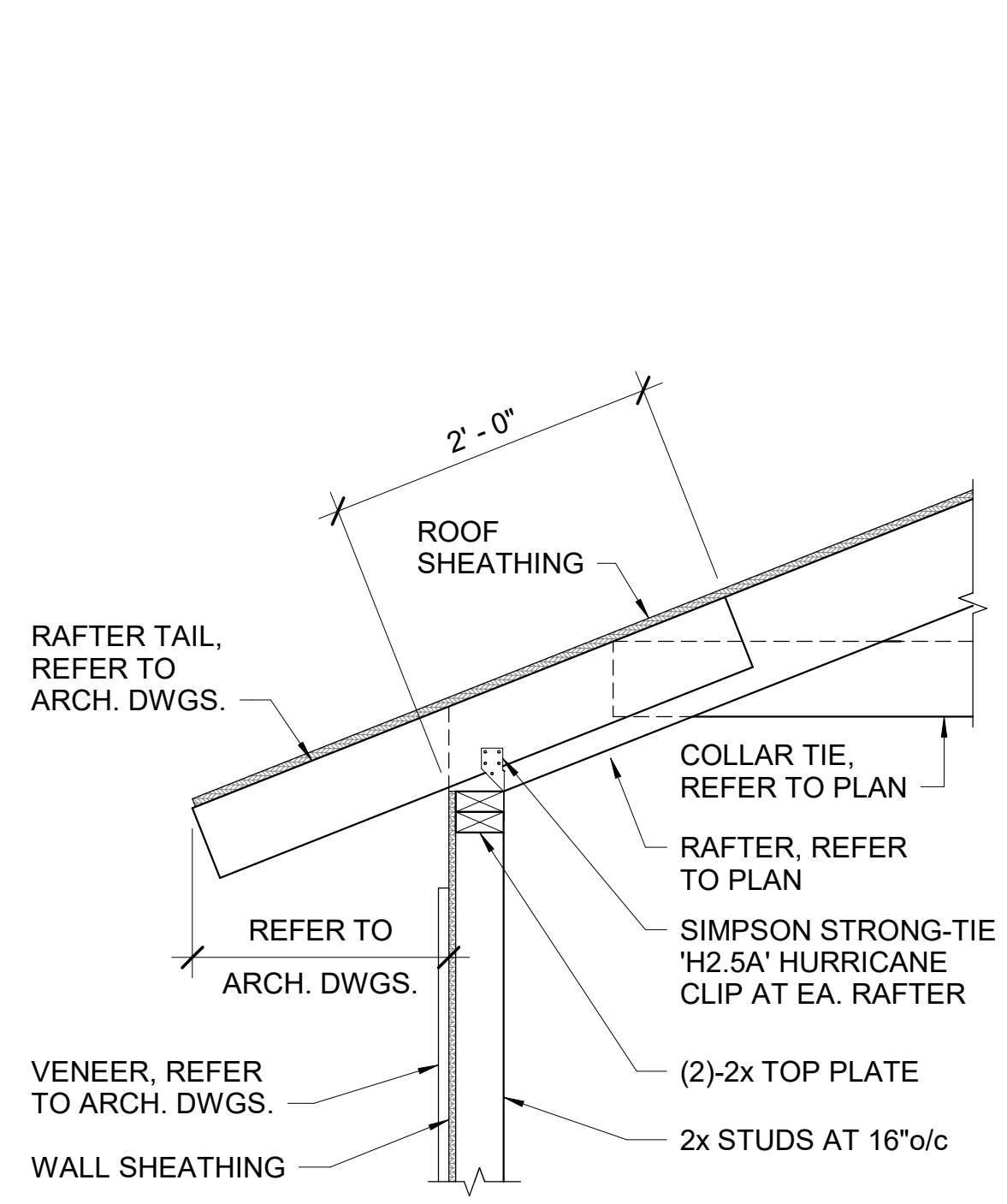


**SECTION AT POOL HOUSE
BALLOON FRAMING**

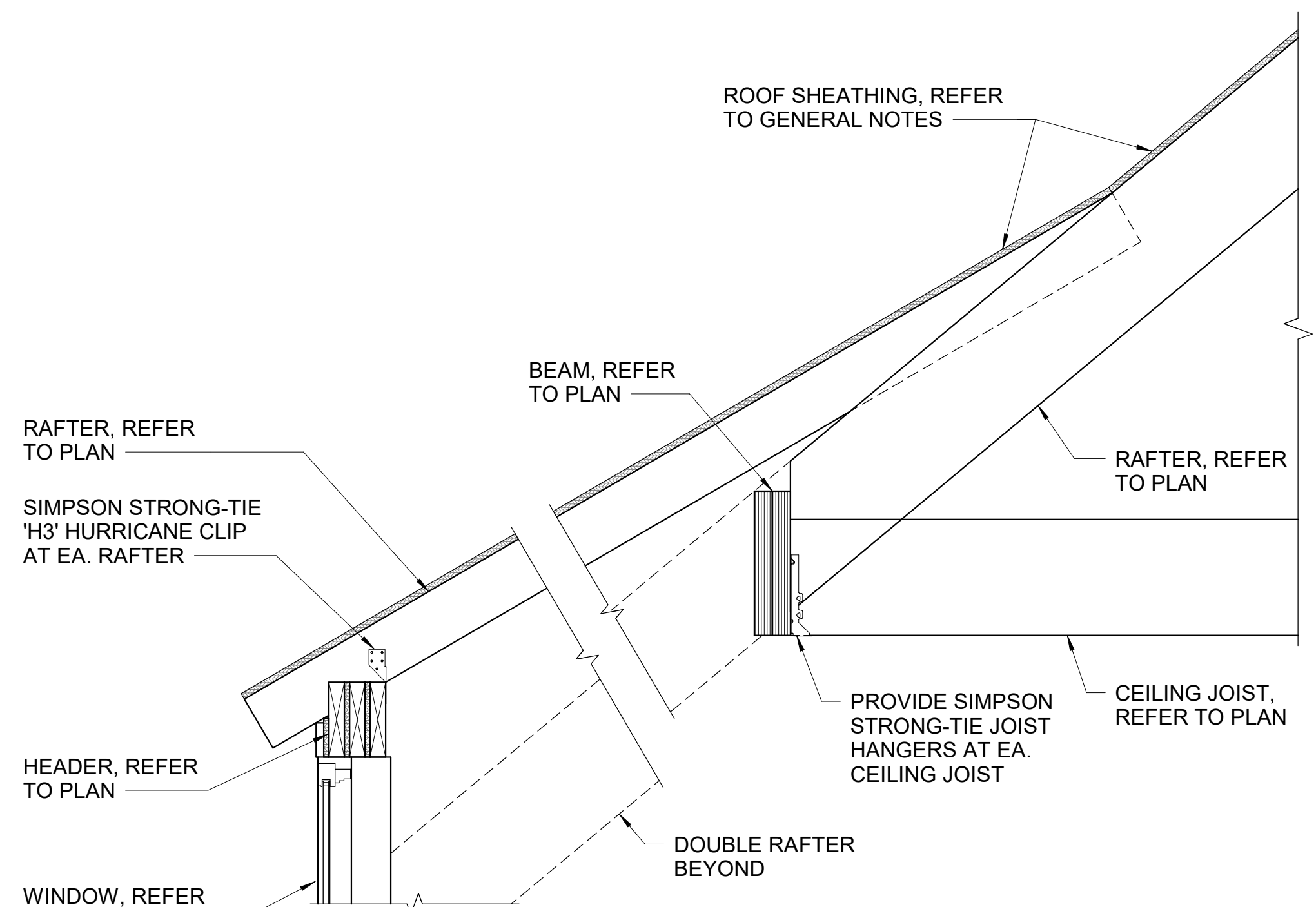


**ELEVATION AT POOL HOUSE
BALLOON FRAMING**

TYPICAL WOOD FRAMING DETAILS AT FLOOR JOIST
NOT TO SCALE



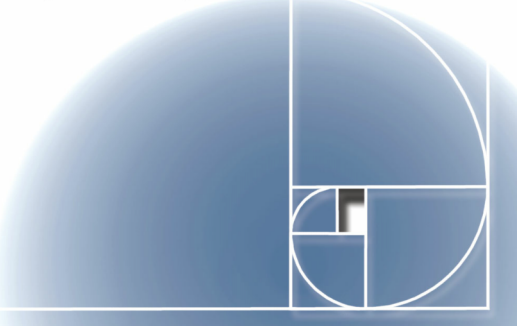
TYPICAL SECTION AT ROOF BEARING
NOT TO SCALE



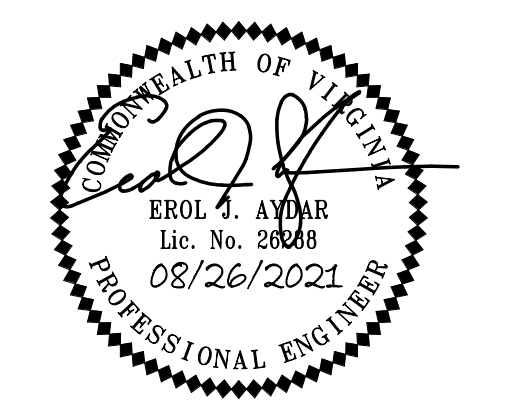
TYPICAL ROOF FRAMING SECTION
NOT TO SCALE

NEW RESIDENCE FOR
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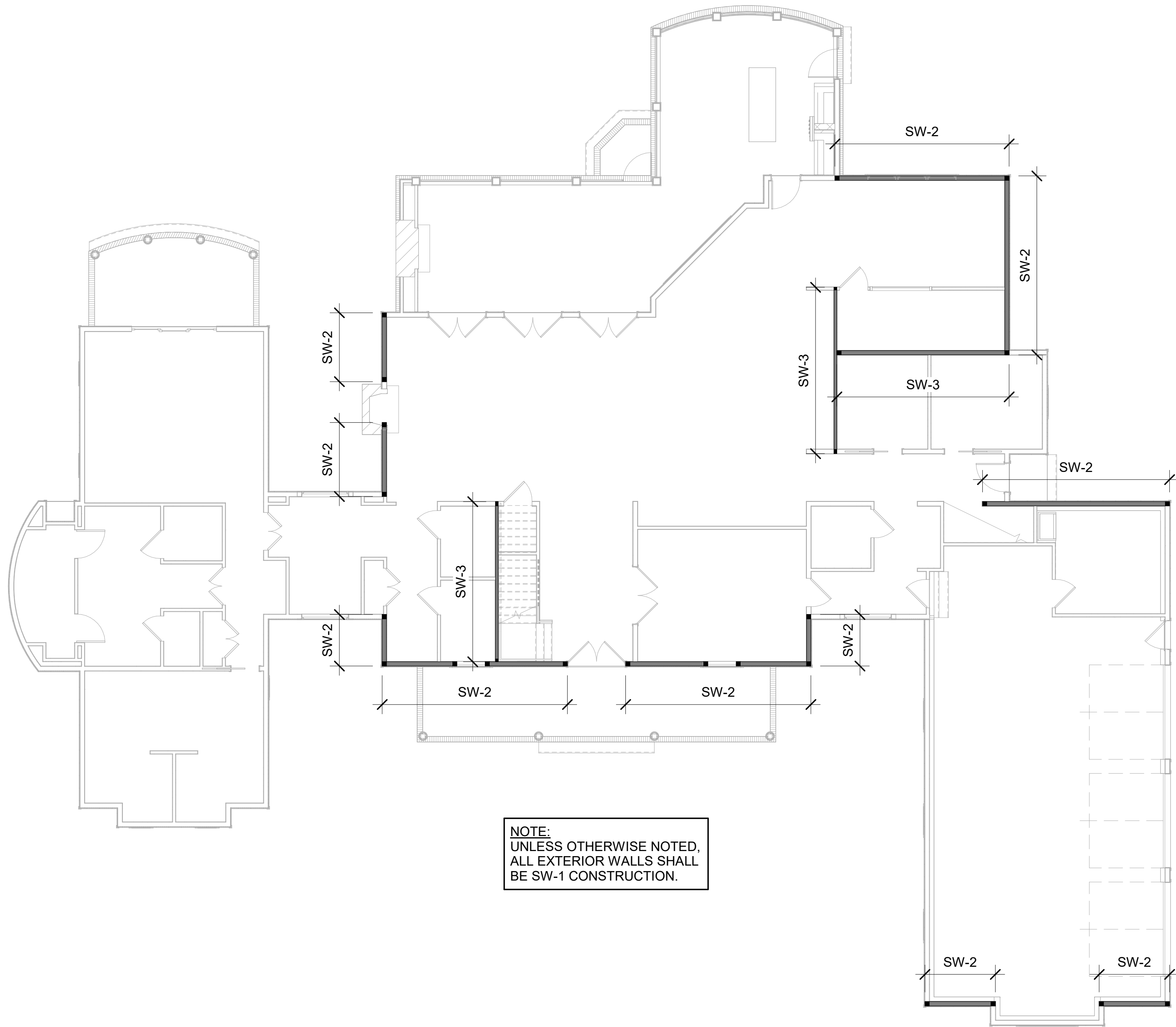


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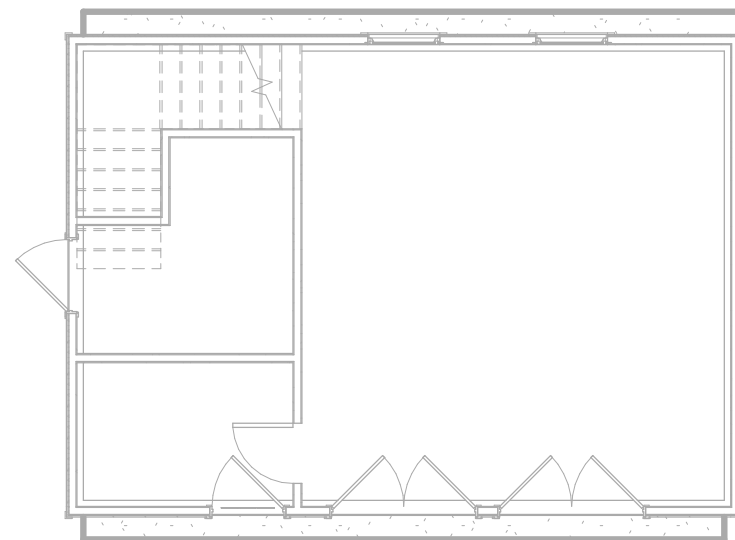
TYPICAL SECTIONS

S0.6



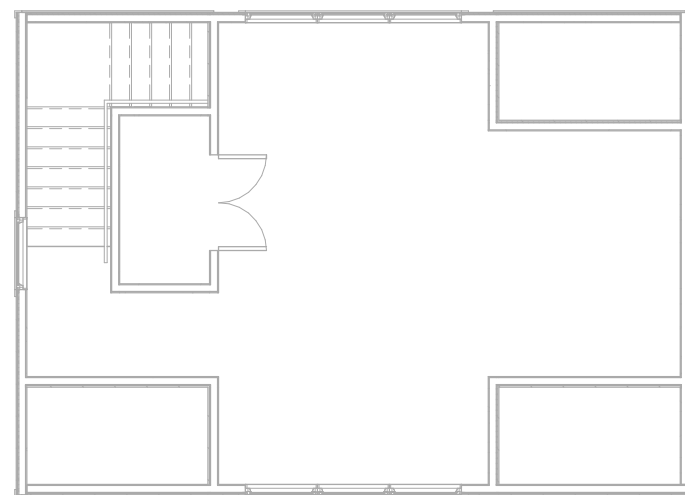
SHEAR WALL LAYOUT PLAN - FIRST FLOOR

1/8" = 1'-0"



SHEAR WALL LAYOUT PLAN - FIRST FLOOR POOL HOUSE

1/8" = 1'-0"



SHEAR WALL LAYOUT PLAN - SECOND FLOOR POOL HOUSE

1/8" = 1'-0"

SHEAR WALL NOTES:

1. SHEAR WALLS VARY IN LENGTH AND NUMBER. REFER TO THE SHEAR WALL LAYOUT PLAN.
2. PROVIDE 2x4 BLOCKING AS REQUIRED TO ATTACH PANEL EDGES FOR SHEAR WALLS.
3. HOLDDOWNS AND ANCHORS SHOWN ARE AS MANUFACTURED BY SIMPSON STRONG-TIE CO. CONTACT ENGINEER OF RECORD BEFORE SUBMITTING PRODUCTS FROM OTHER MANUFACTURERS.
4. PROVIDE SOLID 2x BLOCKING AT HORIZONTAL PANEL JOINTS WITHIN SHEAR WALL BOUNDARIES.
5. USE PRESSURE TREATED LUMBER FOR ALL SHEAR WALL SILL PLATES.
6. END STUDS AT EACH END OF SHEAR WALLS SHALL BE CONNECTED WITH 16d NAILS, STAGGERED AT 16" ON CENTER VERTICALLY.
7. ALL STRUCTURAL SHEATHING SHALL BE APA RATED EXTERIOR SHEATHING.
8. WALL SHEATHING PANELS ARE PERMITTED TO BE INSTALLED WITH THE STRENGTH AXIS EITHER PERPENDICULAR OR PARALLEL TO STUDS.
9. STAGGER VERTICAL JOINTS WHEN PANELS ARE INSTALLED HORIZONTALLY OR STAGGER HORIZONTAL JOINTS WHEN PANELS ARE INSTALLED VERTICALLY.
10. TO PREVENT PROBLEMS ASSOCIATED WITH EXPANSION OF PANELS DUE TO AN INCREASE IN MOISTURE CONTENT, WALL SHEATHING SHOULD BE INSTALLED WITH 1/8-INCH GAPS AT PANEL ENDS AND EDGES AROUND WINDOW AND DOOR OPENINGS.

SHEAR WALL LAYOUT PLAN NOTES:

1. ■ INDICATES SHEAR WALL.
2. SW-X DENOTES A SHEAR WALL TYPE. REFER TO SHEAR WALL SCHEDULE AND TYPICAL SHEAR WALL ELEVATIONS/DETAILS ON SHEET S0.8. ALL EXTERIOR WALLS SHALL BE SW-1, TYPICAL UNLESS OTHERWISE NOTED.
3. PF-X DENOTES A PORTAL FRAME TYPE. REFER TO SHEAR WALL SCHEDULE AND TYPICAL PORTAL FRAME ELEVATIONS/DETAILS ON SHEET S0.8.
4. ■ DENOTES HOLDDOWN LOCATION AT END OF SHEAR WALL.

NOTE:
REFER TO SHEET S0.8 FOR
SHEAR WALL SCHEDULE.

NOTE:
IF THIS DRAWING IS A REDUCTION,
GRAPHIC SCALE MUST BE USED.

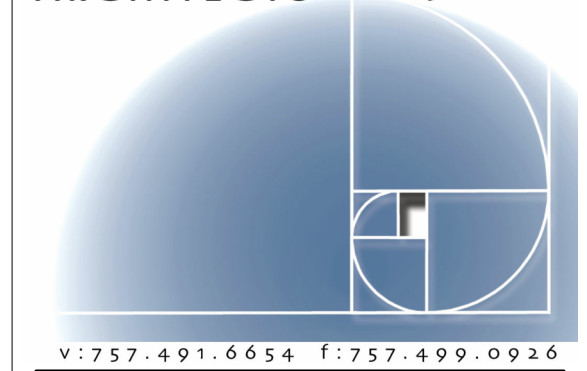
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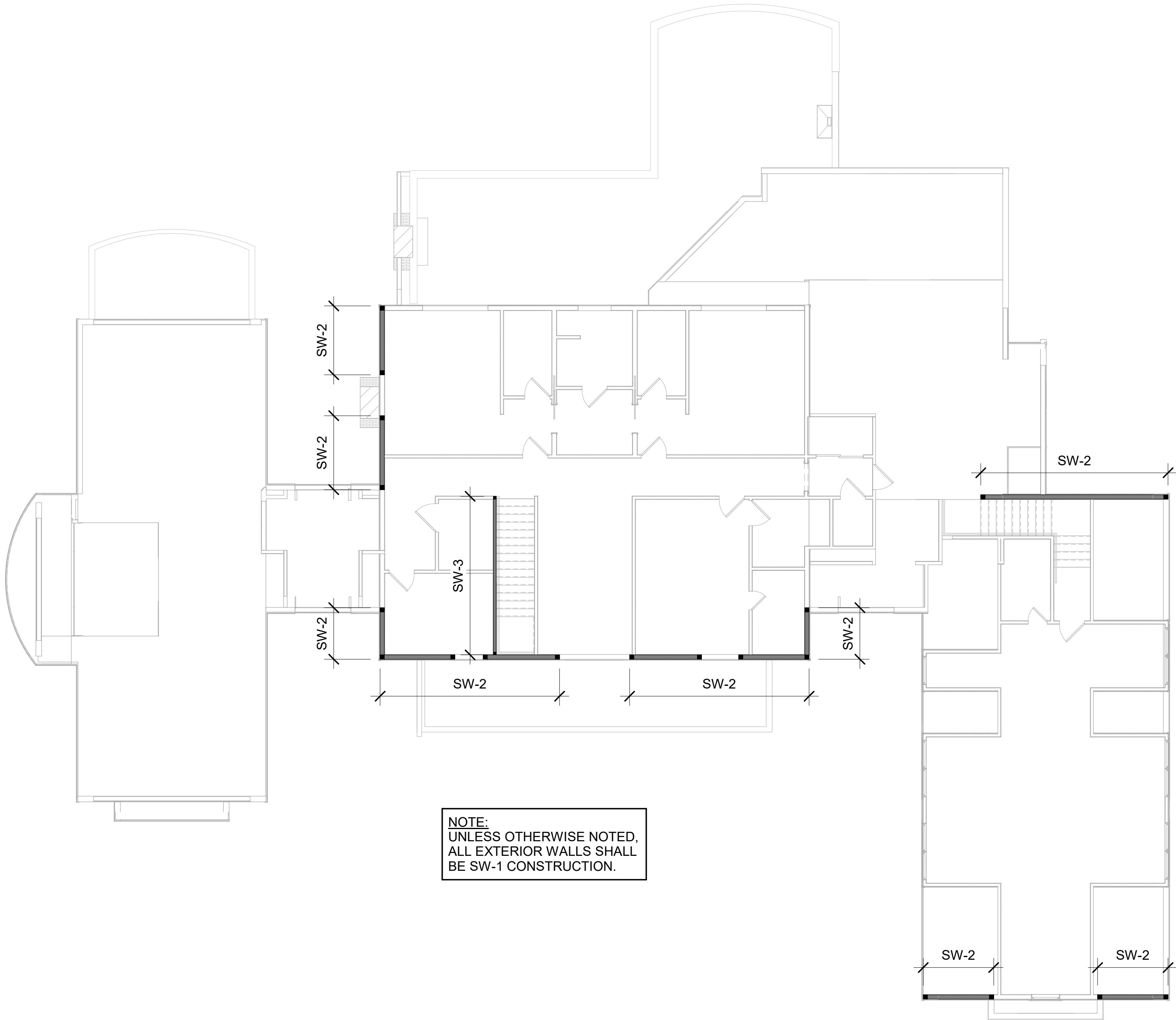
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SHEAR WALL LAYOUT PLANS
AND NOTES

S0.7



NOTE:
UNLESS OTHERWISE NOTED,
ALL EXTERIOR WALLS SHALL
BE SW-1 CONSTRUCTION.

NOTE:
REFER TO SHEET S0.7
FOR SHEAR WALL NOTES.

SHEAR WALL LAYOUT PLAN - SECOND FLOOR

1/8" = 1'-0"

SHEAR WALL SCHEDULE							
MARK	SHEATHING	FASTENERS		END STUDS (*)	BLOCKED EDGES	HOLDOWN	
		EDGES	FIELD			FOUNDATION	BETWEEN FLOORS
SW-1	1/2" PLYWOOD SHEATHING - EXTERIOR	10d NAILS AT 4" o/c	10d NAILS AT 12" o/c	(3)-2x	NOT REQUIRED	5/8"Ø ANCHOR BOLT W/ 15" MIN. EMBED AT 48"o/c AND 8d NAILS AT 6"o/c INTO SILL PLATE	IF SHEATHING DOES NOT OVERLAP FLOOR BAND, PROVIDE SIMPSON "MSTA49" STRAP TIE (OR EQ.) W/ (26)-10d NAILS AT ALL CORNERS AND AT 6'-0"o/c
	1/2" GWB - INTERIOR	No. 6 SCREWS AT 8" o/c	No. 6 SCREWS AT 12" o/c				
SW-2	1/2" PLYWOOD SHEATHING - EXTERIOR	10d NAILS AT 4" o/c	10d NAILS AT 12" o/c	(3)-2x	REQUIRED	SIMPSON "HDU14-SDS2.5" HOLDOWN WITH 1"Ø ANCHOR ROD (MIN. EMBED. = 15"), 5/8"Ø ANCHOR BOLT W/ 6" MIN. EMBED AT 24"o/c INTO SILL PLATE BETWEEN HOLDOWNS	SIMPSON "HDU14-SDS2.5" HOLDOWN WITH 5/8"Ø THREADED ROD
	1/2" GWB - INTERIOR	No. 6 SCREWS AT 8" o/c	No. 6 SCREWS AT 12" o/c				
SW-3	1/2" GWB - INTERIOR (BOTH SIDES)	No. 6 SCREWS AT 4" o/c	No. 6 SCREWS AT 8" o/c	(3)-2x	REQUIRED	SIMPSON "HDU5-SDS2.5" HOLDOWN WITH 5/8" Ø ANCHOR BOLT (MIN. EMBED. = 15") AND (14)-1/4"Ø SCREWS	SIMPSON "MSTC66" STRAP TIE (OR EQ.) W/ (68)-10d NAILS AND 16" CLEAR SPAN

NOTE:
(*) - DENOTES WALL AND END STUD SIZE TO MATCH WHAT IS SHOWN ON THE ARCHITECTURAL DRAWINGS.

NOTE:
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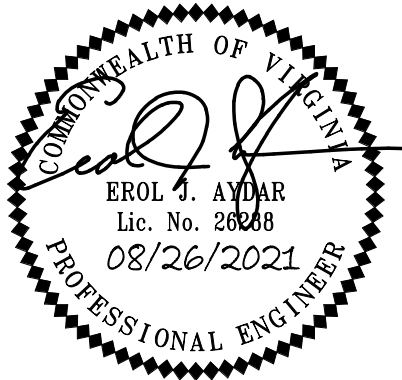


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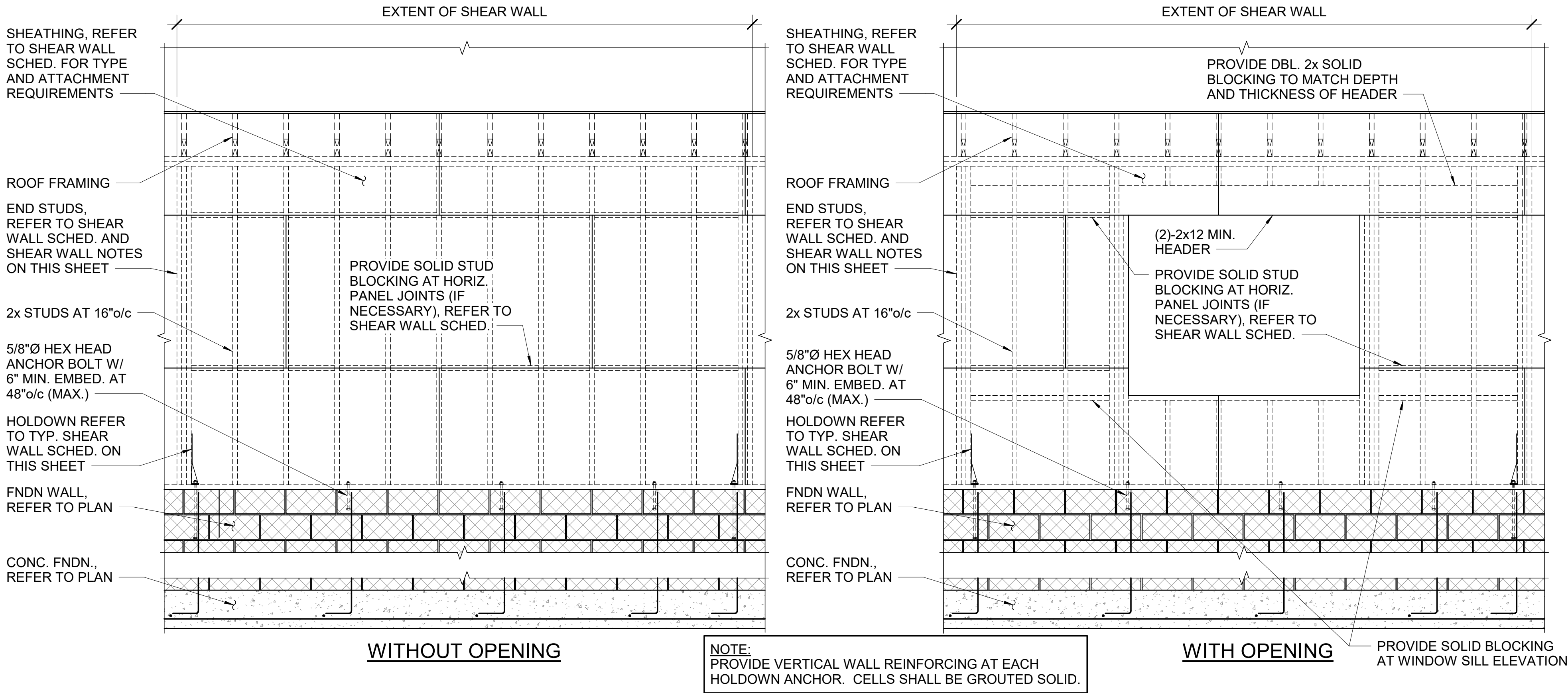
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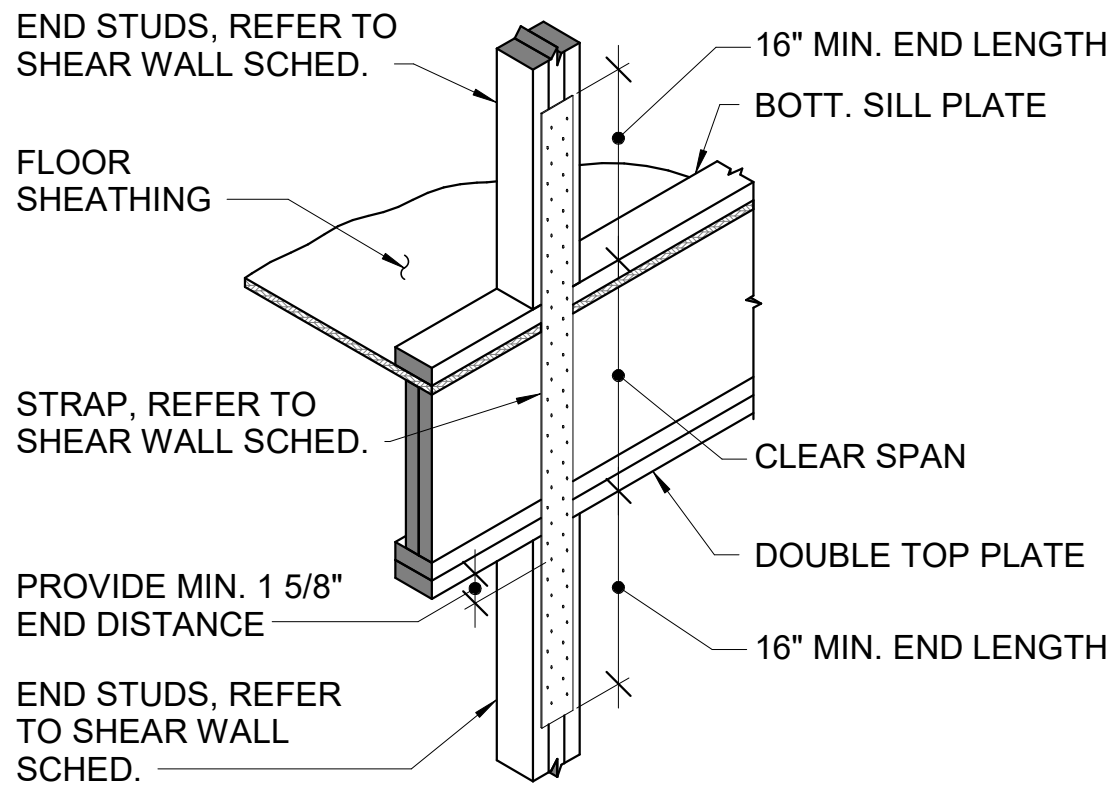
SHEAR WALL LAYOUT PLAN
AND SCHEDULE

S0.8



TYPICAL SHEAR WALL ELEVATIONS

NOT TO SCALE

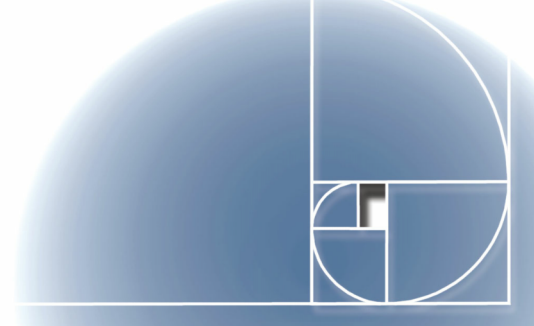


TYPICAL STRAP DETAIL AT SHEAR WALL ENDS BETWEEN FLOORS

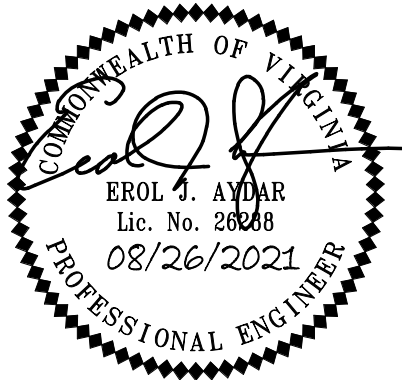
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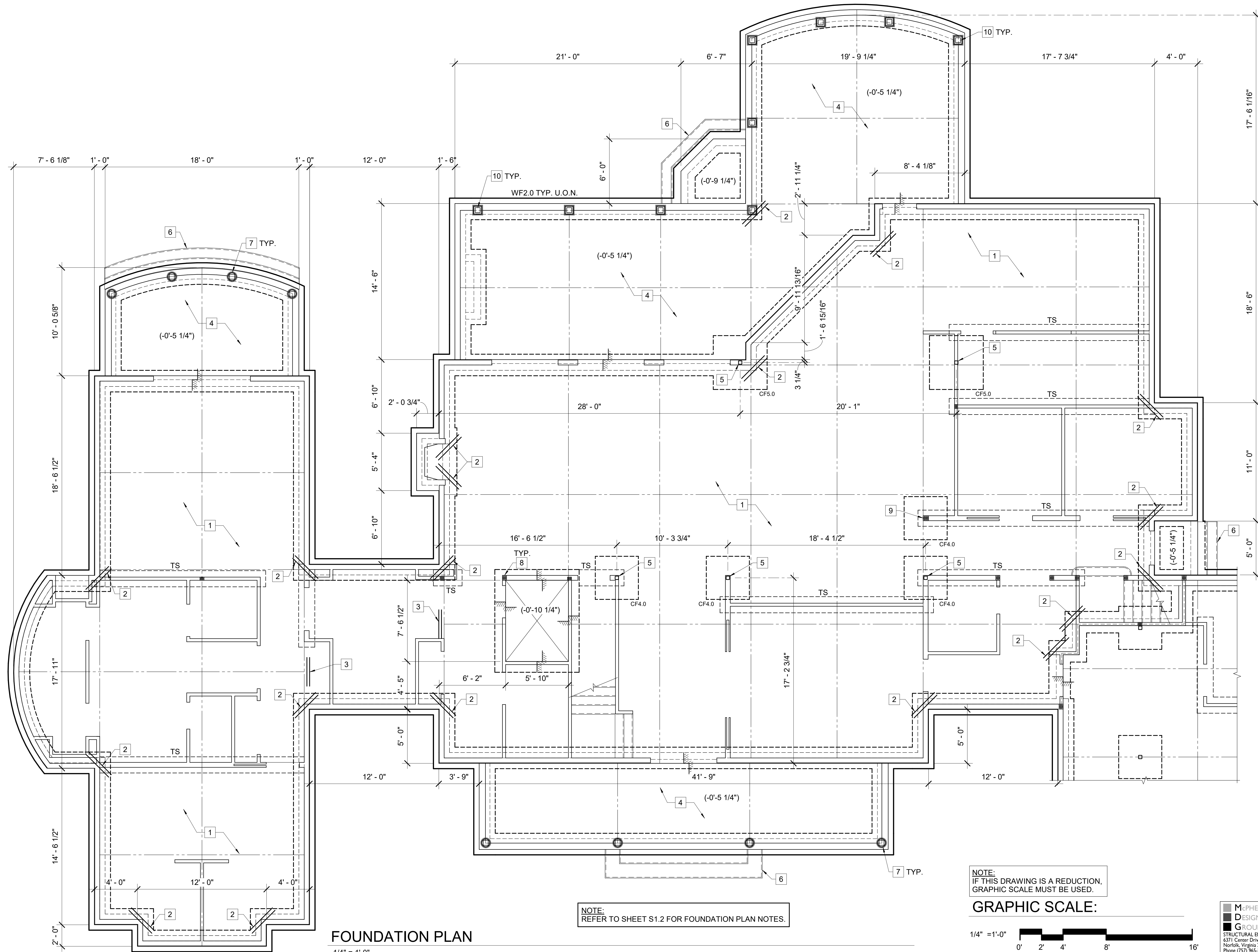
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SHEAR WALL ELEVATIONS AND DETAILS

S0.9

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FOUNDATION PLAN

1/4" = 1'-0"

NOTE:
REFER TO SHEET S1.2 FOR FOUNDATION PLAN NOTES.

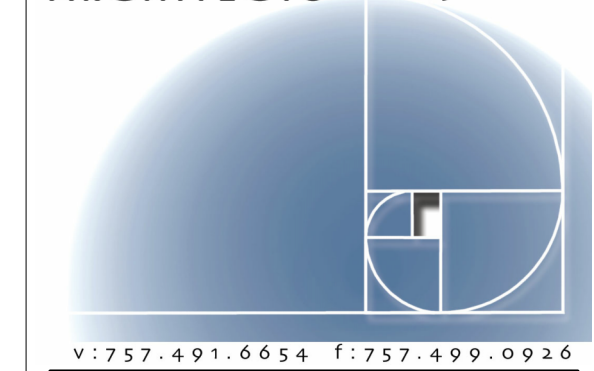
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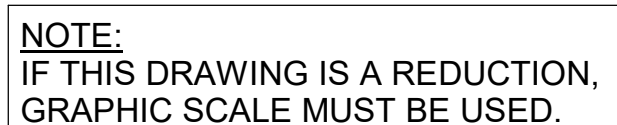
FOUNDATION PLAN

S1.1

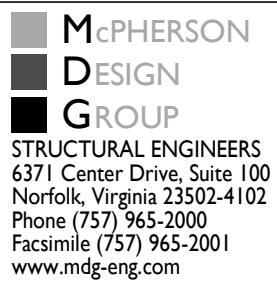
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1. TOP OF FIRST FLOOR SUBFLOOR ELEVATION SHALL SERVE AS THE REFERENCE ELEVATION OF (0'-0"). REFER TO CIVIL/ARCHITECTURAL DRAWINGS FOR ACTUAL FIRST FLOOR ELEVATION.
2. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS NOT INDICATED. COORDINATE MASONRY OPENINGS WITH ARCHITECTURAL DRAWINGS. EXTERIOR DIMENSIONS SHOWN ARE TO EXTERIOR FACE OF SHEATHING.
3. TOP OF ALL EXTERIOR COLUMN AND WALL FOOTINGS SHALL BE (-1'-4") BELOW GRADE, UNLESS OTHERWISE NOTED. TOP OF ALL INTERIOR COLUMN FOOTINGS SHALL BE (-1'-0") BELOW TOP OF SLAB ELEVATION. TOP OF FOOTINGS SHALL BE LOWERED AS REQUIRED BY THE CIVIL DRAWINGS TO MAINTAIN DEPTHS GIVEN ABOVE.
4. CFX.X DENOTES COLUMN FOOTING, REFER TO COLUMN FOOTING SCHEDULE ON THIS SHEET.
5. WFX.X DENOTES WALL FOOTING, REFER TO WALL FOOTING SCHEDULE ON THIS SHEET.
6. FOOTINGS SHALL BE CENTERED UNDER TOTAL WIDTH OF THE FOUNDATION WALL AND COLUMNS, TYPICAL UNLESS OTHERWISE NOTED.
7. TS INDICATES A THICKENED SLAB, REFER TO TYPICAL SLAB-ON-GRADE DETAILS ON SHEET S0.3. REFER TO ARCHITECTURAL DRAWINGS FOR LOCATIONS.
8. — — — — INDICATES FLOOR CONSTRUCTION JOINT (C.J.) OR SAW JOINT (S.J.), REFER TO TYPICAL SLAB-ON-GRADE DETAILS ON SHEET S0.2.
9. CONCRETE SLAB-ON-GRADE DEPRESSION ARE INDICATED ON PLAN, THUS (-X'-X") BELOW TOP OF SUBFLOOR ELEVATION. REFER TO TYPICAL DEPRESSED SLAB DETAIL ON SHEET S0.2.
10. ALL WALLS SHALL BE 8" CMU WALLS REINFORCED WITH #5 AT 48" ON CENTER MIDDLE OF WALL, GROUT ALL CELLS SOLID BELOW FINISHED GRADE, TYPICAL UNLESS OTHERWISE NOTED.

WALL FOOTING SCHEDULE							
MARK	DIMENSIONS		REINFORCING				NOTES
	WIDTH	DEPTH	LONGITUDINAL		TIES		
			QUANTITY	SIZE	SIZE	SPACING	
WF2.0	2'-0"	1'-0"	3	5	4	4'-0"	

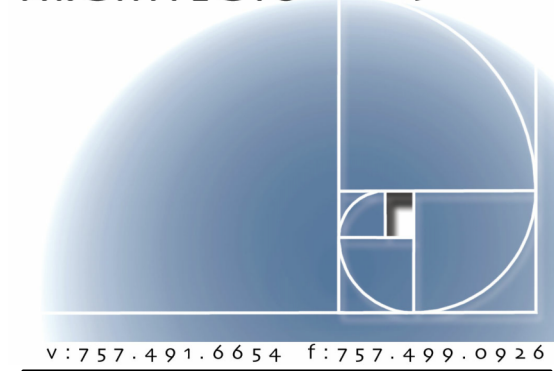


- 1 FIRST FLOOR CONSTRUCTION SHALL BE 3/4" PLYWOOD FLOORING ON 2x4 SLEEPERS LAID FLAT OVER 4" CONCRETE SLAB-ON-GRADE REINFORCED WITH ONE LAYER OF 6x6-W1.4xW1.4 WELDED WIRE FABRIC OVER 10 MIL POLYETHYLENE VAPOR BARRIER AND 4" OF POROUS FILL MATERIAL. TOP OF CONCRETE SLAB ELEVATION SHALL BE (-0'-2 1/4"), UNLESS OTHERWISE NOTED THUS (-X'-X") ON PLAN.
- 2 PROVIDE (2)-#4 BARS x 3'-0" LONG DIAGONALLY AT ALL RE-ENTRANT CORNERS. BARS SHALL BE PLACED 4" FROM CORNER AND MID HEIGHT OF SLAB. REFER TO TYPICAL RE-ENTRANT SLAB REINFORCING DETAIL ON SHEET S0.2.
- 3 PROVIDE (2)-#4 x 32" LONG BARS AT DISCONTINUOUS SLAB JOINTS. REFER TO TYPICAL DETAIL AT DISCONTINUOUS SLAB JOINT ON SHEET S0.2.
- 4 4" CONCRETE SLAB-ON-GRADE REINFORCED WITH ONE LAYER OF 6x6-W1.4xW1.4 WELDED WIRE FABRIC OVER 10 MIL POLYETHYLENE VAPOR BARRIER OVER 4" OF POROUS FILL MATERIAL. TOP OF CONCRETE SLAB ELEVATION SHALL BE SHOWN THUS (-X'-X") ON PLAN.
- 5 HSS4x4x1/4 COLUMN.
- 6 MASONRY STEP, REFER TO ARCHITECTURAL DRAWINGS.
- 7 STRUCTURAL / ARCHITECTURAL FIBERGLASS COLUMNS, REFER TO ARCHITECTURAL DRAWINGS.
- 8 (3)-GANG STUDS UNDER BEAM ABOVE.
- 9 (4)-GANG STUDS UNDER BEAM ABOVE.
- 10 6x6 PRESERVATIVE TREATED WOOD POST WITH ARCHITECTURAL WRAP. PROVIDE SIMPSON STRONG-TIE "ABU66Z" POST BASE.



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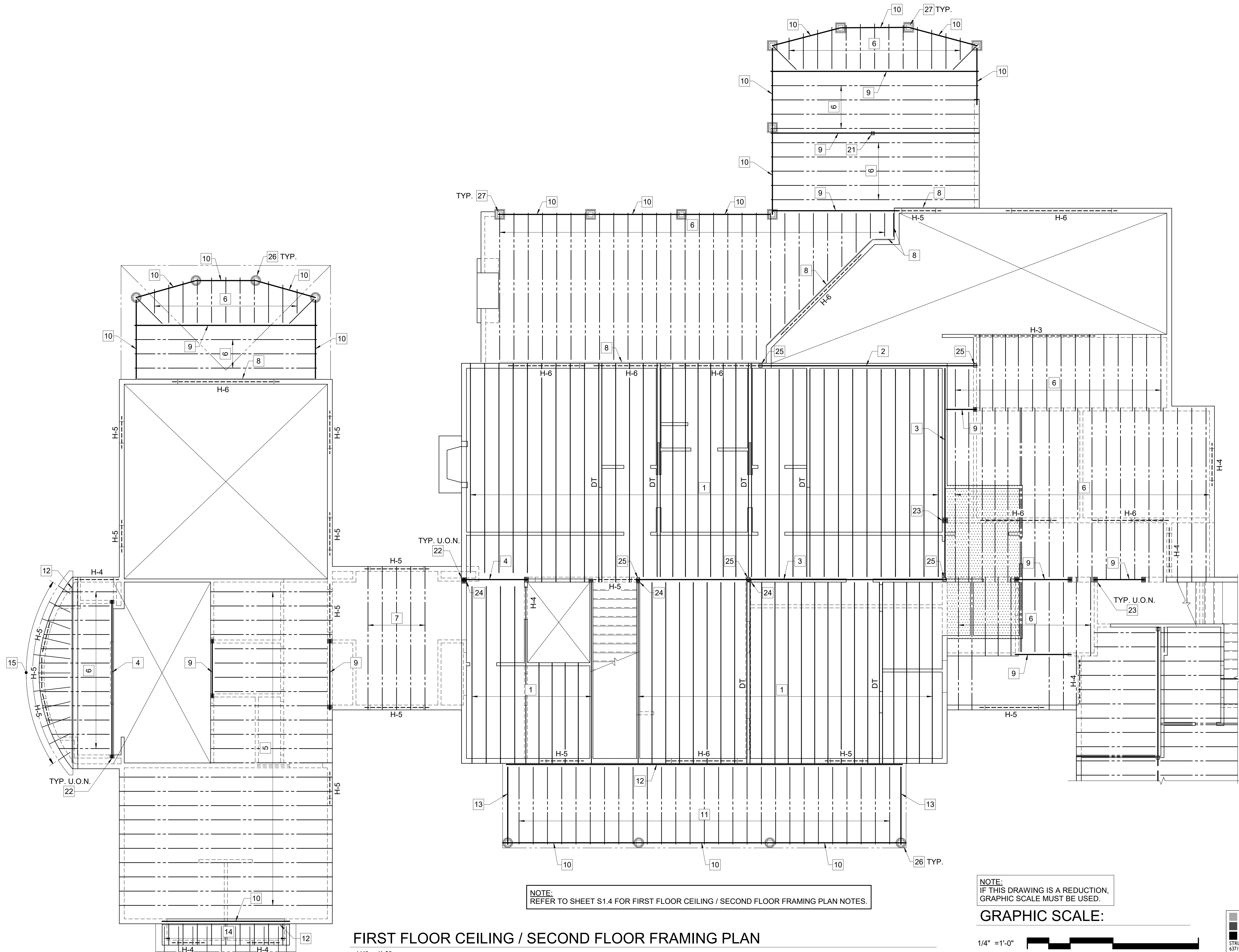


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GARAGE AND POOL HOUSE FOUNDATION PLANS

S1.2

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FIRST FLOOR CEILING / SECOND FLOOR FRAMING PLAN

1/4" = 1'-0"

NOTE:
IF THIS DRAWING IS A REDUCTION,
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GRAPHIC SCALE:

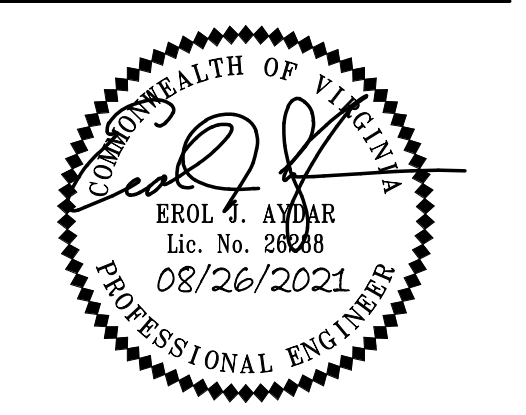


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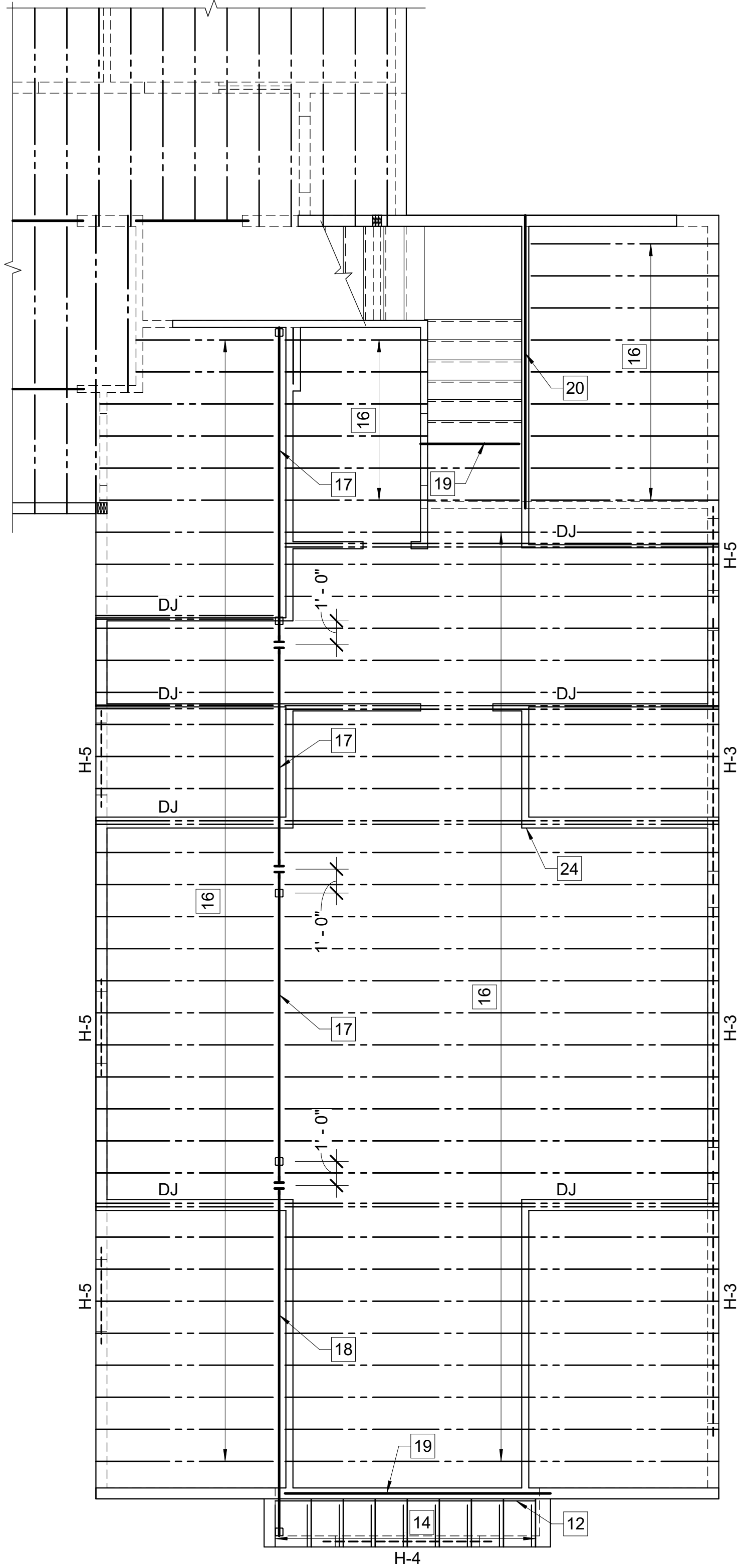
FIRST FLOOR CEILING /
SECOND FLOOR FRAMING
PLAN

S1.3

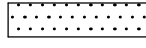
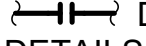
NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

GARAGE SECOND FLOOR FRAMING PLAN

1/4" = 1'-0"

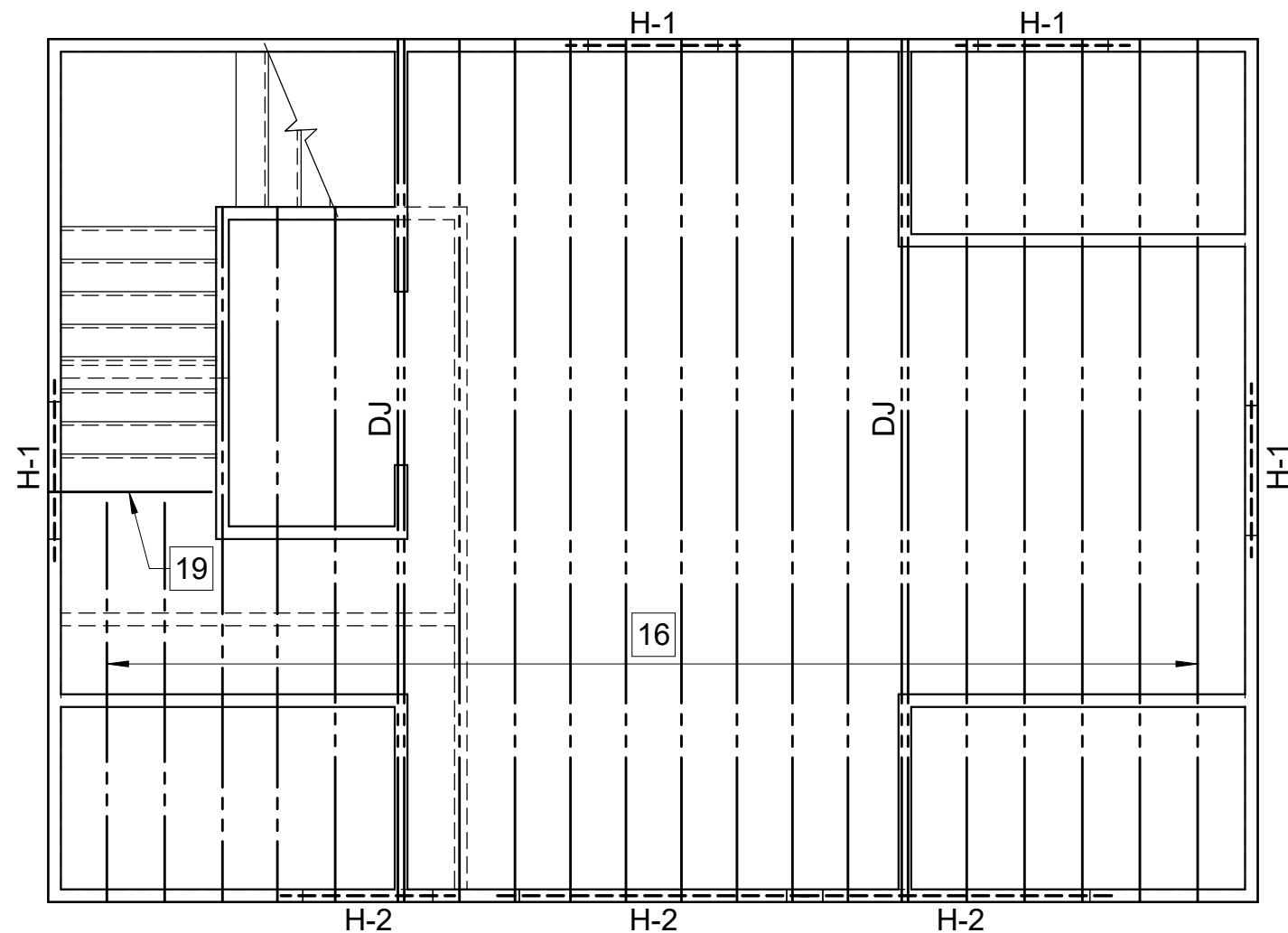


FIRST FLOOR CEILING / SECOND FLOOR FRAMING PLAN NOTES:

1. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS NOT INDICATED.
2. FLOOR CONSTRUCTION SHALL BE 3/4" TONGUE AND GROOVE SUBFLOOR OVER FLOOR JOISTS OR TRUSSES. FLOOR SHEATHING SHALL BE GLUED AND SCREWED TO SUPPORTING STRUCTURE.
3. PROVIDE COMPLETE STRUCTURAL SYSTEM UTILIZING BEARING WALLS AND BEAMS INDICATED ON PLAN FOR ALL FLOOR JOISTS AND TRUSSES, INCLUDING SIZE AND TYPE OF HANGERS, HURRICANE ANCHORS, AND OTHER CONNECTIONS AS REQUIRED.
4. PROVIDE CHASED MECHANICAL OPENINGS TO COORDINATE WITH CONTRACTOR.
5. DT DENOTES DOUBLE FLOOR TRUSS LOCATION UNDER WALL ABOVE.
6. DJ DENOTES DOUBLE FLOOR JOIST LOCATION UNDER WALL ABOVE.
7. H-X DENOTES HEADER TYPE, REFER TO HEADER SCHEDULE ON SHEET S0.4.
8.  DENOTES AREA OF BUILT-UP FLOOR FRAMING.
9.  DENOTES CANTILEVERED BEAM, REFER TO TYPICAL STEEL FRAMING DETAILS ON SHEET S0.4.

POOL HOUSE SECOND FLOOR FRAMING PLAN

1/4" = 1'-0"



FIRST FLOOR CEILING / SECOND FLOOR FRAMING PLAN KEY NOTES:

1. 14" DEEP PREFABRICATED WOOD FLOOR TRUSSES AT 16" ON CENTER.
2. W12x50 OVER HSS COLUMNS BELOW.
3. W12x35 OVER HSS COLUMNS BELOW.
4. (2)-1 3/4"x14" LVL BEAM.
5. 9 1/2" TJI 230 CEILING JOISTS AT 16" ON CENTER.
6. 2x10 CEILING JOIST AT 16" ON CENTER.
7. 2x10 CEILING JOIST AT 16" ON CENTER. BOTTOM OF CEILING JOIST ELEVATION SHALL BE (+12'-8") ABOVE FIRST FLOOR SUBFLOOR.
8. 2x10 LEDGER.
9. (2)-2x10 BEAM.
10. (3)-2x12 BEAM WITH 1/2" PLYWOOD SPACERS.
11. 2x8 CEILING JOIST AT 16" ON CENTER.
12. 2x8 LEDGER.
13. (2)-2x8 BEAM.
14. 2x6 CEILING AND RAFTERS AT 16" ON CENTER.
15. 2x6 RAFTERS AT 16" ON CENTER.
16. 11 7/8" TJI 360 FLOOR JOIST AT 16" ON CENTER.
17. W10x12 BEAM OVER HSS COLUMNS BELOW.
18. W10x15 BEAM OVER HSS COLUMNS BELOW.
19. (2)-2x12 BEAM.
20. (2)-1 3/4"x11 7/8" LVL BEAM AT TOP OF WALL AND AT TOP INTERMEDIATE STAIR LANDING.
21. 4x4 WOOD POST ON BEAM UP TO UNDER SIDE OF RIDGE ABOVE.
22. (3)-GANG STUDS UNDER BEAM.
23. (4)-GANG STUDS UNDER BEAM.
24. (3)-GANG STUDS ON BEAM/JOIST UNDER BEAM ABOVE.
25. HSS POST UNDER BEAM, REFER TO FOUNDATION PLAN.
26. STRUCTURAL / ARCHITECTURAL FIBERGLASS COLUMN BELOW.
27. 6x6 PRESERVATIVE TREATED WOOD POST WITH ARCHITECTUAL WRAP BELOW. PROVIDE SIMPSON STRONG-TIE (2)-PIECE x 20 GAUGE POST CAP.

NOTE:
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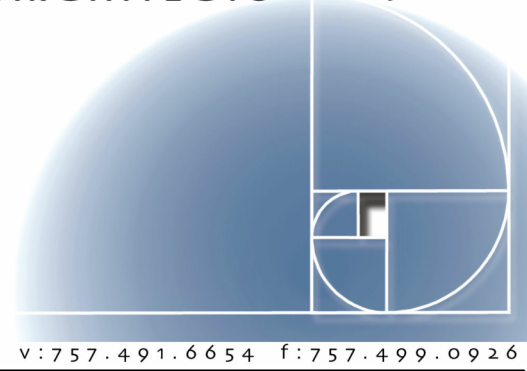
GRAPHIC SCALE:



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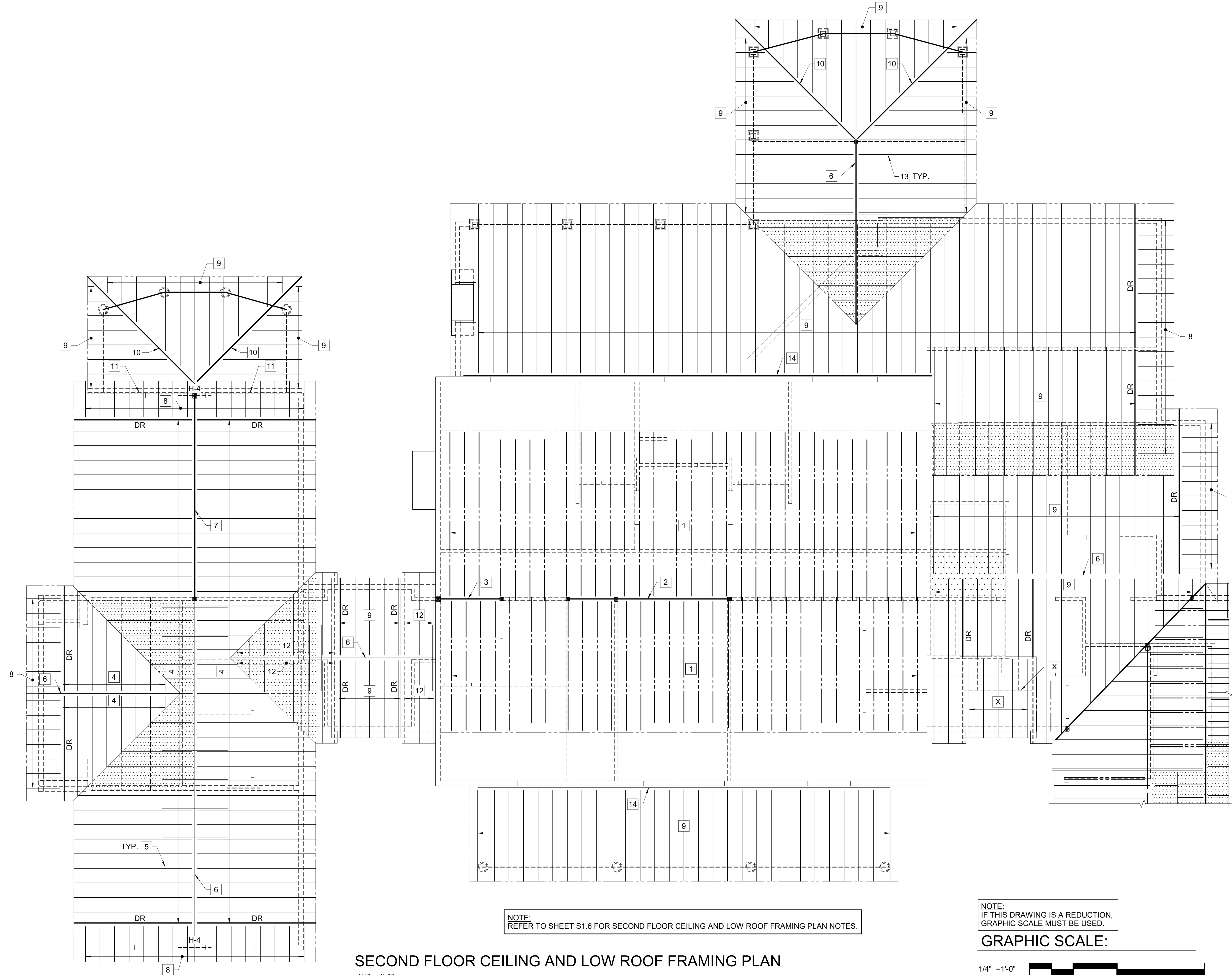


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GARAGE AND POOL HOUSE
SECOND FLOOR FRAMING
PLANS

S1.4

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SECOND FLOOR CEILING AND LOW ROOF FRAMING PLAN

1/4" = 1'-0"

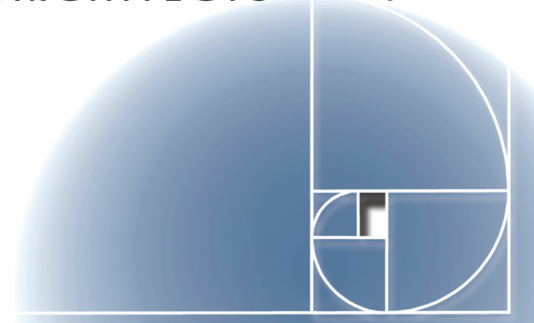
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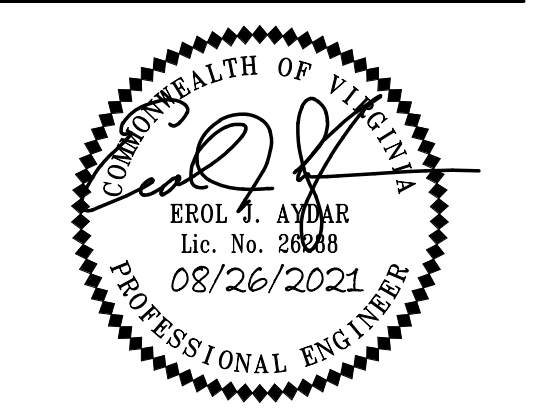


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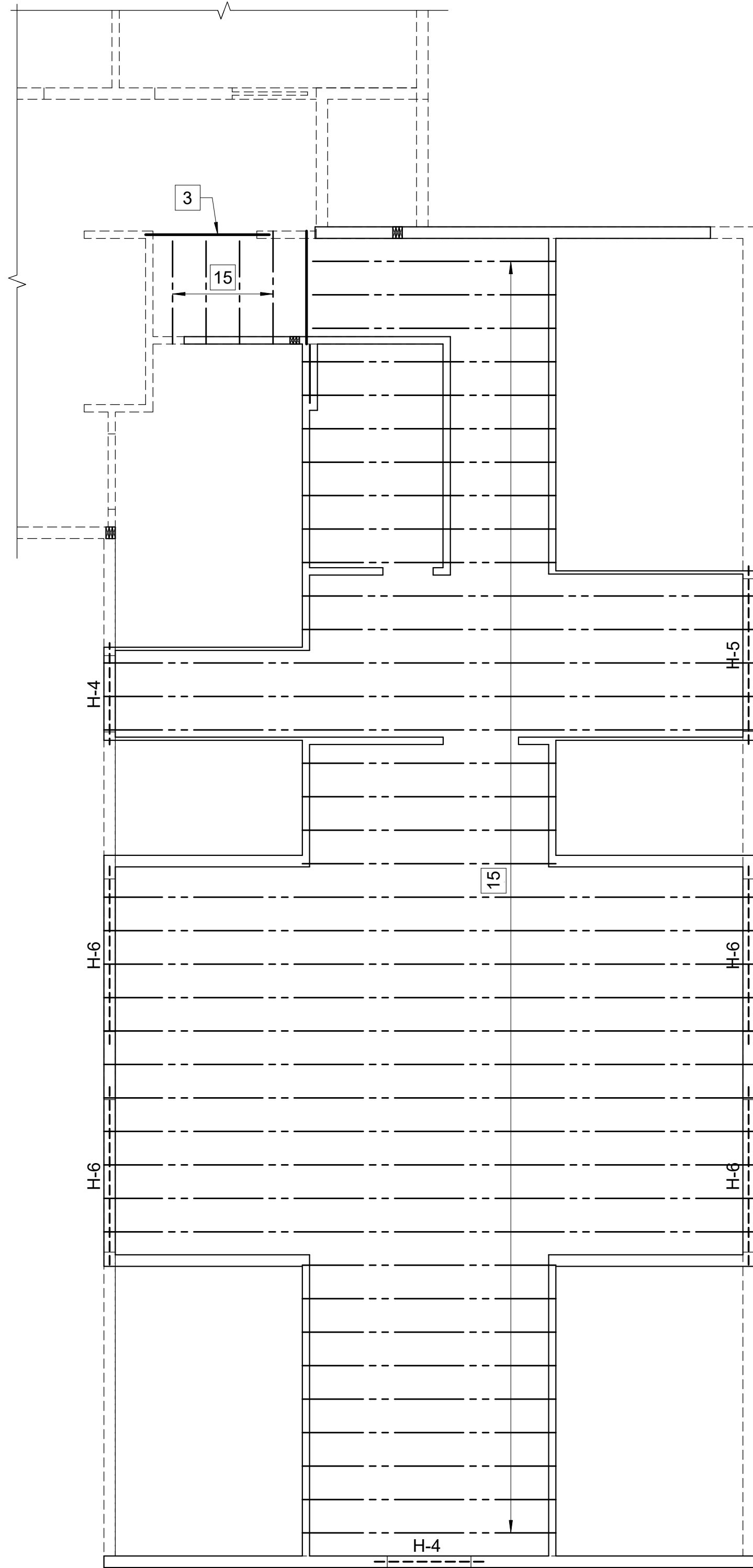
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SECOND FLOOR CEILING AND
LOW ROOF FRAMING PLAN

S1.5

NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

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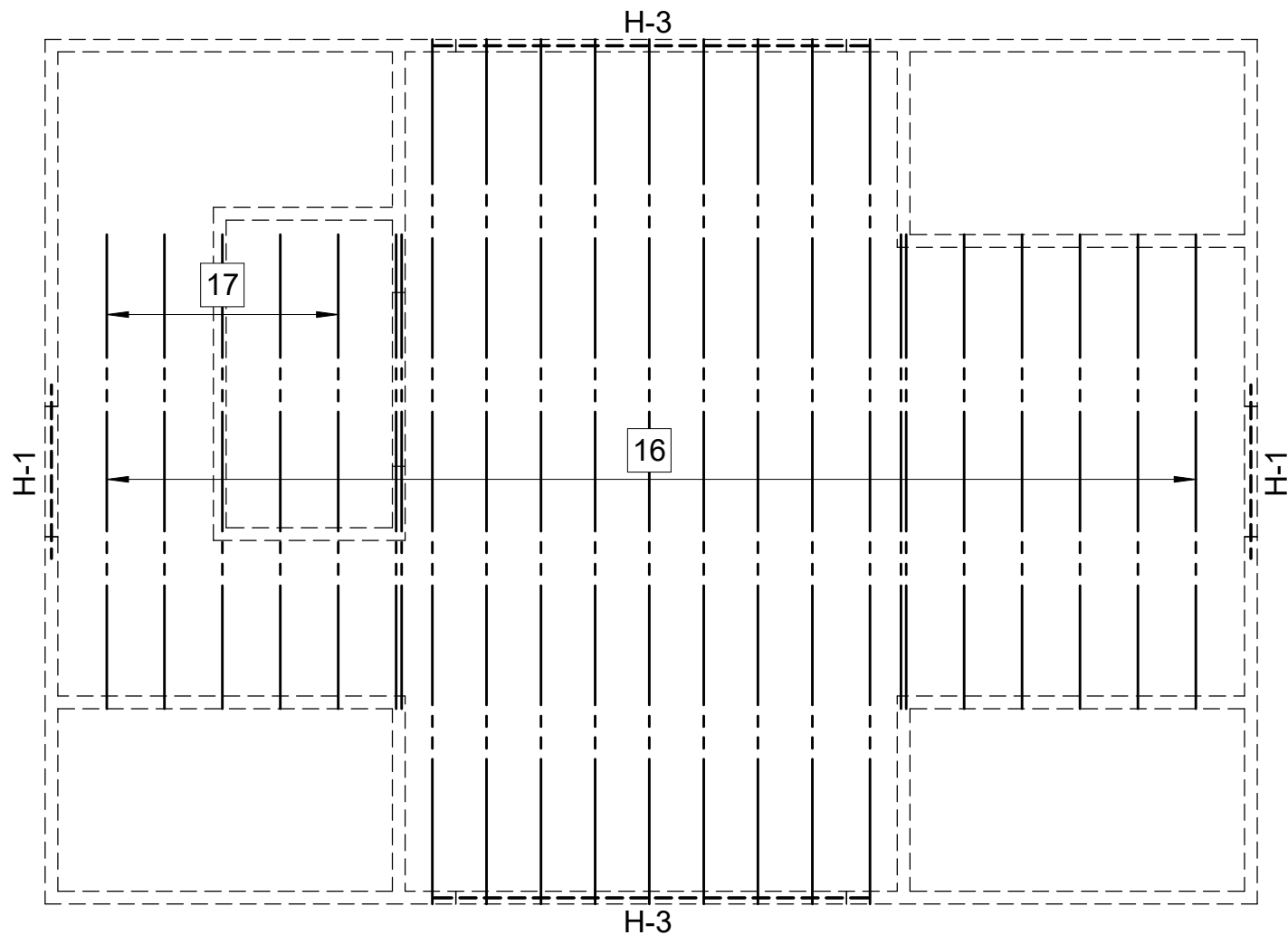


GARAGE SECOND FLOOR CEILING FRAMING PLAN

1/4" = 1'-0"

SECOND FLOOR CEILING AND
LOW ROOF FRAMING PLAN NOTES:

1. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS NOT INDICATED.
2. PROVIDE COMPLETE STRUCTURAL SYSTEM UTILIZING BEARING WALLS AND BEAMS INDICATED ON PLAN FOR ALL FLOOR JOISTS AND TRUSSES, INCLUDING SIZE AND TYPE OF HANGERS, HURRICANE ANCHORS, AND OTHER CONNECTIONS AS REQUIRED.
3. PROVIDE CHASED MECHANICAL OPENINGS TO COORDINATE WITH CONTRACTOR.
4. DJ DENOTES DOUBLE FLOOR JOIST LOCATION.
5. DR DENOTES DOUBLE RAFTER LOCATION.
6. H-X DENOTES HEADER TYPE, REFER TO HEADER SCHEDULE ON SHEET S0.4.
7. DENOTES OVERBUILD ROOF FRAMING.
8. DENOTES AREA OF FURRED DOWN CEILING, REFER TO ARCHITECTURAL DRAWINGS.



POOL HOUSE SECOND FLOOR CEILING FRAMING PLAN

1/4" = 1'-0"

SECOND FLOOR CEILING AND
LOW ROOF FRAMING PLAN KEY NOTES:

- 1 2x12 CEILING JOIST AT 16" ON CENTER. BOTTOM OF JOIST ELEVATION = (+9'-1 1/4") ABOVE SECOND FLOOR SUB-FLOOR. END OF CEILING JOIST SUPPORTED BY EITHER ROOF RAFTERS OR HEADER BEAMS, REFER TO SHEET S1.7.
- 2 (2)-1 3/4"x9 1/4" LVL BEAM.
- 3 (2)-2x10 BEAM.
- 4 2x12 RAFTERS AT 16" ON CENTER.
- 5 1x8 COLLAR TIES AT 32" ON CENTER.
- 6 2x12 RIDGE PLATE.
- 7 (2)-1 3/4"x14" LVL RIDGE BEAM.
- 8 2x6 OUTLOOKERS AT 16" ON CENTER.
- 9 2x8 RAFTERS AT 16" ON CENTER.
- 10 1 3/4"x9 1/4" LVL HIP BEAM.
- 11 2x8 LEDGER.
- 12 2x12 RAFTERS AT 16" ON CENTER WITH 2x10 COLLAR TIES AT 16" ON CENTER. BOTTOM OF COLLAR TIE ELEVATION + (+12'-8") ABOVE FIRST FLOOR SUBFLOOR.
- 13 1x6 COLLAR TIES AT 32" ON CENTER.
- 14 2x10 LEDGER.
- 15 9 1/2" TJI 210 CEILING JOIST AT 16" ON CENTER.
- 16 2x12 CEILING JOIST AT 16" ON CENTER.
- 17 JOIST TO BE SUPPORTED AND ATTACHED TO THE ROOF RAFTERS.

NOTE:
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GRAPHIC SCALE MUST BE USED.

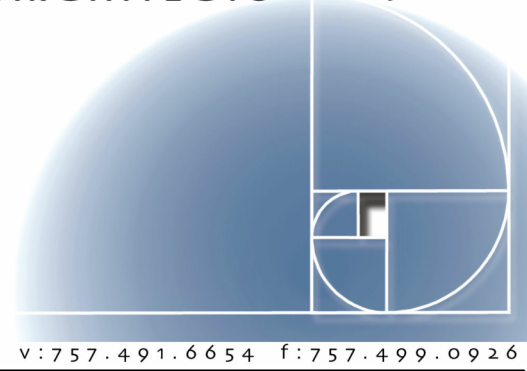
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NEW RESIDENCE FOR
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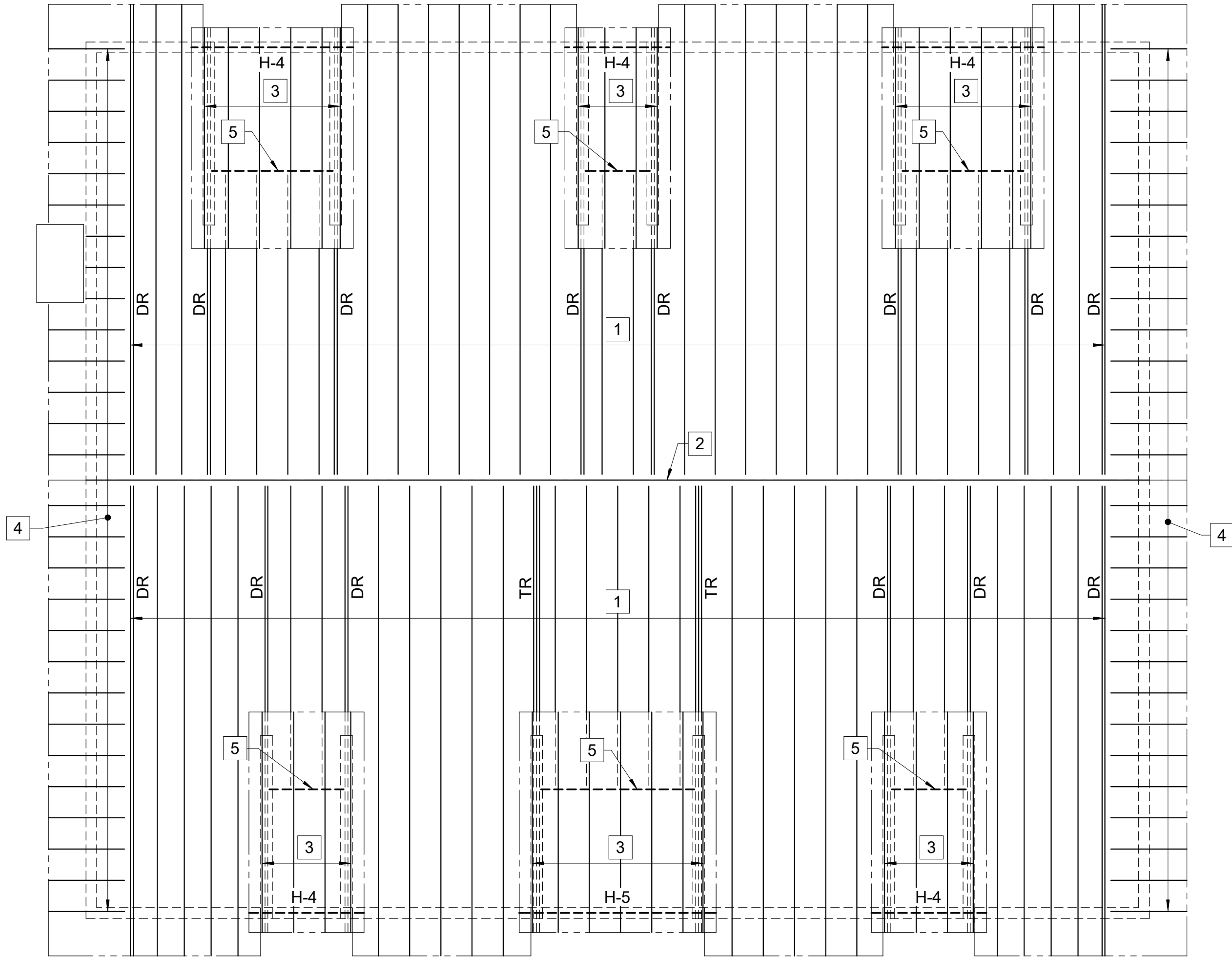
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GARAGE AND POOL HOUSE
SECOND FLOOR CEILING
FRAMING PLANS

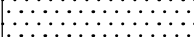
S1.6



ROOF FRAMING PLAN

1/4" = 1'-0"

ROOF FRAMING PLAN NOTES:

- COORDINATE ALL OPENINGS AND DIMENSIONS WITH THE ARCHITECTURAL DRAWINGS.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND ELEVATIONS NOT SHOWN.
- DR DENOTES DOUBLE RAFTER.
- TR DENOTES TRIPLE RAFTER.
-  DENOTES OVERBUILD ROOF FRAMING.

ROOF FRAMING PLAN KEY NOTES:

- | | |
|---|-----------------------------------|
| 1 | 2x12 RAFTERS AT 16" ON CENTER. |
| 2 | 2x12 RIDGE PLATE. |
| 3 | 2x6 RAFTERS AT 16" ON CENTER. |
| 4 | 2x6 OUTRIGGERS AT 16" ON CENTER. |
| 5 | (2)-1 3/4"x14" LVL BEAM. |
| 6 | 2x8 RAFTERS AT 16" ON CENTER. |
| 7 | BEAM BELOW, REFER TO SHEET S1.6. |
| 8 | 1 3/4"x14" LVL VALLEY BEAM. |
| 9 | 1x8 COLLAR TIES AT 32" ON CENTER. |

NOTE:
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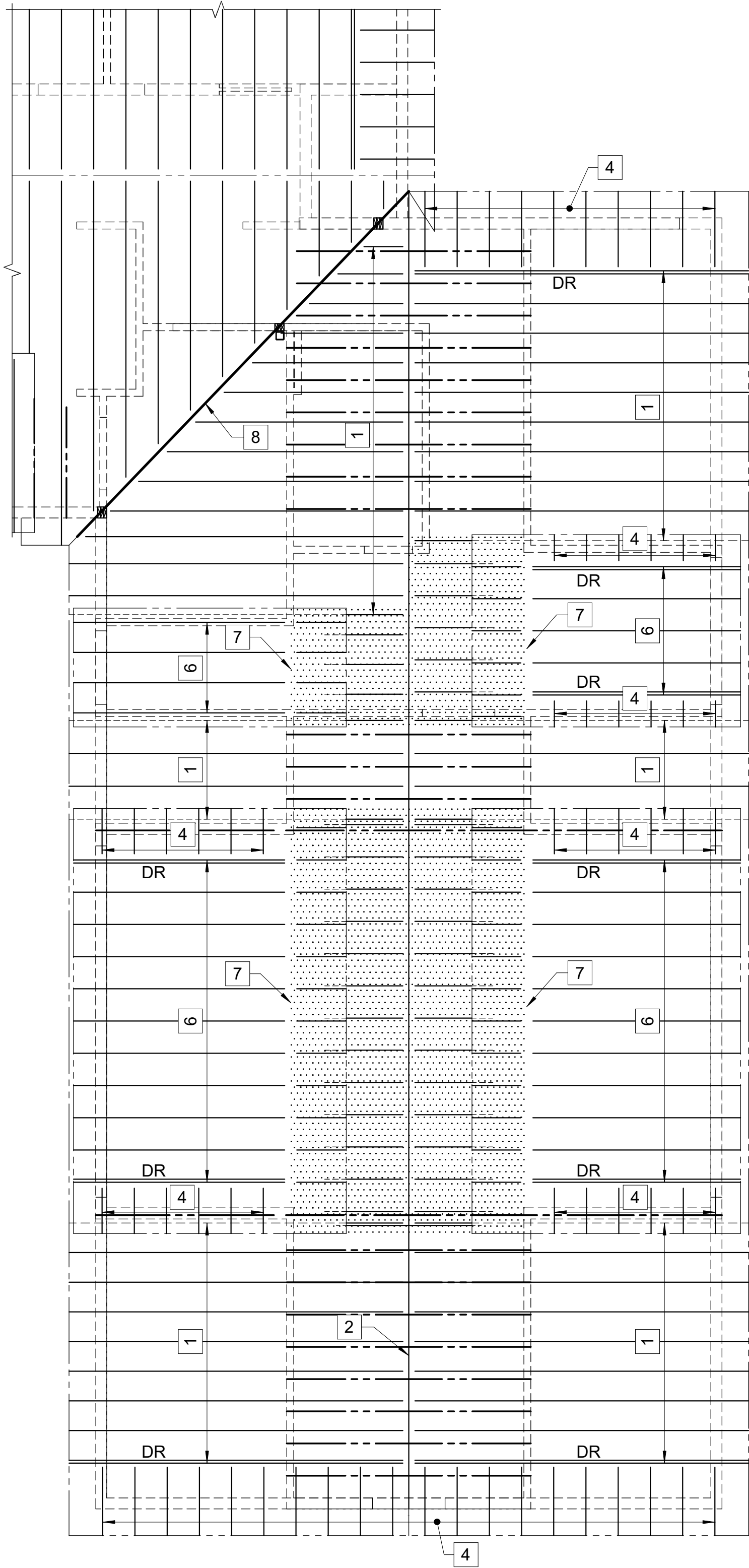


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ROOF FRAMING PLAN

S1.7

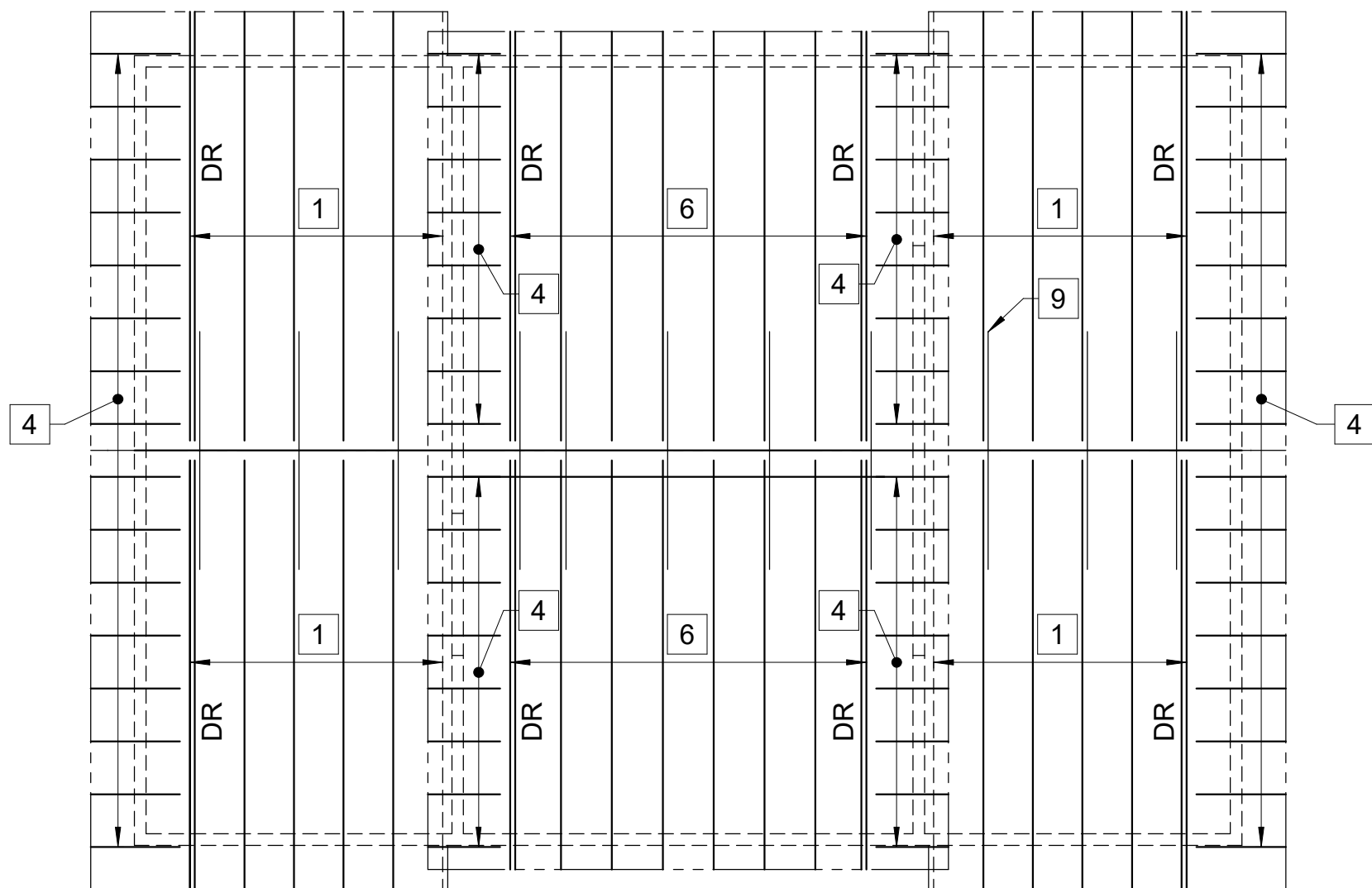
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GARAGE ROOF FRAMING PLAN

1/4" = 1'-0"

NOTE:
REFER TO SHEET S1.7 FOR ROOF FRAMING PLAN NOTES.



POOL HOUSE ROOF FRAMING PLAN

1/4" = 1'-0"

NOTE:
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GRAPHIC SCALE MUST BE USED.

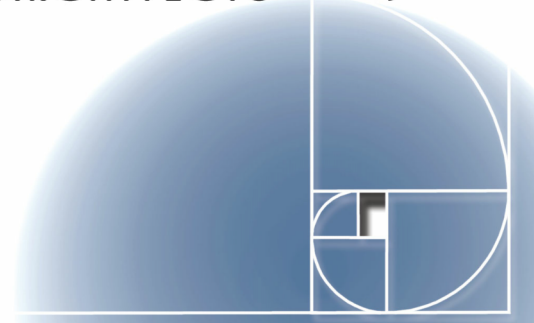
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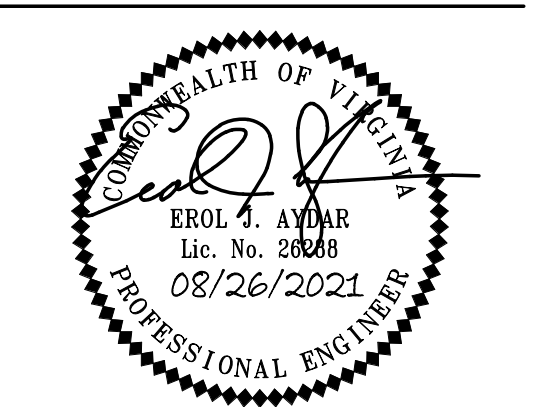
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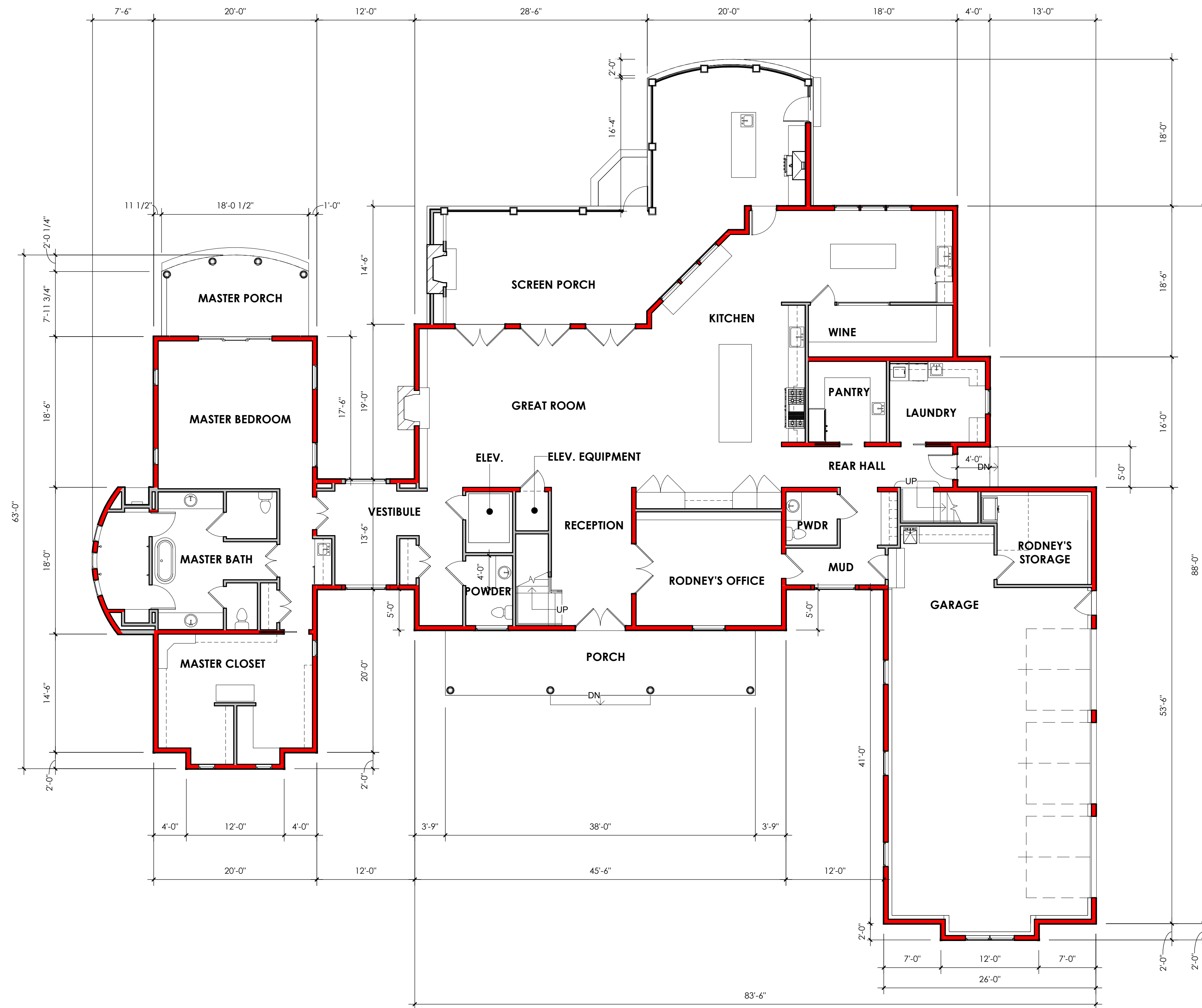
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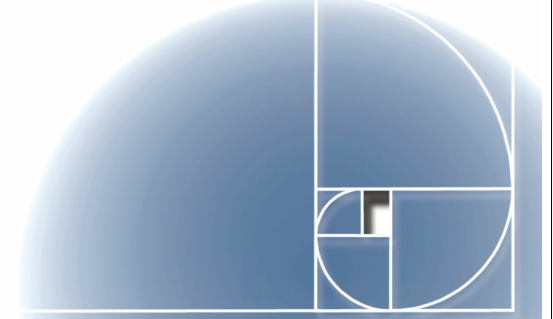
GARAGE AND POOL HOUSE
ROOF FRAMING PLANS

S1.8

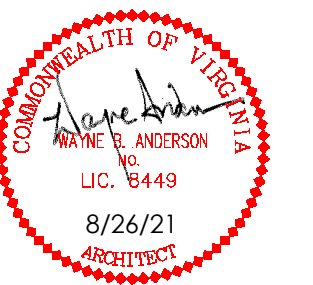


KEY PLAN
1/8" = 1'-0"

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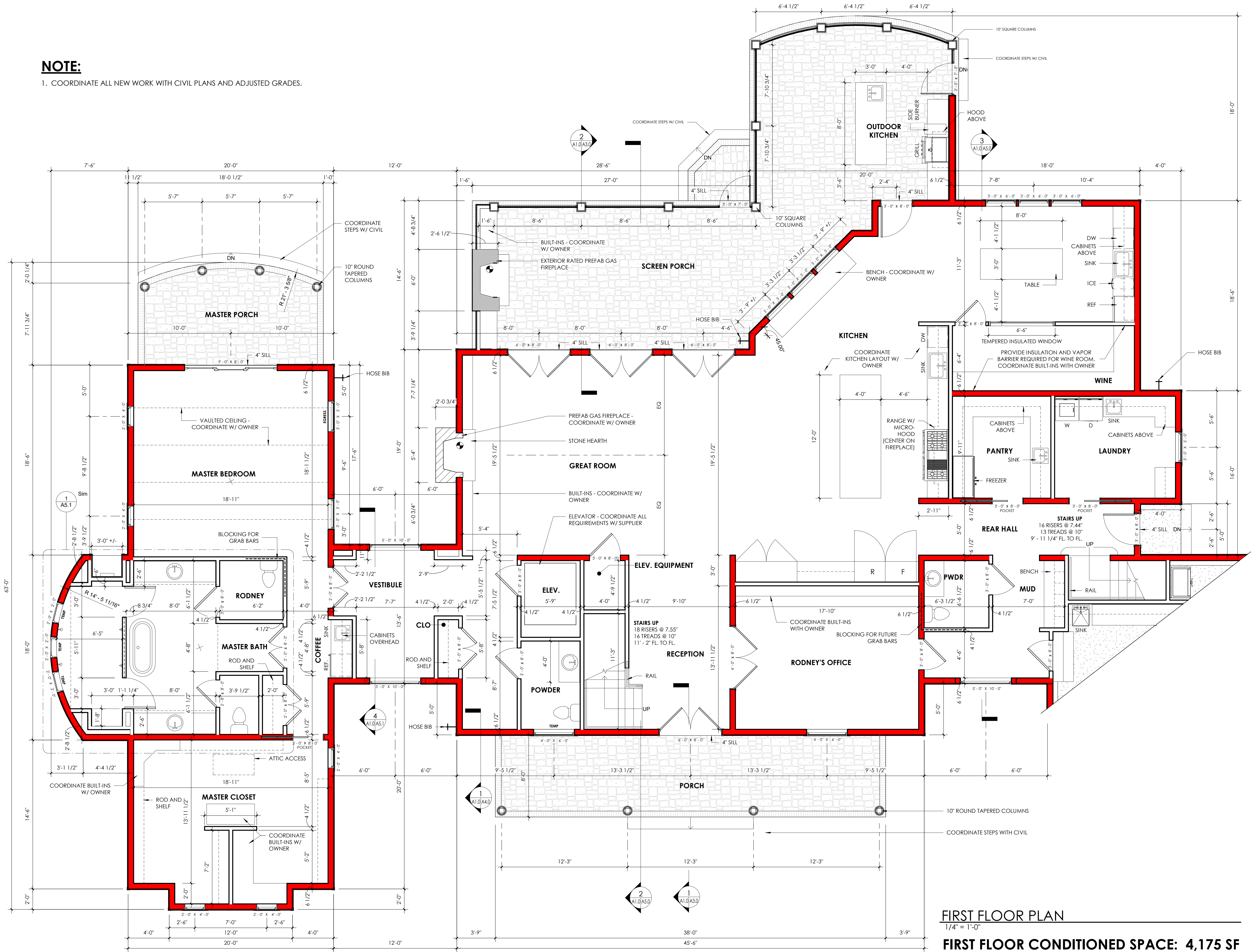
KEY PLAN

A0.1

NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

NOTE:

1. COORDINATE ALL NEW WORK WITH CIVIL PLANS AND ADJUSTED GRADES.



FIRST FLOOR PLAN
1/4" = 1'-0"
FIRST FLOOR CONDITIONED SPACE: 4,175 SF

NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

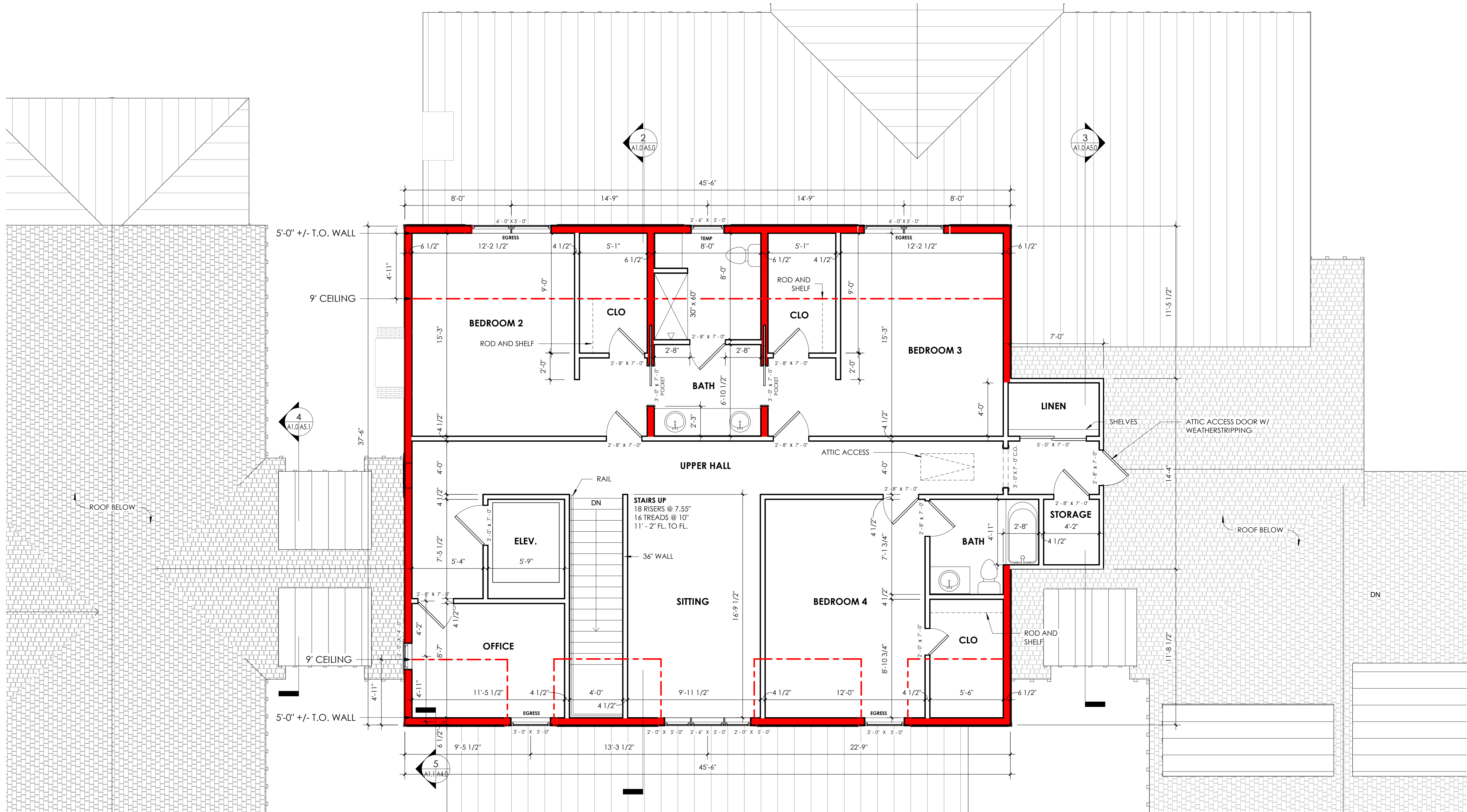
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FIRST FLOOR PLAN

A1.0



SECOND FLOOR
1/4" = 1'-0"

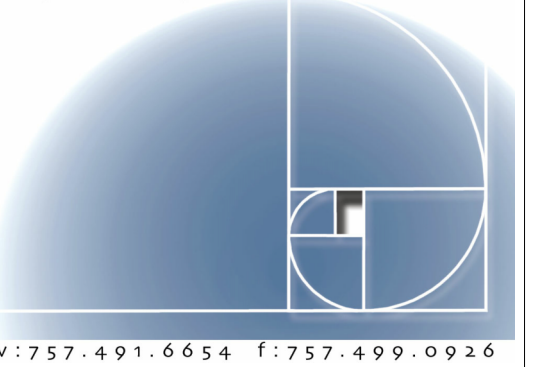
SECOND FLOOR CONDITIONED SPACE: 1,804 SF

WINDOW & DOOR NOTES

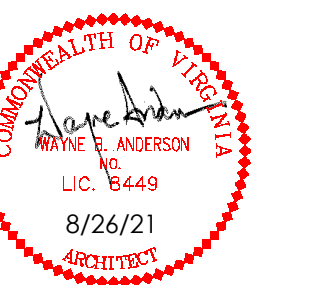
1. PROVIDE LOW E GLASS FOR ALL WINDOW UNITS UNLESS OTHERWISE NOTED.
2. PROVIDE TEMPERED GLASS IN ALL DOOR/WINDOW/STOREFRONT SYSTEMS AS INDICATED AND AS REQUIRED BY CODE.
3. PROVIDE MFG. STANDARD SCREENS UNLESS OTHERWISE NOTED.
4. WINDOW UNIT SIZES SHOWN ARE APPROXIMATE AND ARE PROVIDED FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE AND VERIFY REQUIRED ROUGH OPENING REQUIREMENTS WITH WINDOW MFG.
5. PROVIDE GRILLES AS INDICATED ON ELEVATIONS.
6. PROVIDE COMPOSITE OR FIBERGLASS INTERIOR FRAME AND TRIM AT ALL WET LOCATIONS, TYP.
7. COORDINATE HARDWARE SELECTION WITH OWNER.

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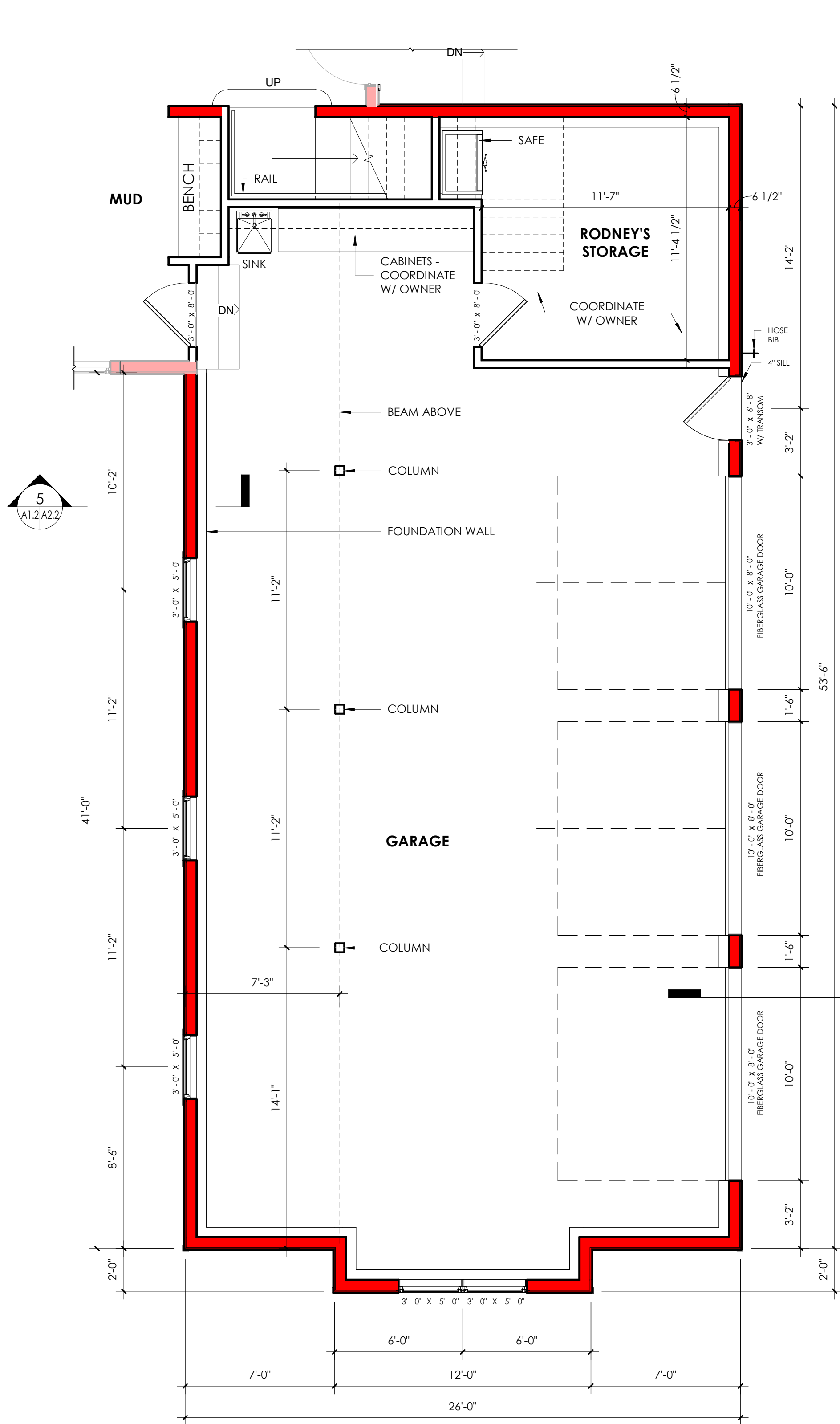
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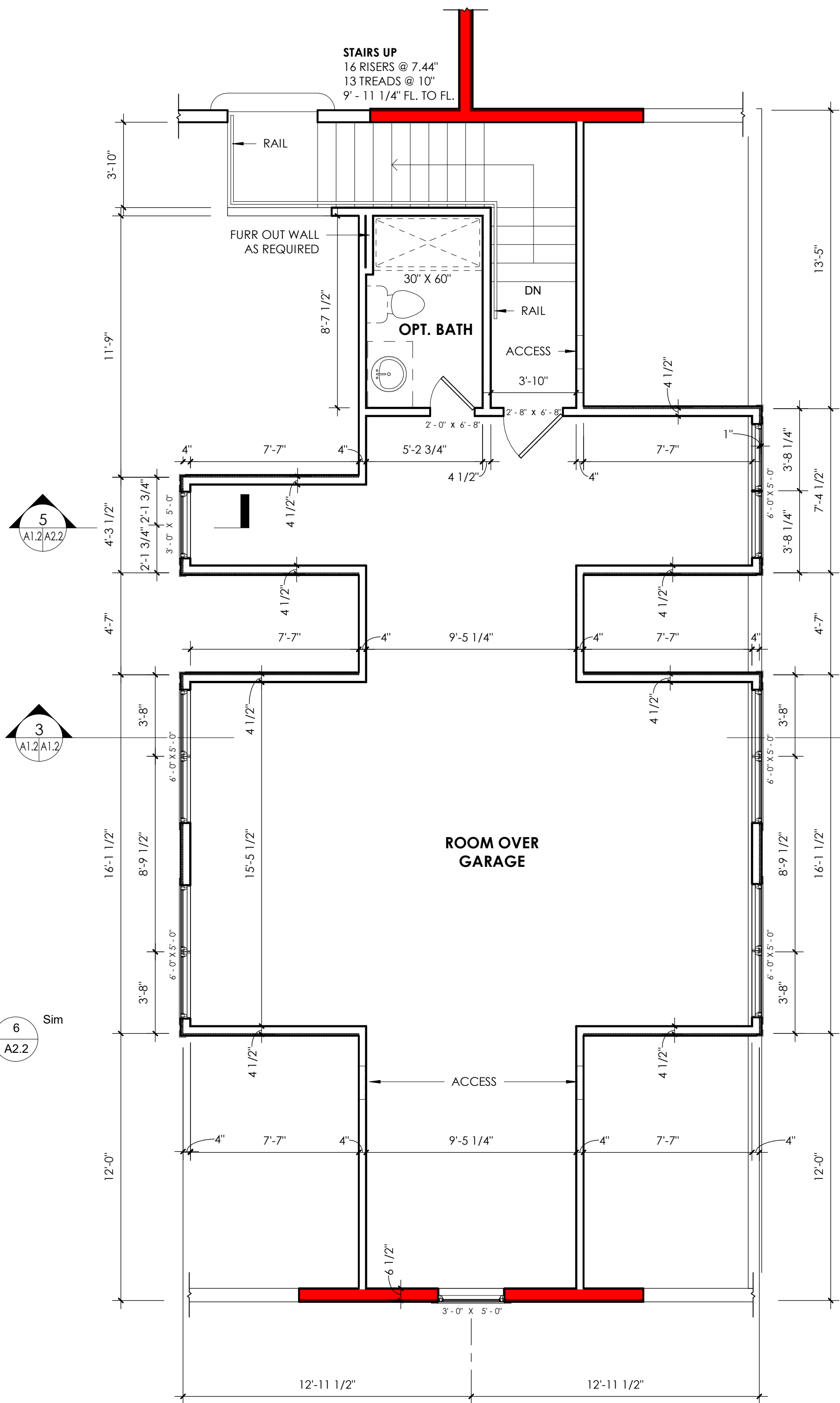
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SECOND FLOOR PLAN

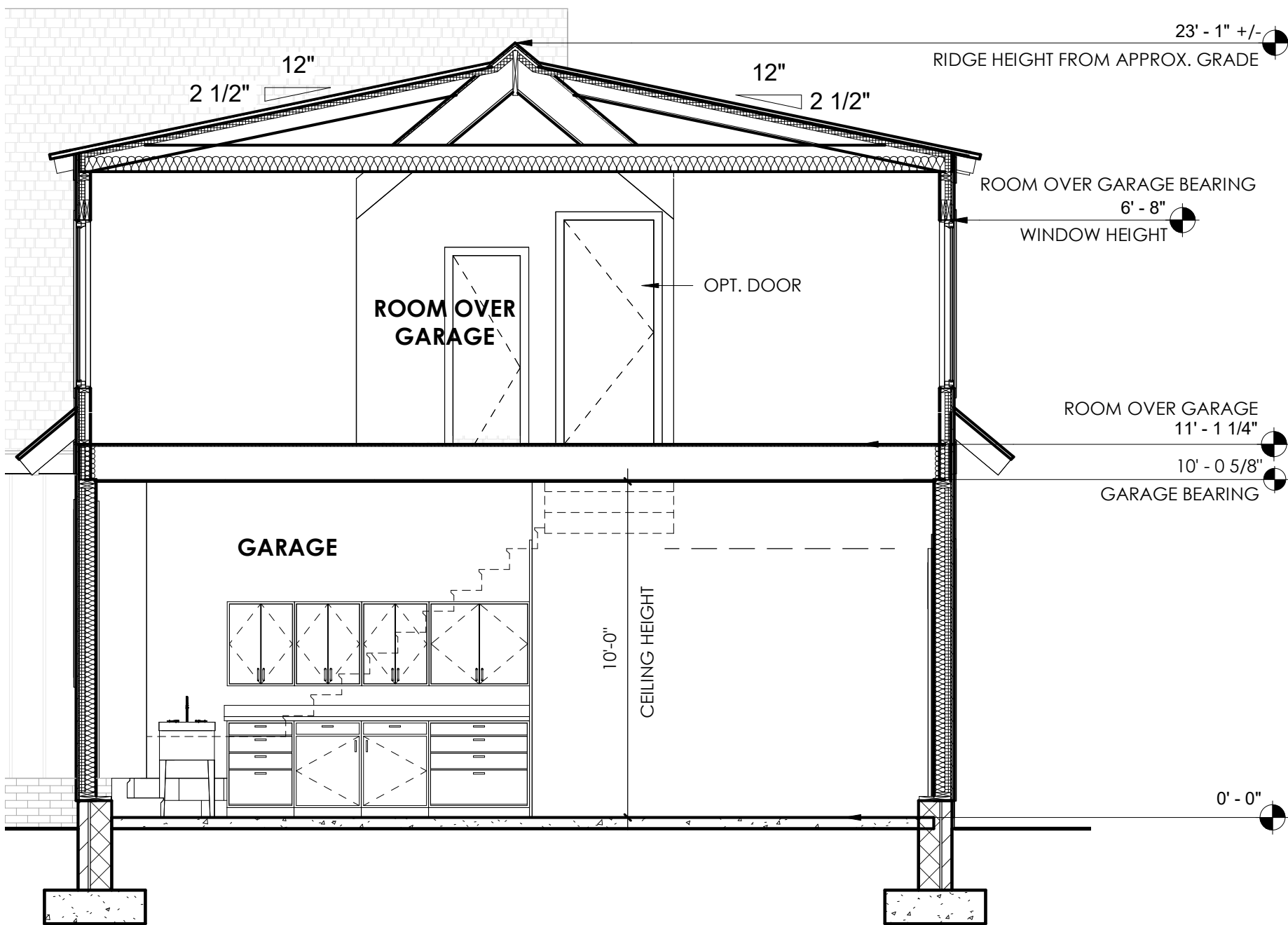
A1.1



GARAGE FLOOR PLAN
1/4" = 1'-0"



GARAGE SECOND FLOOR
1/4" = 1'-0"



GARAGE SECTION
1/4" = 1'-0"

ROOM OVER GARAGE CONDITIONED SPACE: 872 SF

NEW RESIDENCE FOR
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142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

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GARAGE PLANS AND
SECTIONS


A1.2


ELECTRICAL LEGEND


- 


GARAGE DOOR OPENER
- 


110 VOLT DUPLEX OUTLET
- 


110 VOLT WEATHERPROOF
- 


220 VOLT OUTLET
- 


110 VOLT QUAD
- 


JUNCTION BOX
- 


WALL SWITCH 2, 3 & 4 WAY AS REQUIRED
- 


4" RECESSED LED
- 


SURFACE MOUNT FIXTURE - CEILING OR WALL
- 


SMOKE/CO² DETECTOR
- 


CEILING FAN
- 


GAS LINE
- 


110V FLOOR OUTLET
- 


EXHAUST FAN
- 

STRIP LED
- 

1X2, 1 X 4 OR 2X4 LED
- 

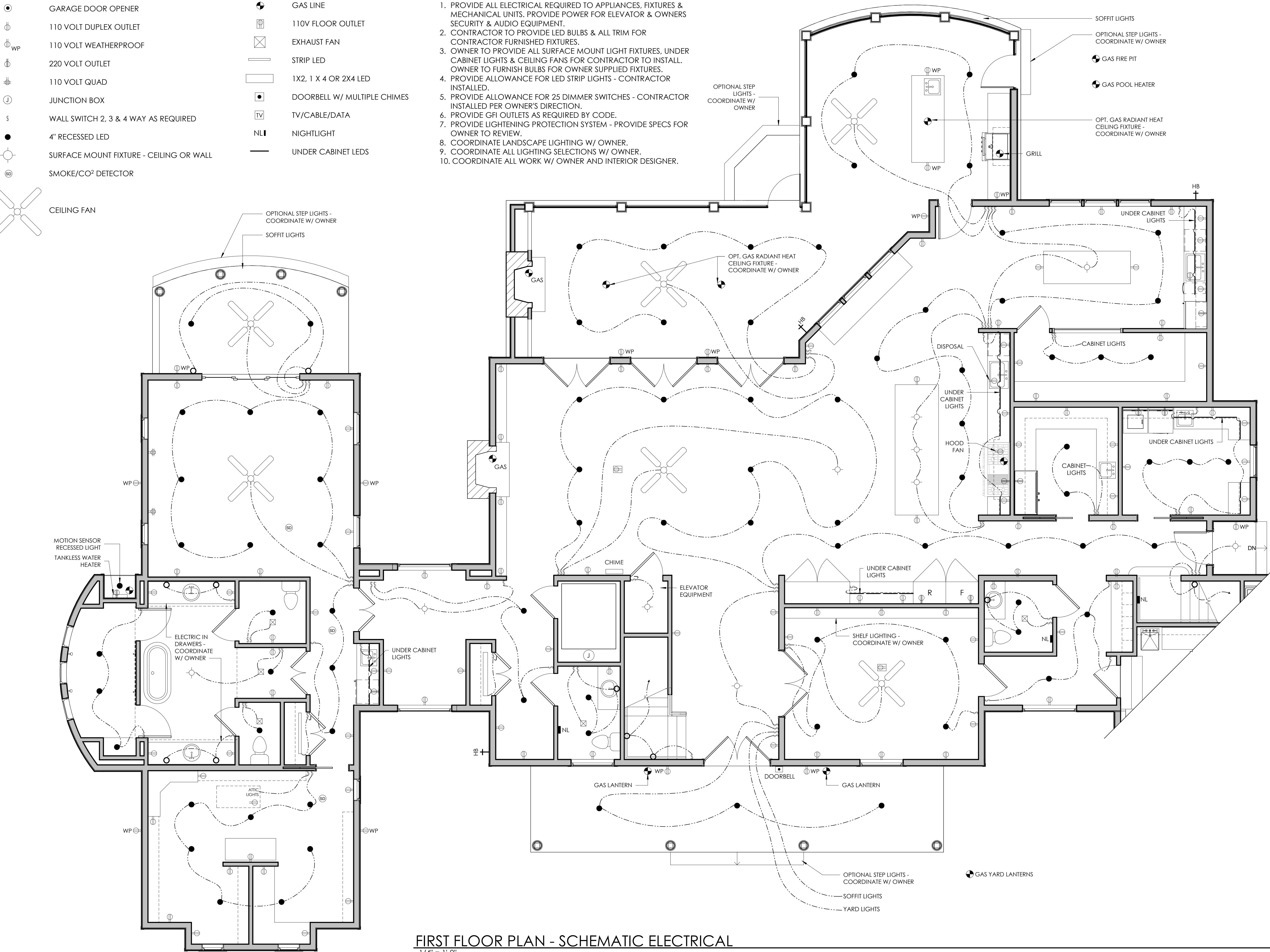
DOORBELL W/ MULTIPLE CHIMES
- 

TV/CABLE/DATA
- 

NIGHTLIGHT
- 

UNDER CABINET LEDS

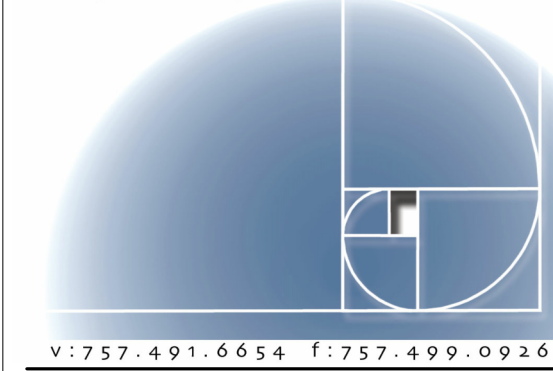
1. PROVIDE ALL ELECTRICAL REQUIRED TO APPLIANCES, FIXTURES & MECHANICAL UNITS. PROVIDE POWER FOR ELEVATOR & OWNERS SECURITY & AUDIO EQUIPMENT.
2. CONTRACTOR TO PROVIDE LED BULBS & ALL TRIM FOR CONTRACTOR FURNISHED FIXTURES.
3. OWNER TO PROVIDE ALL SURFACE MOUNT LIGHT FIXTURES, UNDER CABINET LIGHTS & CEILING FANS FOR CONTRACTOR TO INSTALL. OWNER TO FURNISH BULBS FOR OWNER SUPPLIED FIXTURES.
4. PROVIDE ALLOWANCE FOR LED STRIP LIGHTS - CONTRACTOR INSTALLED.
5. PROVIDE ALLOWANCE FOR 25 DIMMER SWITCHES - CONTRACTOR INSTALLED PER OWNER'S DIRECTION.
6. PROVIDE GFI OUTLETS AS REQUIRED BY CODE.
7. PROVIDE LIGHTENING PROTECTION SYSTEM - PROVIDE SPECS FOR OWNER TO REVIEW.
8. COORDINATE LANDSCAPE LIGHTING W/ OWNER.
9. COORDINATE ALL LIGHTING SELECTIONS W/ OWNER.
10. COORDINATE ALL WORK W/ OWNER AND INTERIOR DESIGNER.



FIRST FLOOR PLAN - SCHEMATIC ELECTRICAL
1/4" = 1'-0"

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




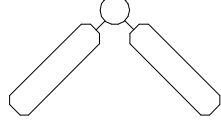


CHA PROJECT	21023
ISSUE DATE	8/26/21
REVISION NO.	DATE

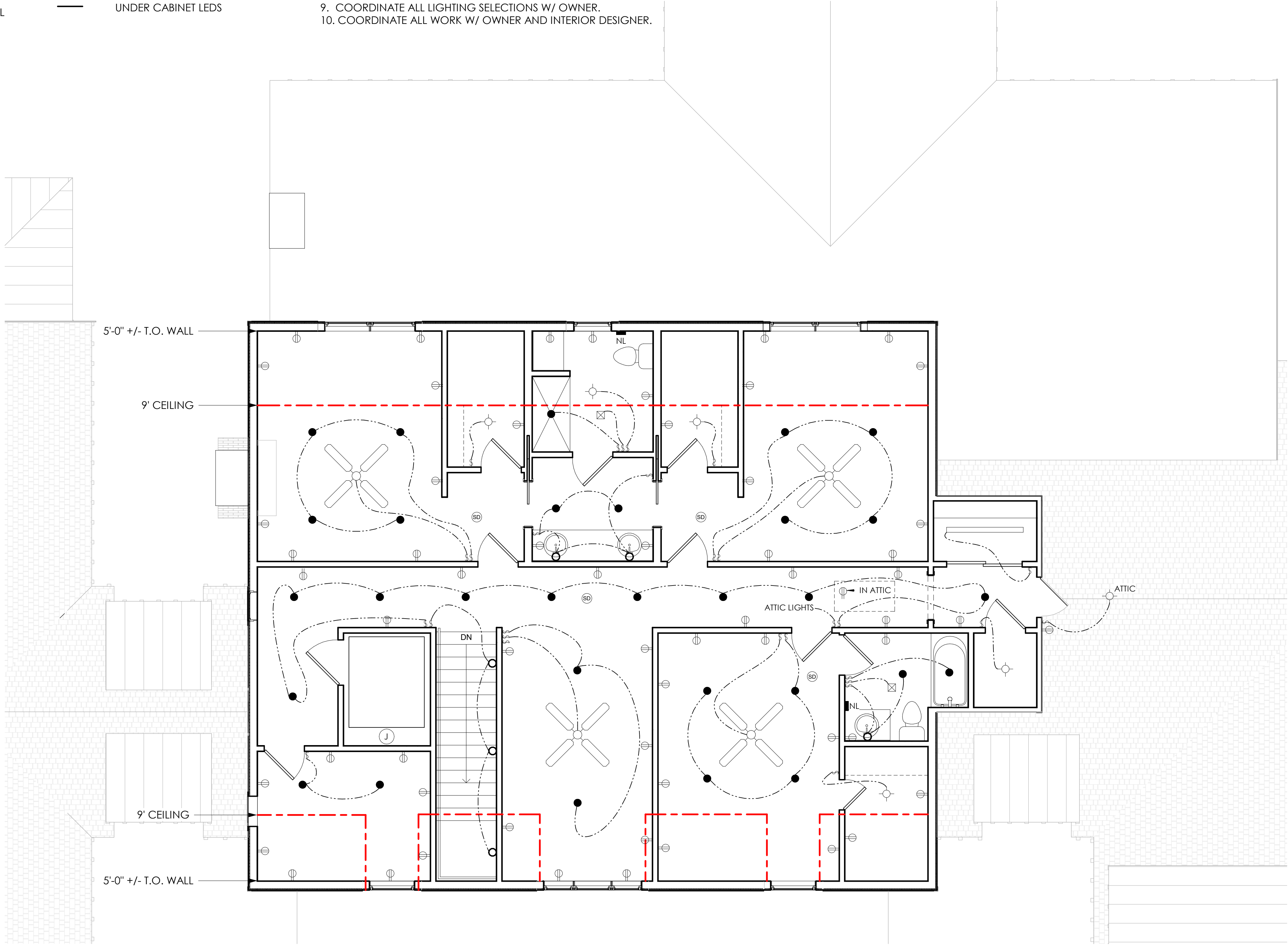
FIRST FLOOR SCHEMATIC
ELECTRICAL

A1.4

ELECTRICAL LEGEND

	GARAGE DOOR OPENER		GAS LINE
	110 VOLT DUPLEX OUTLET		110V FLOOR OUTLET
	110 VOLT WEATHERPROOF		EXHAUST FAN
	220 VOLT OUTLET		STRIP LED
	110 VOLT QUAD		1X2, 1 X 4 OR 2X4 LED
	JUNCTION BOX		DOORBELL W/ MULTIPLE CHIMES
	WALL SWITCH 2, 3 & 4 WAY AS REQUIRED		TV/CABLE/DATA
	4" RECESSED LED		NIGHTLIGHT
	SURFACE MOUNT FIXTURE - CEILING OR WALL		UNDER CABINET LEDS
	SMOKE/CO ² DETECTOR		
	CEILING FAN		

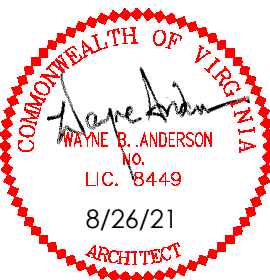
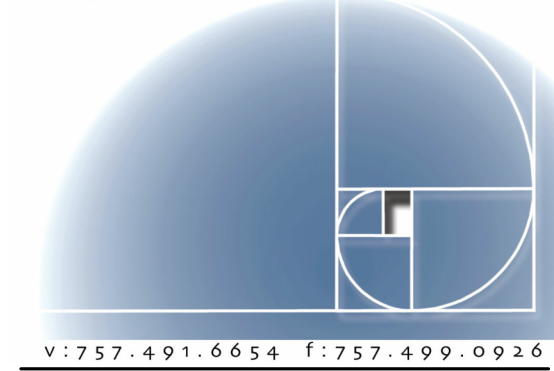
1. PROVIDE ALL ELECTRICAL REQUIRED TO APPLIANCES, FIXTURES & MECHANICAL UNITS. PROVIDE POWER FOR ELEVATOR & OWNERS SECURITY & AUDIO EQUIPMENT.
2. CONTRACTOR TO PROVIDE LED BULBS & ALL TRIM FOR CONTRACTOR FURNISHED FIXTURES.
3. OWNER TO PROVIDE ALL SURFACE MOUNT LIGHT FIXTURES, UNDER CABINET LIGHTS & CEILING FANS FOR CONTRACTOR TO INSTALL. OWNER TO FURNISH BULBS FOR OWNER SUPPLIED FIXTURES.
4. PROVIDE ALLOWANCE FOR LED STRIP LIGHTS - CONTRACTOR INSTALLED.
5. PROVIDE ALLOWANCE FOR 25 DIMMER SWITCHES - CONTRACTOR INSTALLED PER OWNER'S DIRECTION.
6. PROVIDE GFI OUTLETS AS REQUIRED BY CODE.
7. PROVIDE LIGHTENING PROTECTION SYSTEM - PROVIDE SPECS FOR OWNER TO REVIEW.
8. COORDINATE LANDSCAPE LIGHTING W/ OWNER.
9. COORDINATE ALL LIGHTING SELECTIONS W/ OWNER.
10. COORDINATE ALL WORK W/ OWNER AND INTERIOR DESIGNER.



SECOND FLOOR - SCHEMATIC ELECTRICAL
1/4" = 1'-0"

NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

COVINGTON HENDRIX ANDERSON ARCHITECTS
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Suite 104
Virginia Beach, VA 23462
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REVISION NO.	DATE

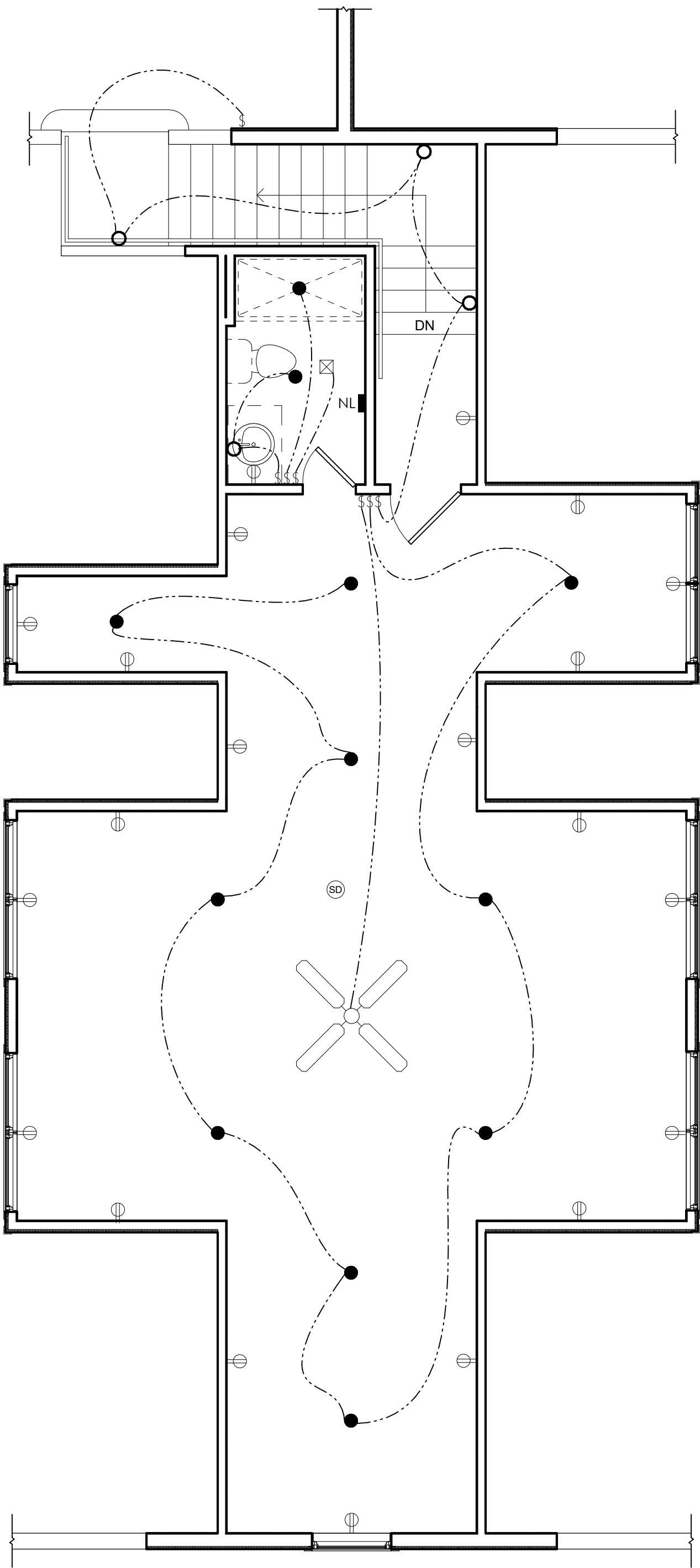
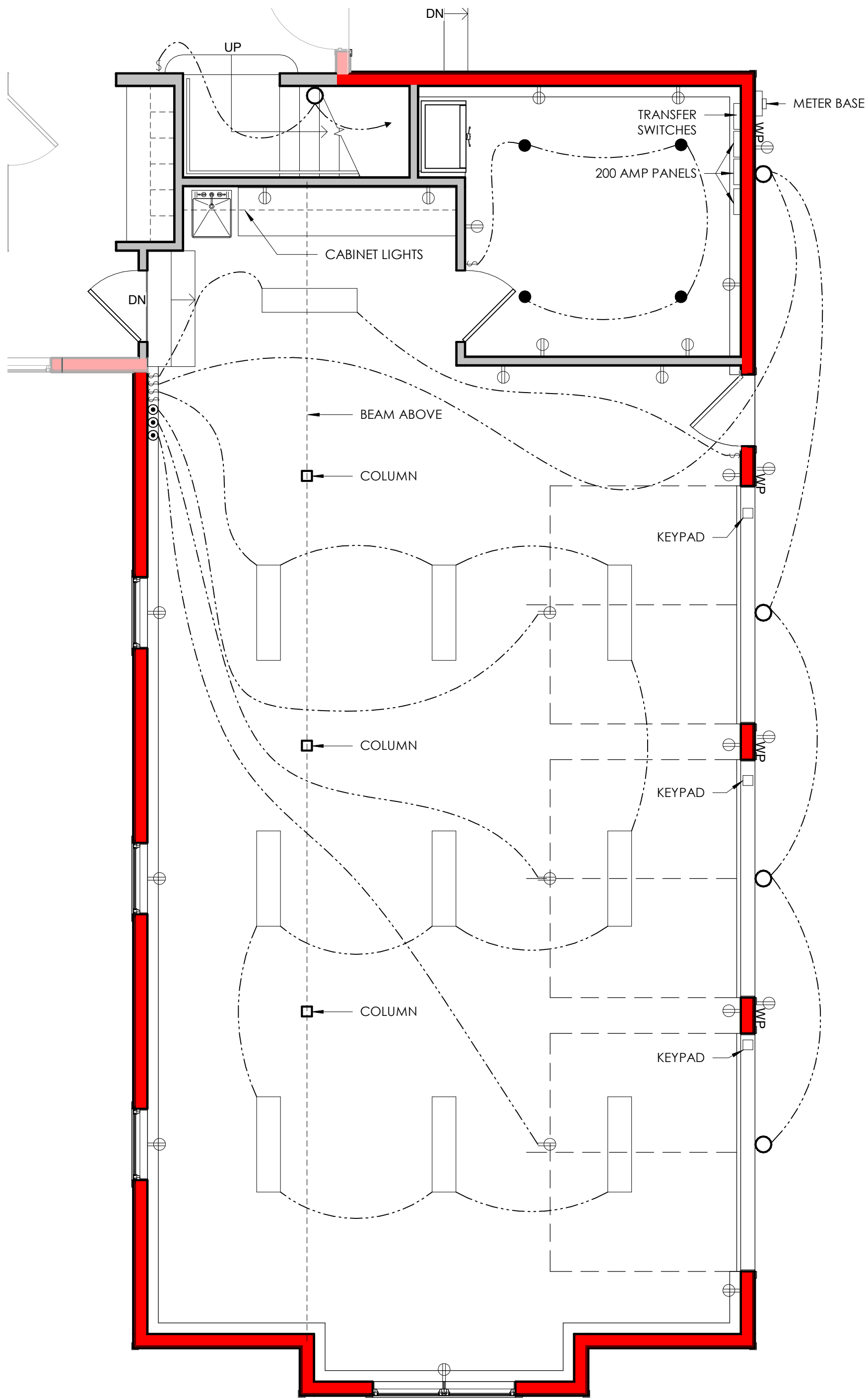
SECOND FLOOR SCHEMATIC
ELECTRICAL

A1.5

ELECTRICAL LEGEND

- GARAGE DOOR OPENER
- 110 VOLT DUPLEX OUTLET
- 110 VOLT WEATHERPROOF
- 220 VOLT OUTLET
- 110 VOLT QUAD
- JUNCTION BOX
- WALL SWITCH 2, 3 & 4 WAY AS REQUIRED
- 4" RECESSED LED
- SURFACE MOUNT FIXTURE - CEILING OR WALL
- SMOKE/CO² DETECTOR
- CEILING FAN
- GAS LINE
- 110V FLOOR OUTLET
- EXHAUST FAN
- STRIP LED
- 1X2, 1 X 4 OR 2X4 LED
- DOORBELL W/ MULTIPLE CHIMES
- TV/CABLE/DATA
- NIGHTLIGHT
- UNDER CABINET LEDS

1. PROVIDE ALL ELECTRICAL REQUIRED TO APPLIANCES, FIXTURES & MECHANICAL UNITS. PROVIDE POWER FOR ELEVATOR & OWNERS SECURITY & AUDIO EQUIPMENT.
2. CONTRACTOR TO PROVIDE LED BULBS & ALL TRIM FOR CONTRACTOR FURNISHED FIXTURES.
3. OWNER TO PROVIDE ALL SURFACE MOUNT LIGHT FIXTURES, UNDER CABINET LIGHTS & CEILING FANS FOR CONTRACTOR TO INSTALL. OWNER TO FURNISH BULBS FOR OWNER SUPPLIED FIXTURES.
4. PROVIDE ALLOWANCE FOR LED STRIP LIGHTS - CONTRACTOR INSTALLED.
5. PROVIDE ALLOWANCE FOR 25 DIMMER SWITCHES - CONTRACTOR INSTALLED PER OWNER'S DIRECTION.
6. PROVIDE GFI OUTLETS AS REQUIRED BY CODE.
7. PROVIDE LIGHTENING PROTECTION SYSTEM - PROVIDE SPECS FOR OWNER TO REVIEW.
8. COORDINATE LANDSCAPE LIGHTING W/ OWNER.
9. COORDINATE ALL LIGHTING SELECTIONS W/ OWNER.
10. COORDINATE ALL WORK W/ OWNER AND INTERIOR DESIGNER.

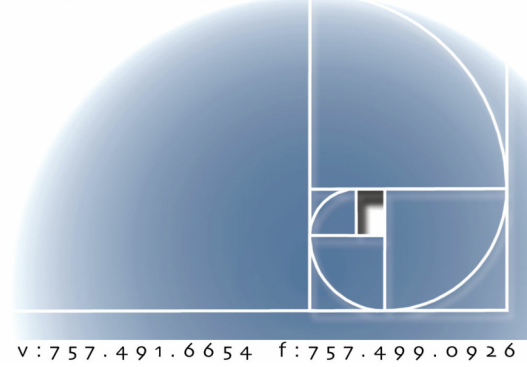


GARAGE FLOOR PLAN - SCHEMATIC ELECTRICAL
1/4" = 1'-0"

GARAGE SECOND FLOOR - SCHEMATIC ELECTRICAL
1/4" = 1'-0"

NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

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REVISION NO.	DATE

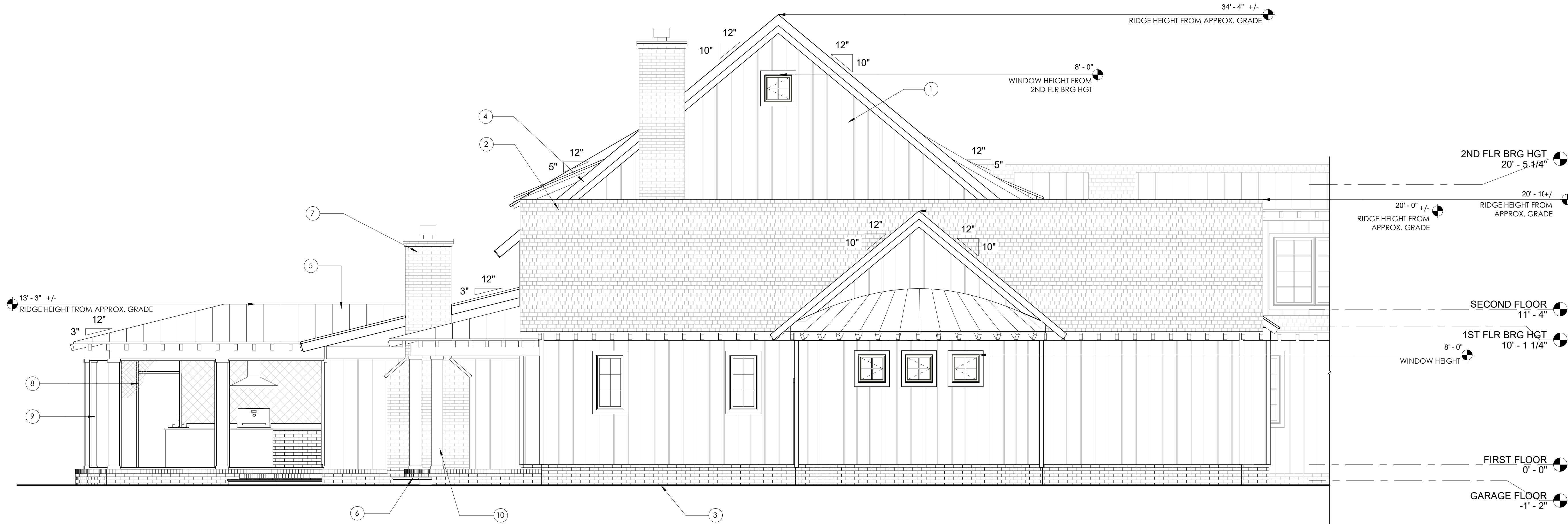
GARAGE SCHEMATIC
ELECTRICAL

A1.6

EXTERIOR MATERIAL KEYNOTE LEGEND	
TAG #	MATERIAL DESCRIPTION
1	HARDIE BOARD AND BATTEN SIDING OVER MANUFACTURER'S RECOMMENDED UNDERLAYMENT - COORDINATE W/ OWNER ON EXTERIOR FINISH
2	DIMENSIONAL FIBERGLASS BACKED ASPHALT SHINGLES OVER #15 FELT OR MANUFACTURER'S RECOMMENDED UNDERLAYMENT - COORDINATE W/ OWNER FOR STYLE & COLOR
3	BRICK VENEER - COORDINATE W/ OWNER ON EXTERIOR FINISH
4	AZEK TRIM OR EQUIVALENT
5	STANDING SEAM METAL ROOF OVER MANUFACTURER'S RECOMMENDED UNDERLAYMENT - COORDINATE W/ OWNER ON EXTERIOR FINISH
6	7" STEPS - COORDINATE W/ CIVIL
7	BRICK VENEER FIREPLACE - COORDINATE W/ OWNER ON EXTERIOR FINISH
8	SCREENED PORCH - COORDINATE W/ OWNER ON EXTERIOR FINISH
9	10" SQUARE COLUMN
10	10" ROUND TAPERED COLUMN



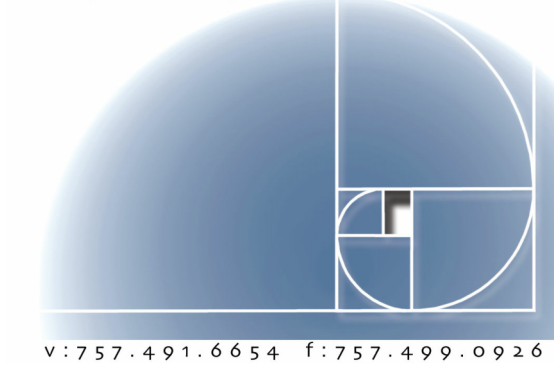
FRONT ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"

NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

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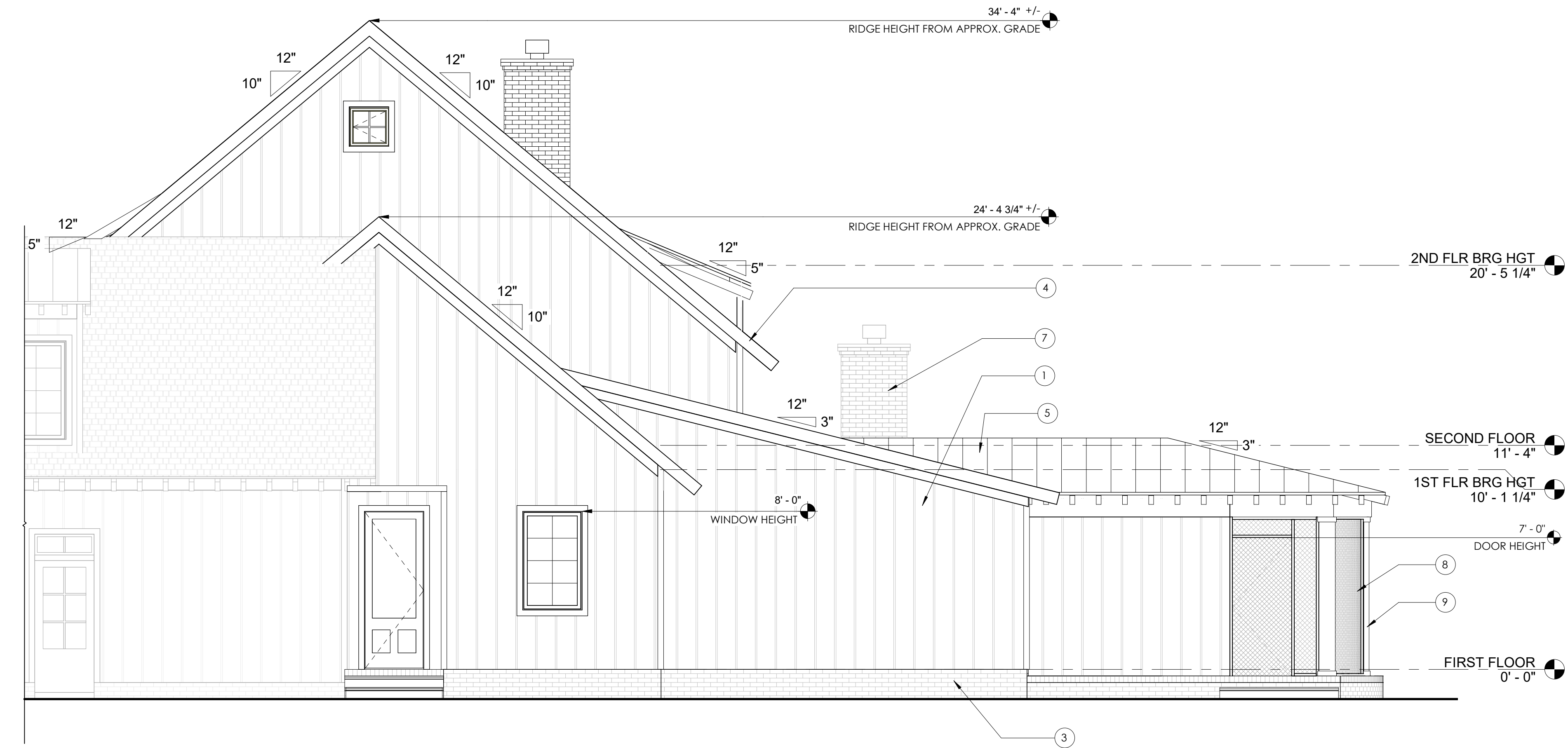
EXTERIOR ELEVATIONS

A2.0



BACK ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

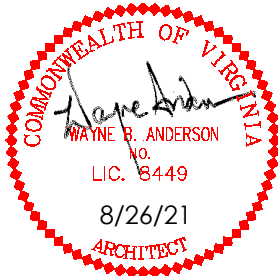
1/4" = 1'-0"

EXTERIOR MATERIAL KEYNOTE LEGEND	
TAG #	MATERIAL DESCRIPTION
1	HARDIE BOARD AND BATTEN SIDING OVER MANUFACTURER'S RECOMMENDED UNDERLAYMENT - COORDINATE W/ OWNER ON EXTERIOR FINISH
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3	BRICK VENEER - COORDINATE W/ OWNER ON EXTERIOR FINISH
4	AZEK TRIM OR EQUIVALENT
5	STANDING SEAM METAL ROOF OVER MANUFACTURER'S RECOMMENDED UNDERLAYMENT - COORDINATE W/ OWNER ON EXTERIOR FINISH
6	7" STEPS - COORDINATE W/ CIVIL
7	BRICK VENEER FIREPLACE - COORDINATE W/ OWNER ON EXTERIOR FINISH
8	SCREENED PORCH - COORDINATE W/ OWNER ON EXTERIOR FINISH
9	10" SQUARE COLUMN
10	10" ROUND TAPERED COLUMN

COVINGTON HENDRIX ANDERSON 360 Southport Circle Suite 104 Virginia Beach, VA 23462 757.491.6654 www.covingtonhendrix.com

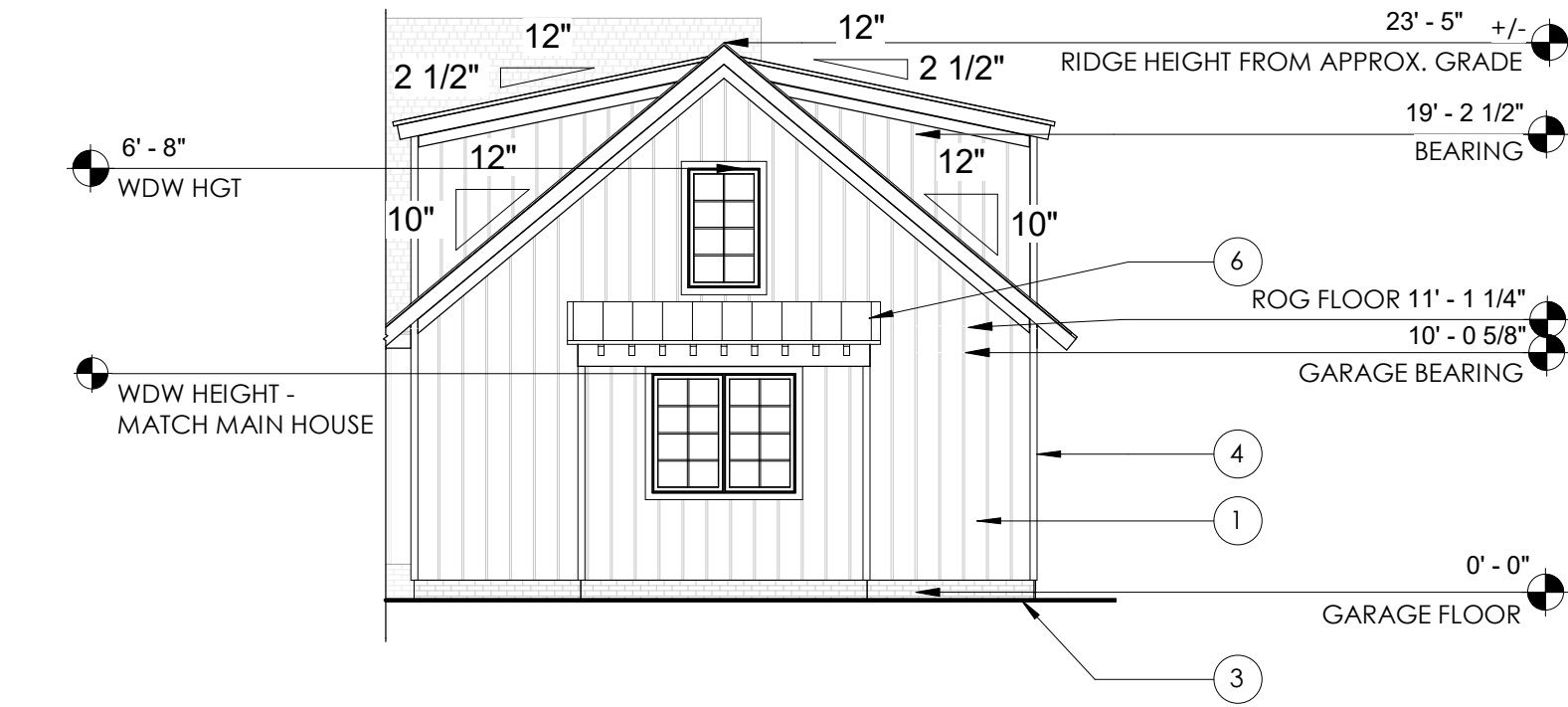


V: 757.491.6654 F: 757.499.0926



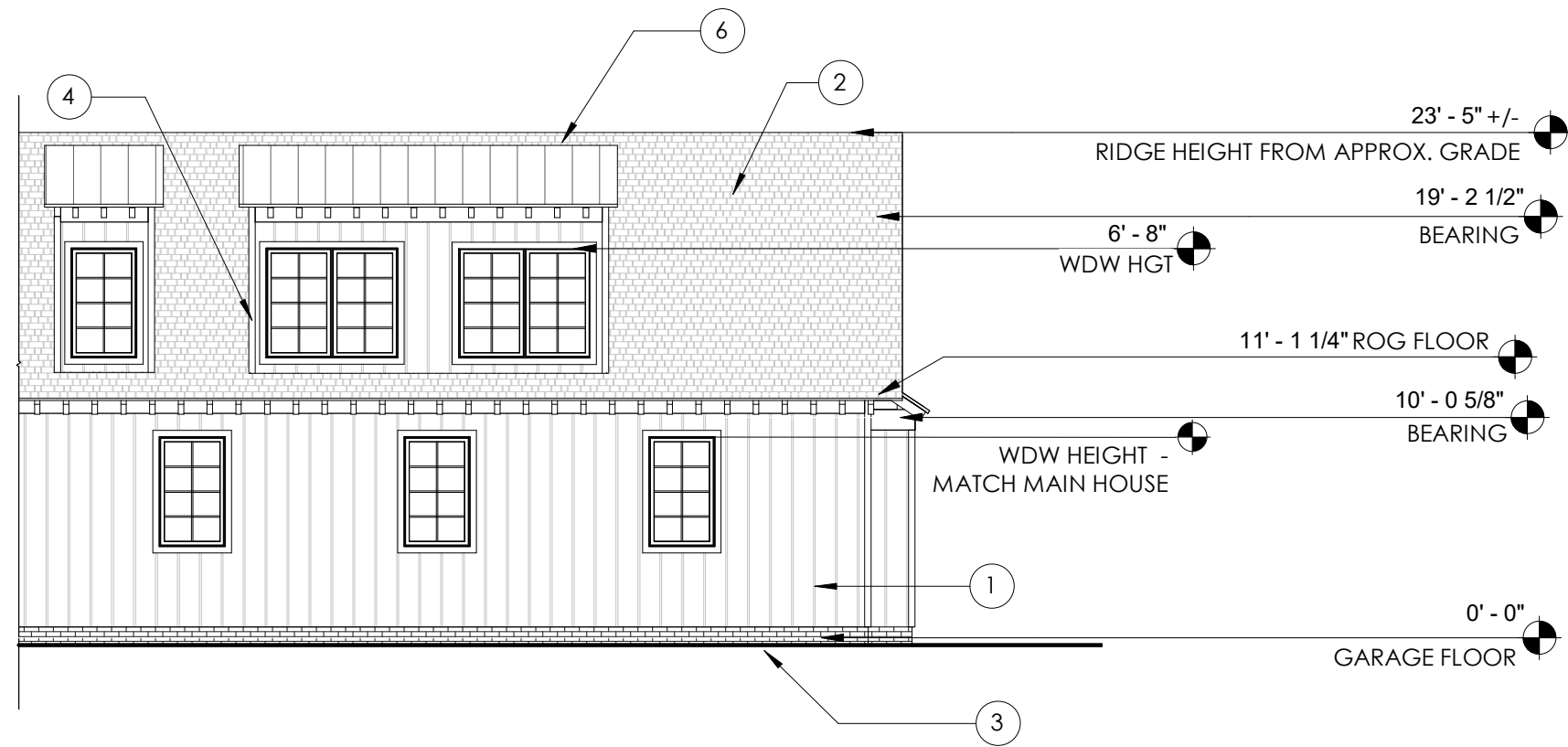
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ISSUE DATE	8/26/21
REVISION NO.	DATE

EXTERIOR ELEVATIONS



GARAGE FRONT ELEVATION

1/8" = 1'-0"



GARAGE LEFT SIDE ELEVATION

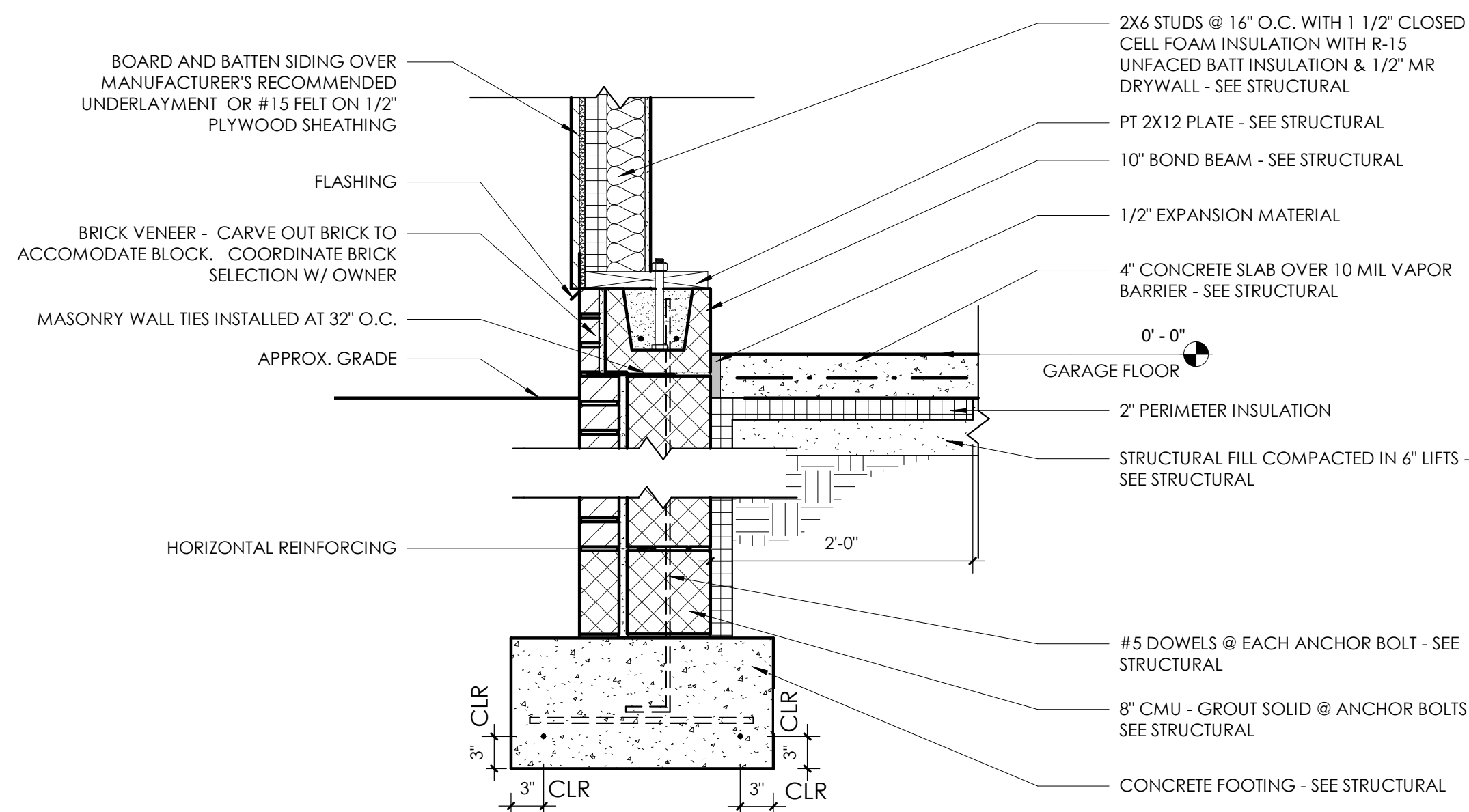
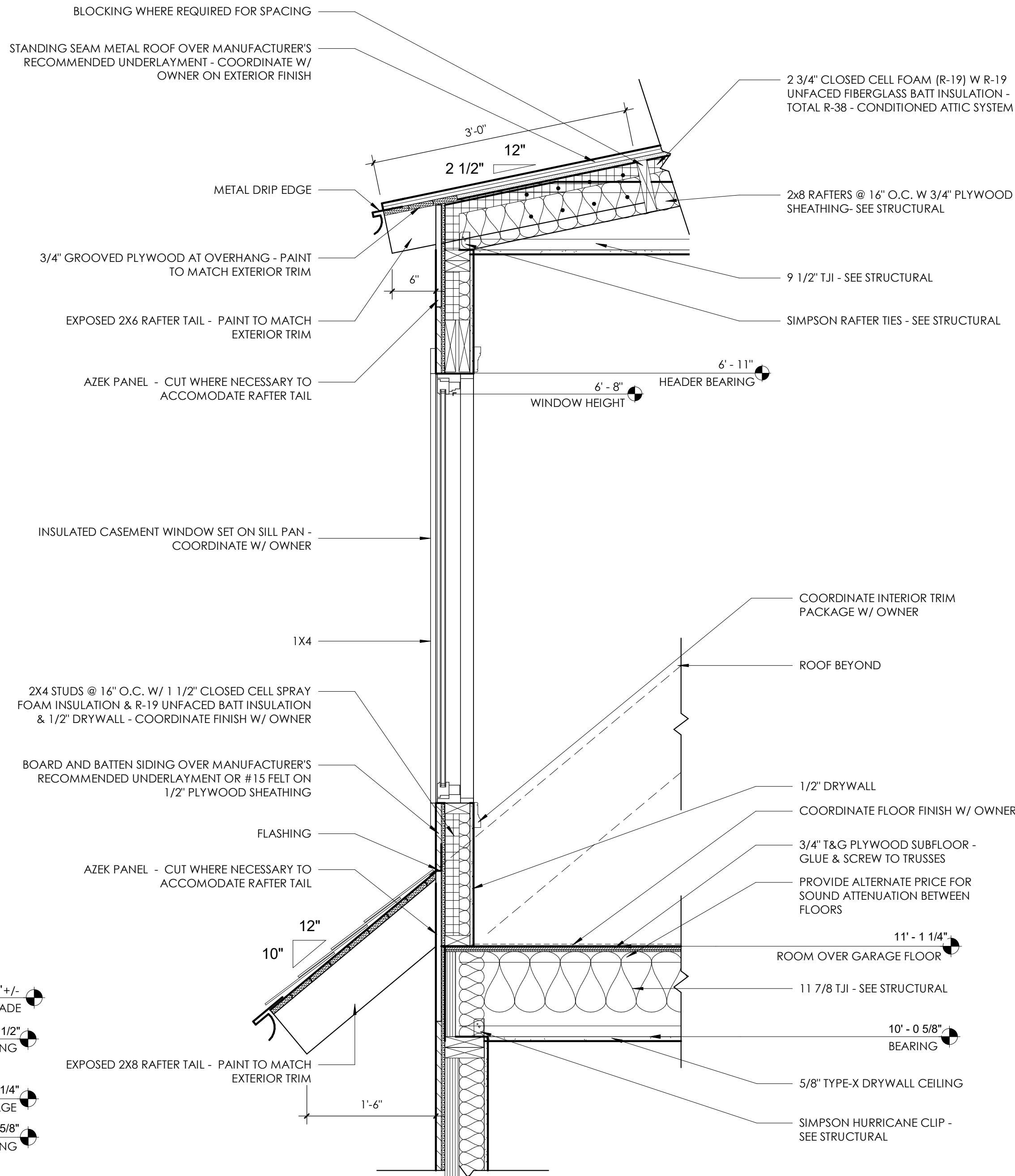
1/8" = 1'-0"



GARAGE RIGHT SIDE ELEVATION

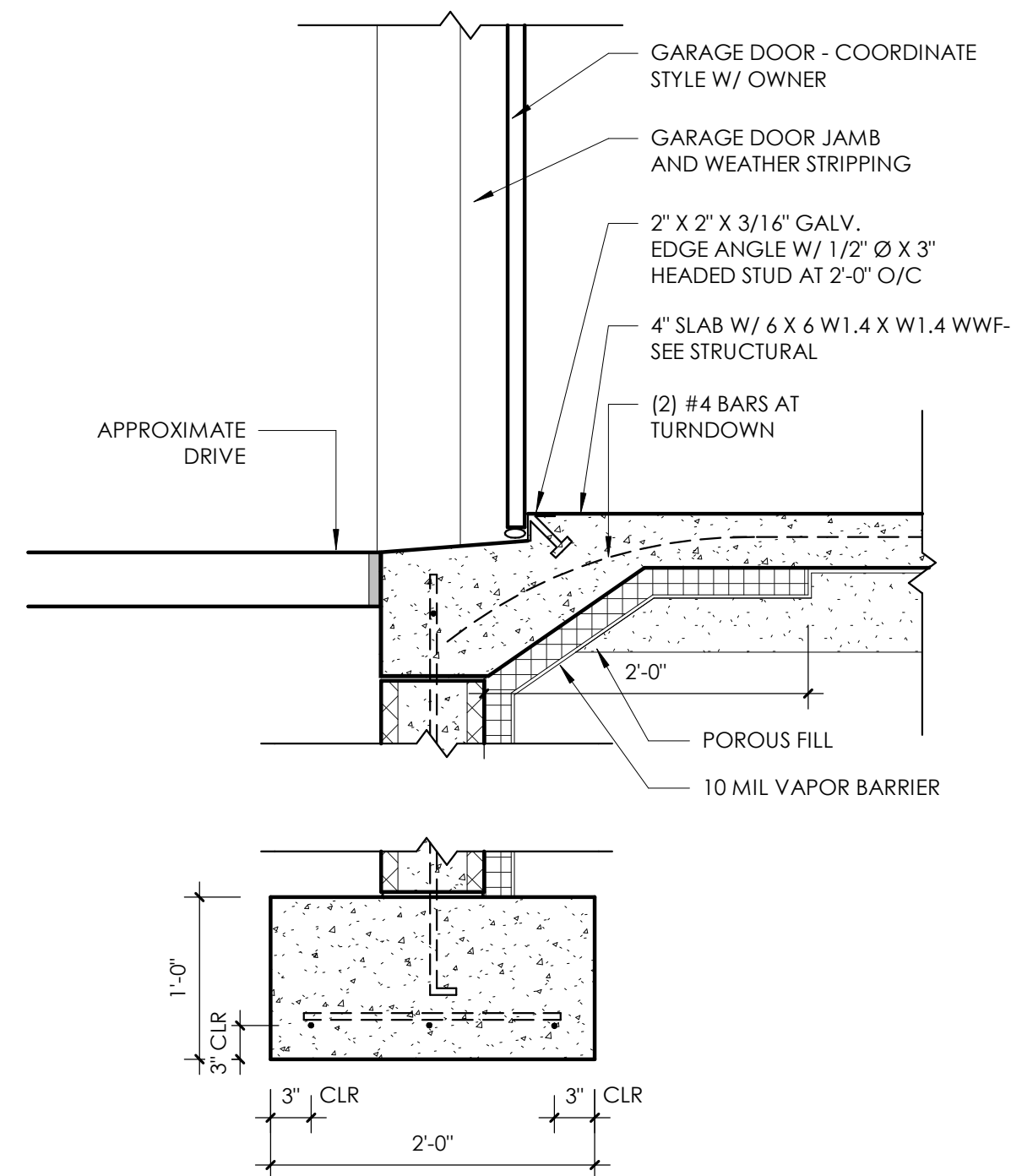
1/8" = 1'-0"

EXTERIOR MATERIAL KEYNOTE LEGEND	
TAG #	MATERIAL DESCRIPTION
1	HARDIE BOARD AND BATTEN SIDING OVER MANUFACTURER'S RECOMMENDED UNDERLAYMENT - COORDINATE W/ OWNER ON EXTERIOR FINISH
2	DIMENSIONAL FIBERGLASS BACKED ASPHALT SHINGLES OVER #15 FELT OR MANUFACTURER'S RECOMMENDED UNDERLAYMENT - COORDINATE W/ OWNER FOR STYLE & COLOR
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8	SCREENED PORCH - COORDINATE W/ OWNER ON EXTERIOR FINISH
9	10" SQUARE COLUMN
10	10" ROUND TAPERED COLUMN



GARAGE WALL SECTION

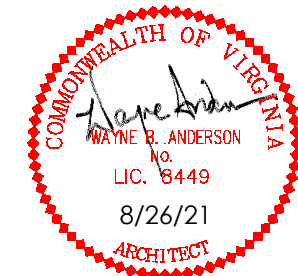
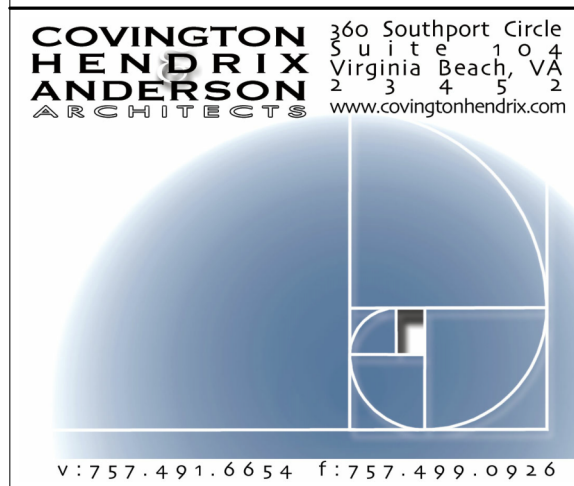
1" = 1'-0"



SLAB AT GARAGE

1" = 1'-0"

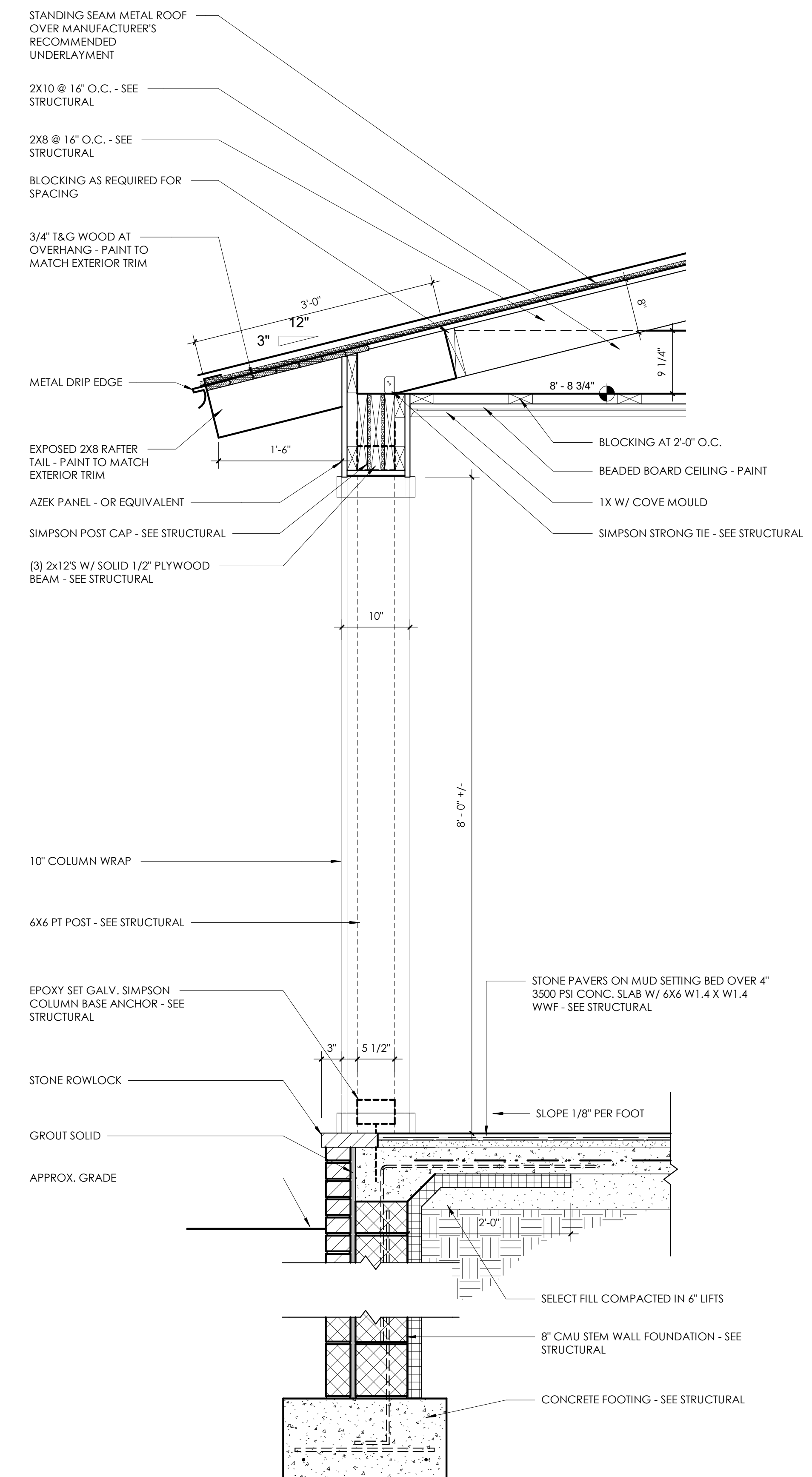
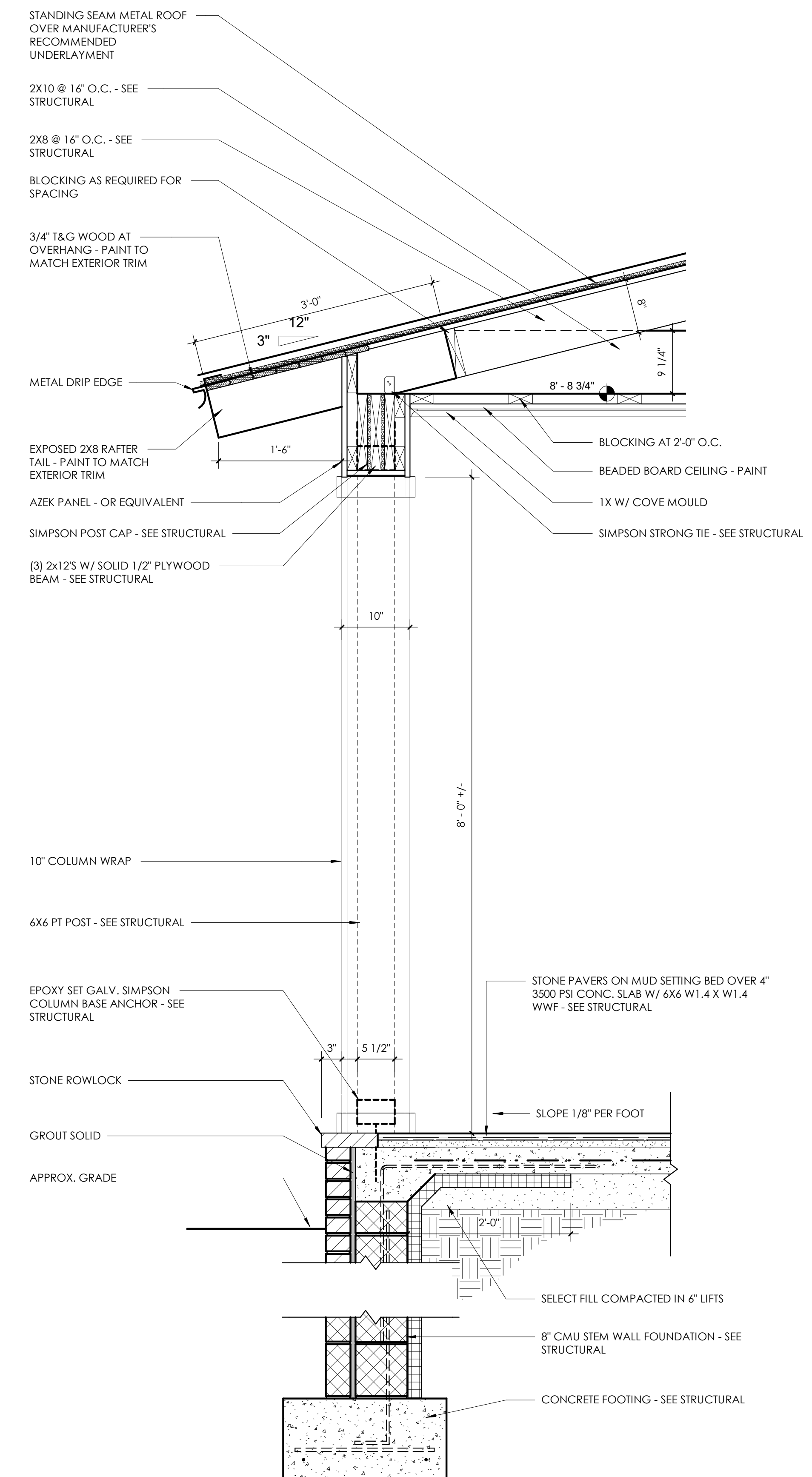
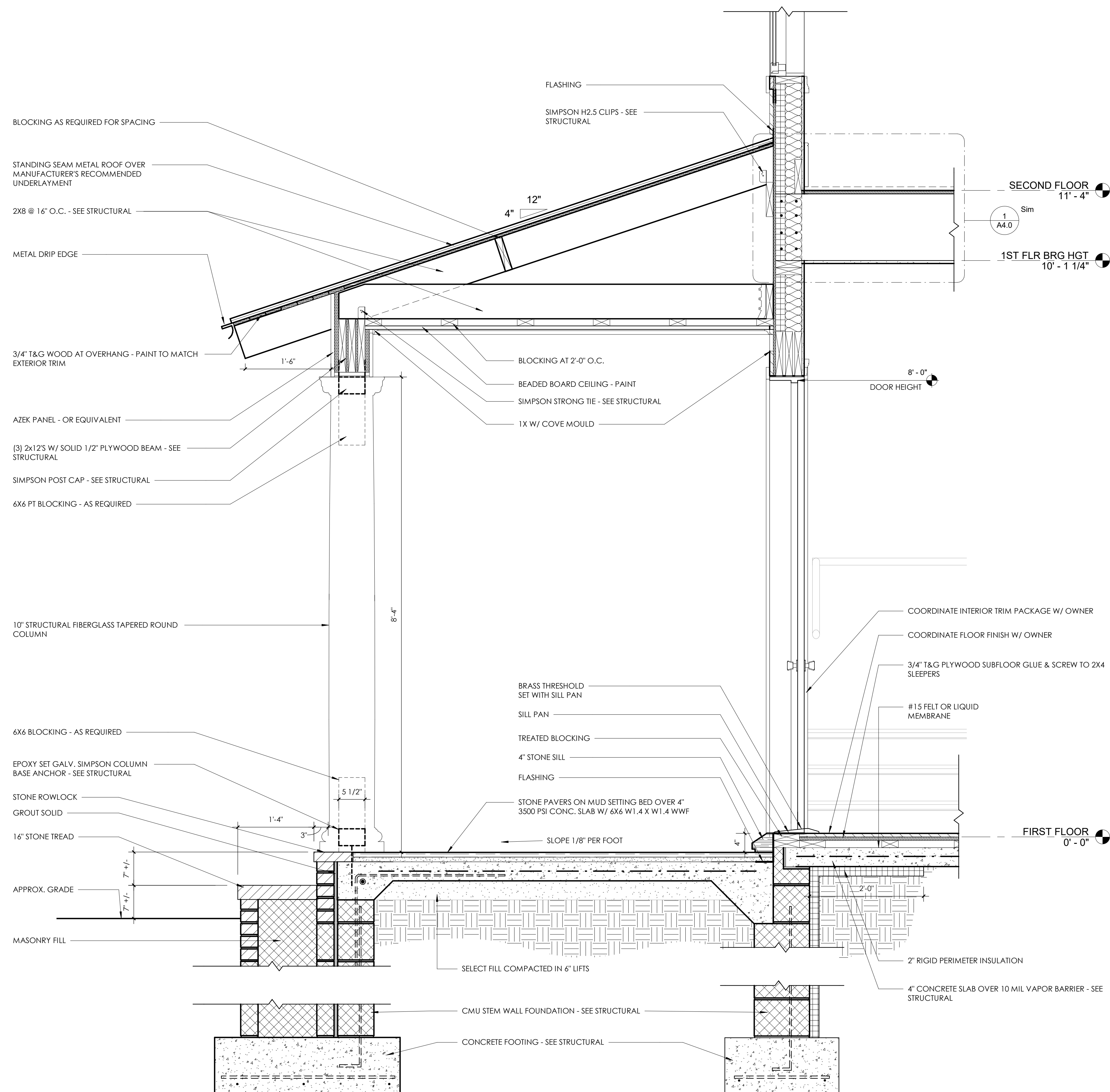
NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451



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ISSUE DATE	8/26/21
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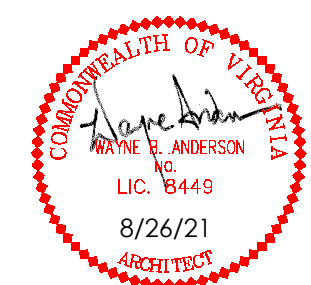
GARAGE EXTERIOR
ELEVATIONS & DETAILS

A2.2



NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

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HENDRIX
ANDERSON
ARCHITECTS**

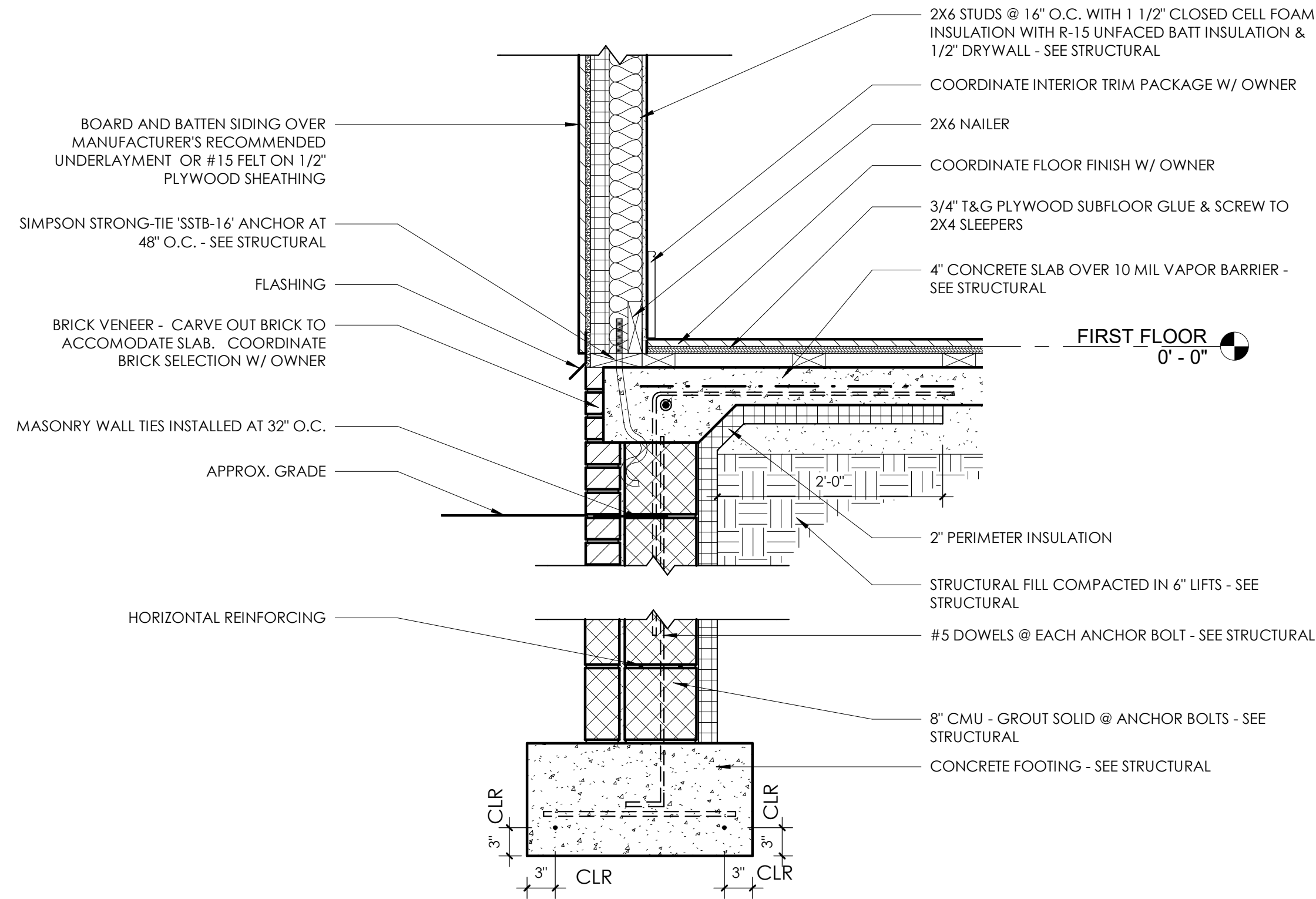
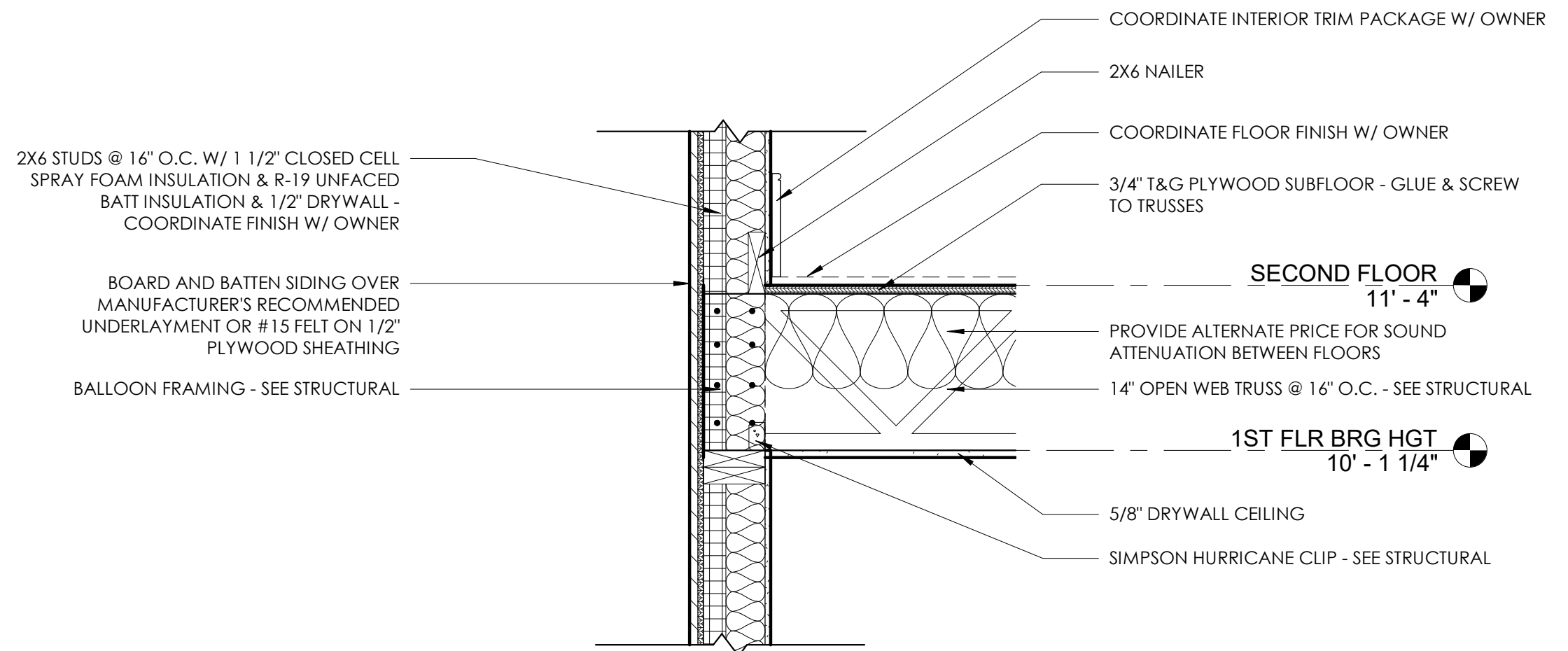
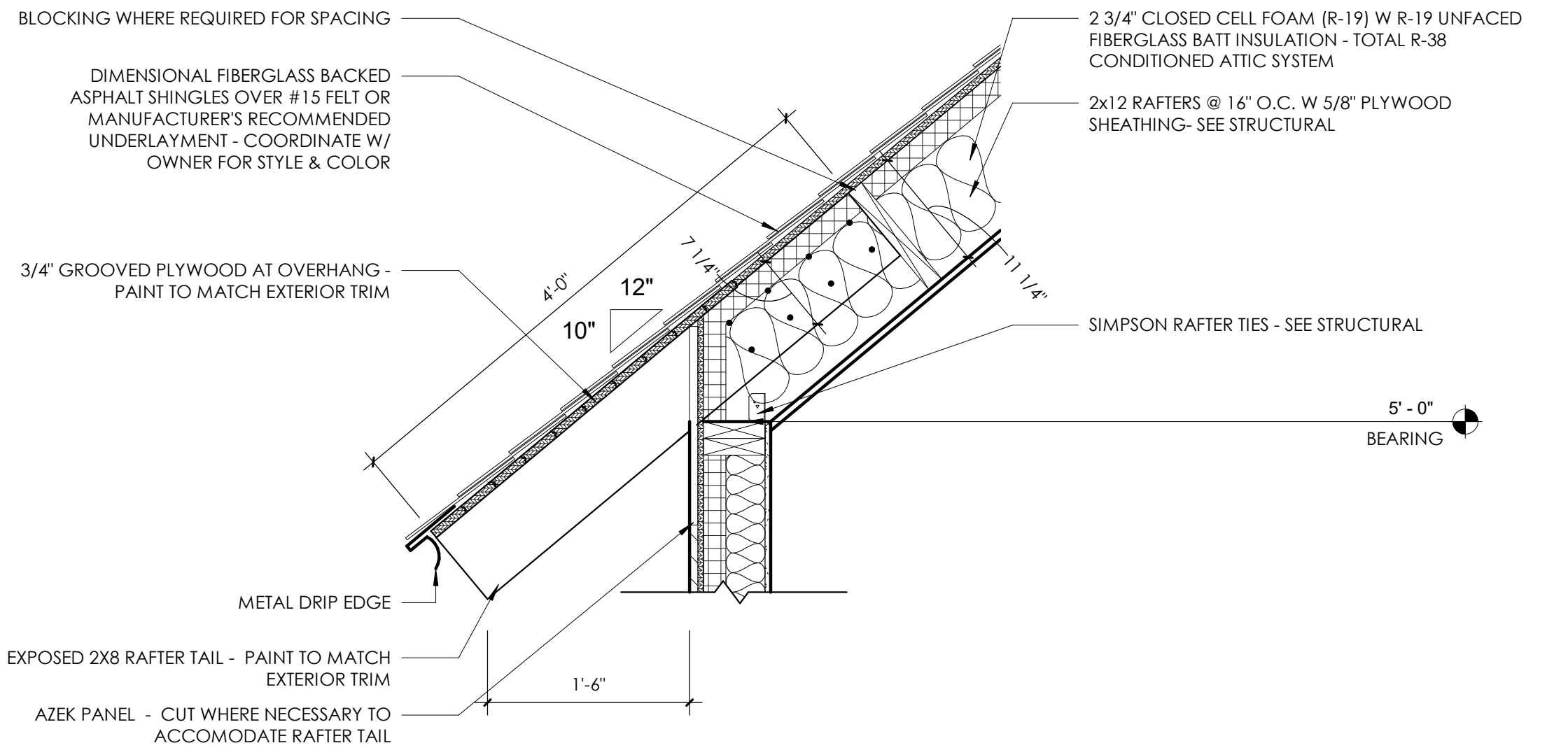


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ISSUE DATE	8/26/21
<u>REVISION NO.</u>	<u>DATE</u>

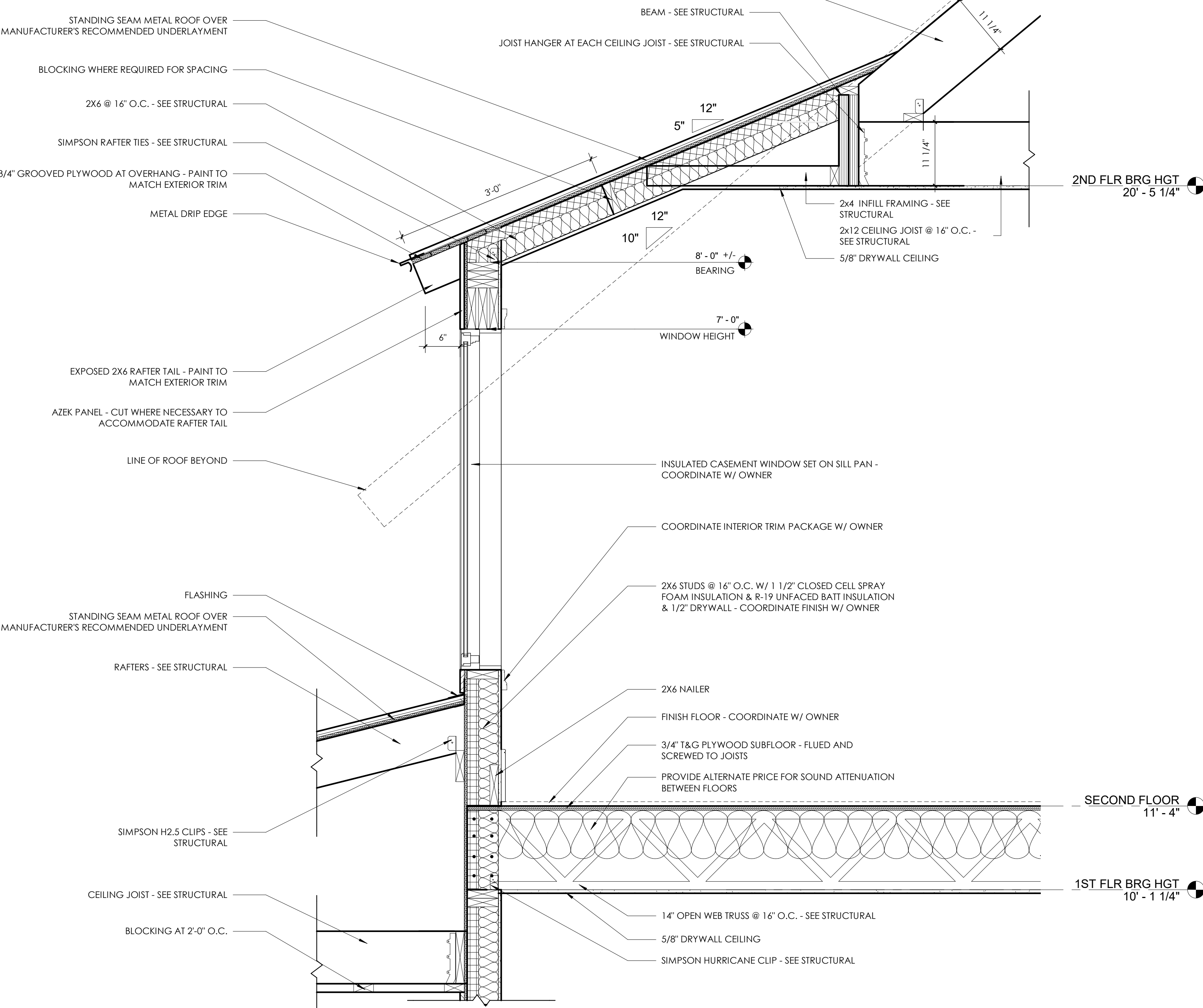
PORCH SECTIONS

A3.0

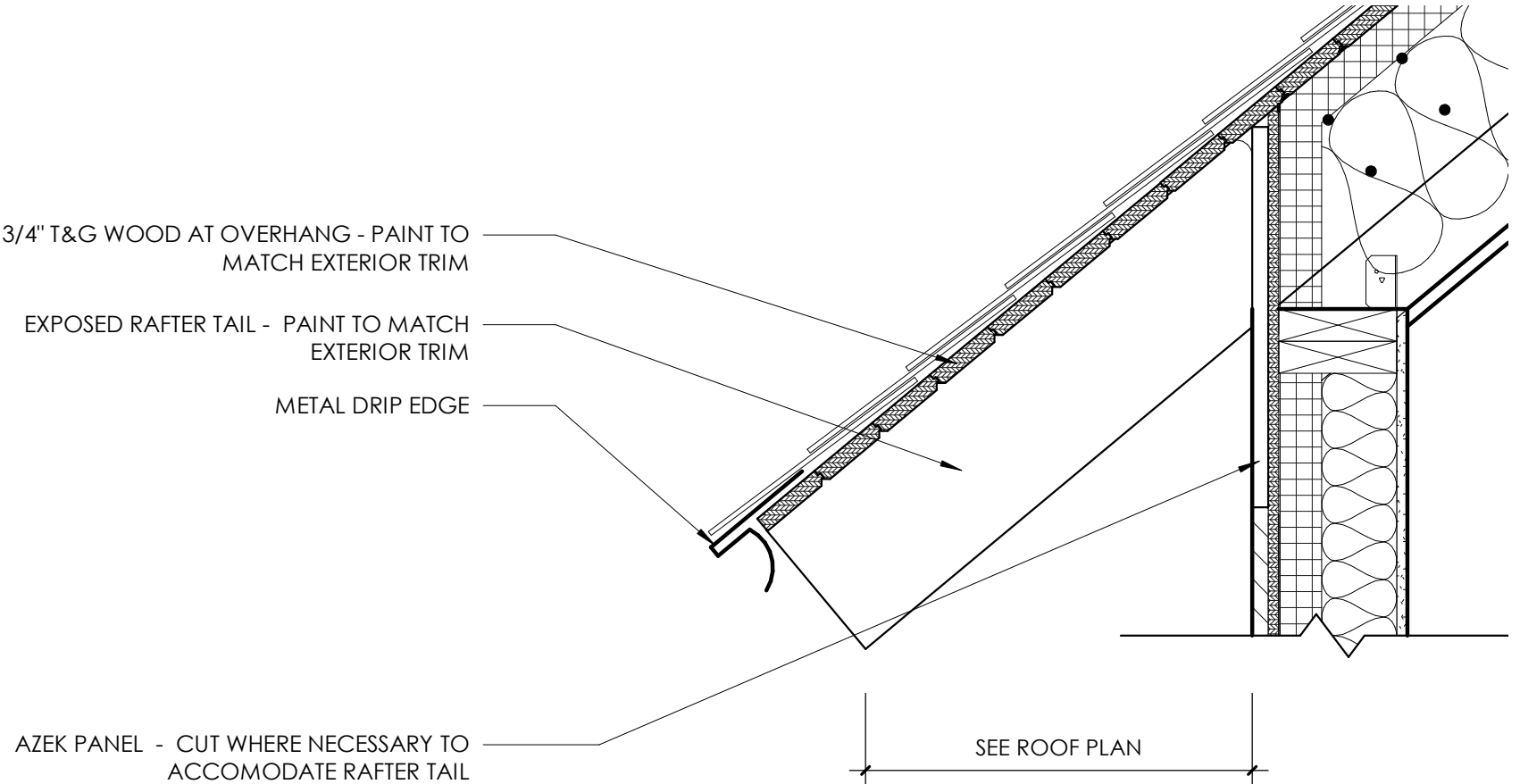
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WALL DETAIL AT TWO STORY
1" = 1'-0"



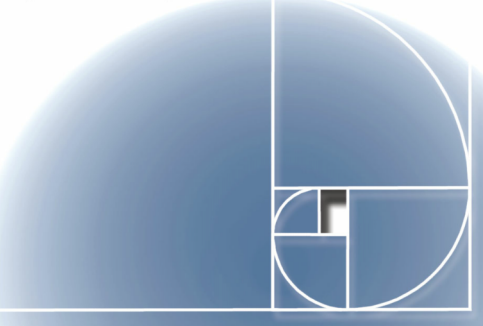
SECTION AT DORMER
1" = 1'-0"



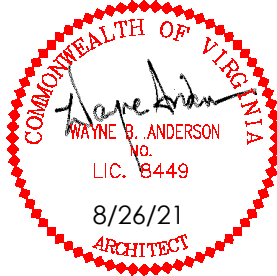
TYPICAL CORNICE DETAIL
1 1/2" = 1'-0"

NEW RESIDENCE FOR
RODNEY DUCKWORTH
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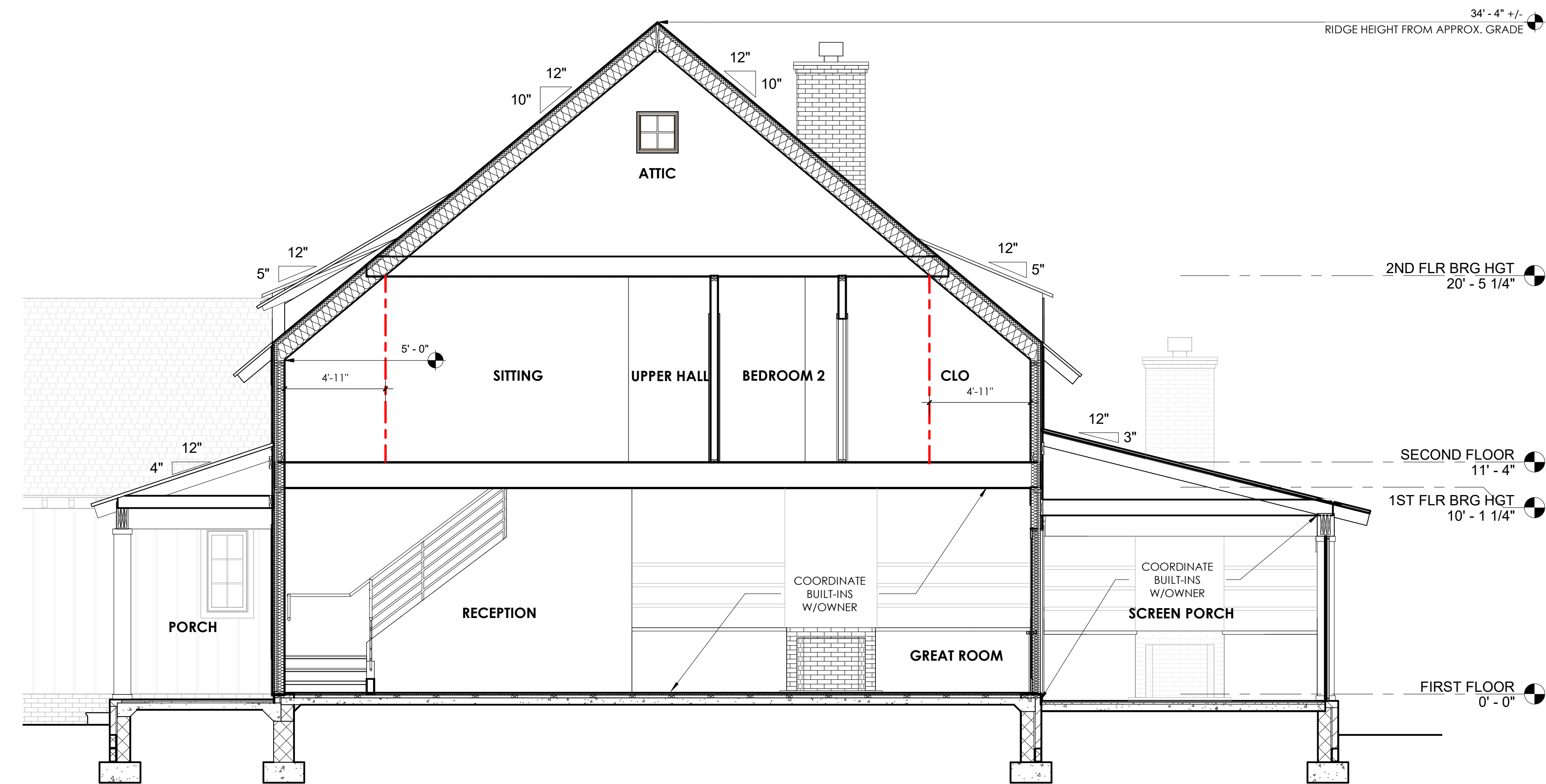


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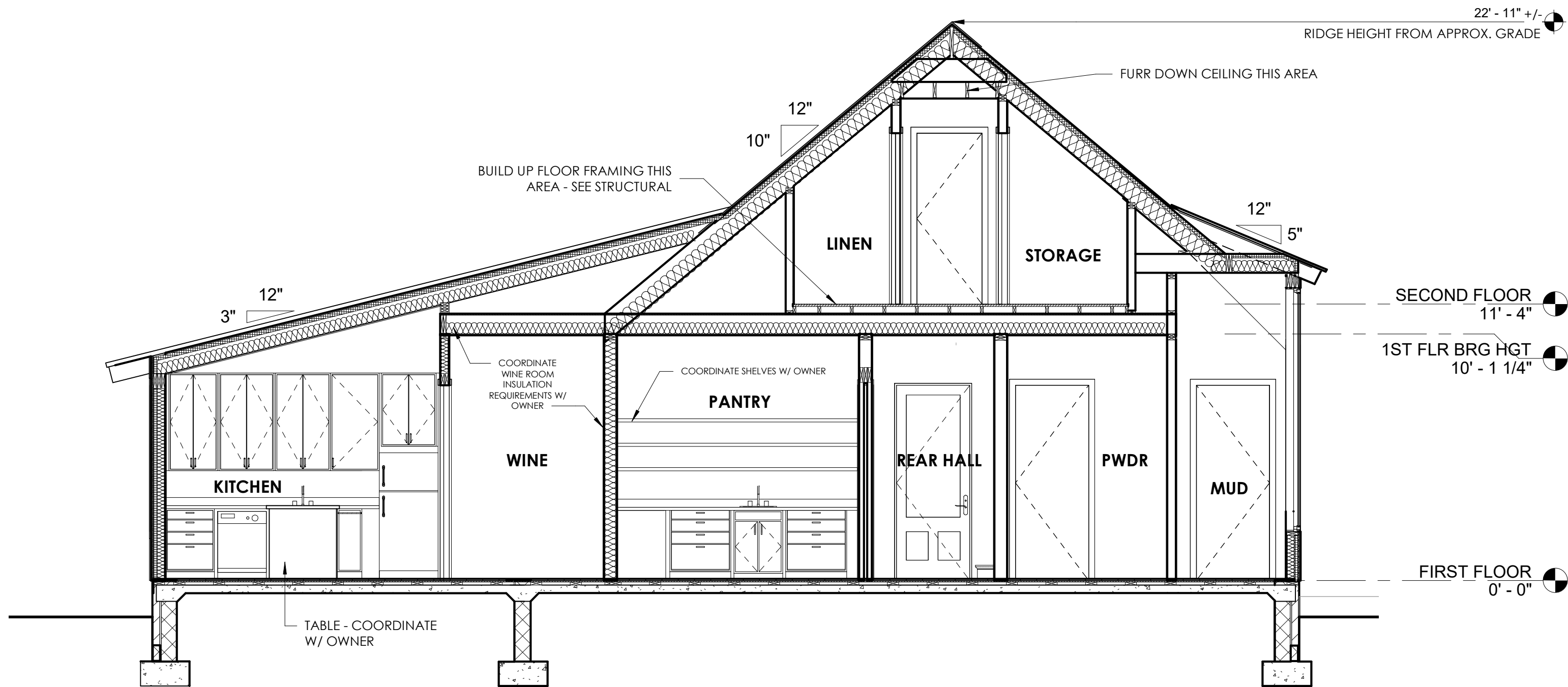
TYPICAL WALL SECTIONS

A4.0

FOR GENERAL REFERENCE ONLY



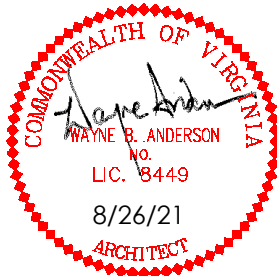
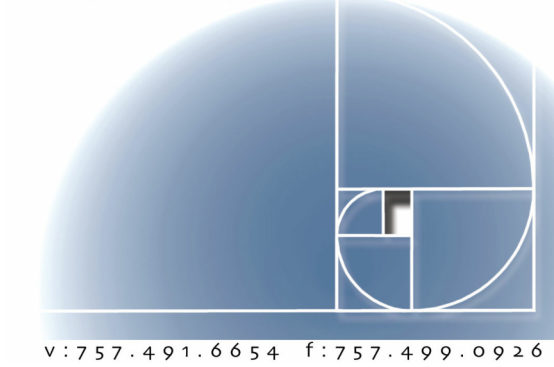
BUILDING SECTION 1
1/4" = 1'-0"



BUILDING SECTION 2
1/4" = 1'-0"

NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451

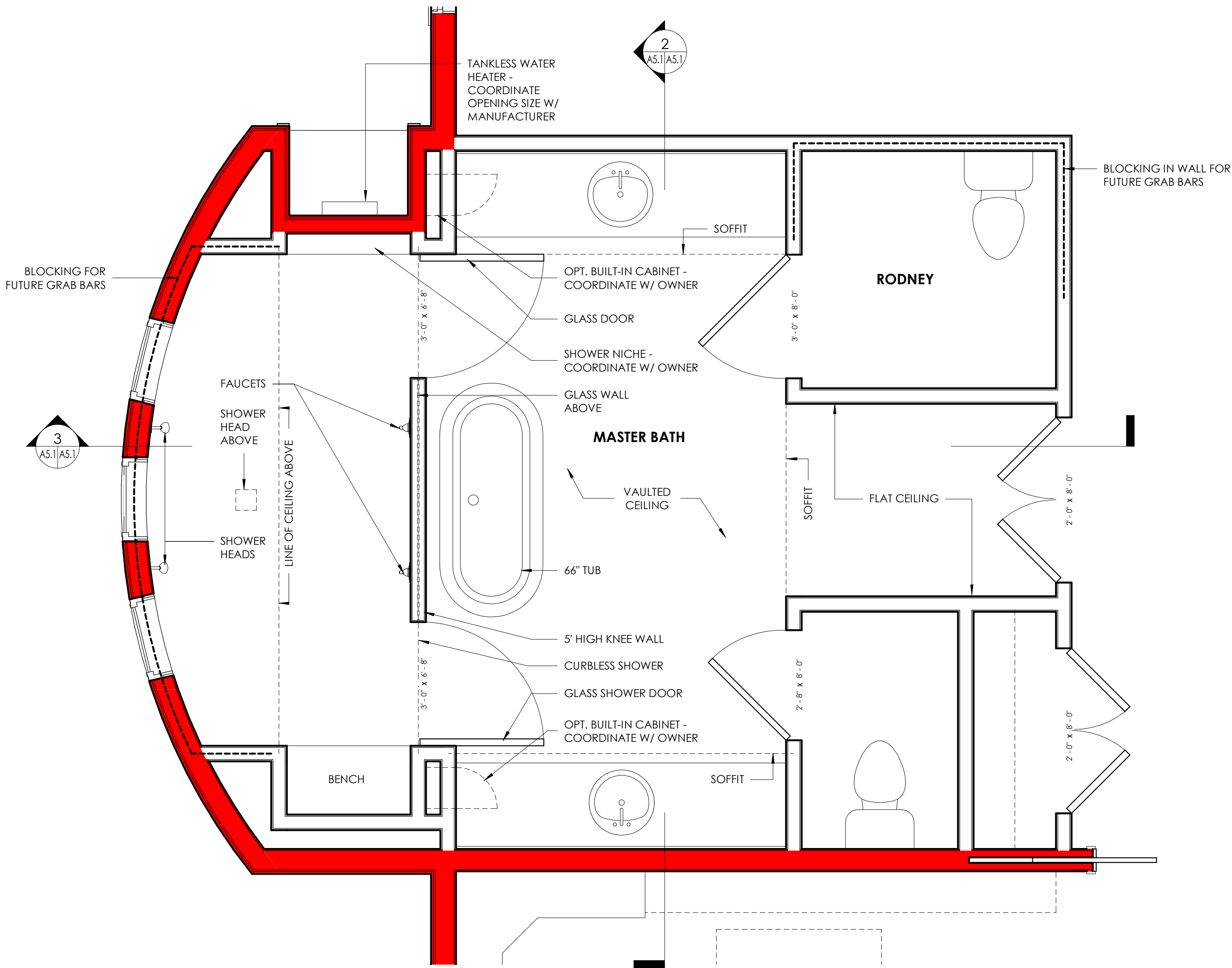
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ANDERSON
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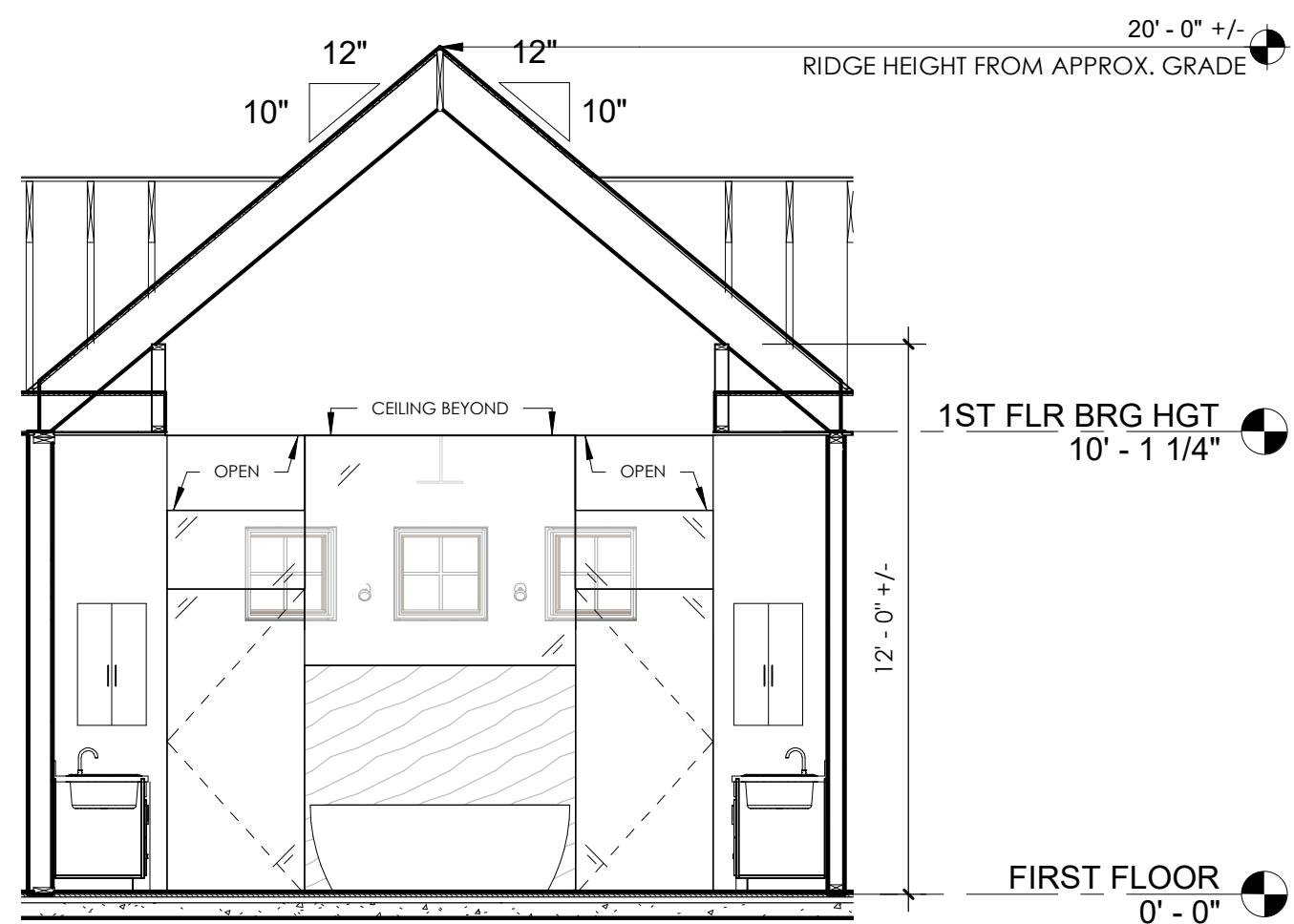
BUILDING SECTIONS & DETAILS

A5.0

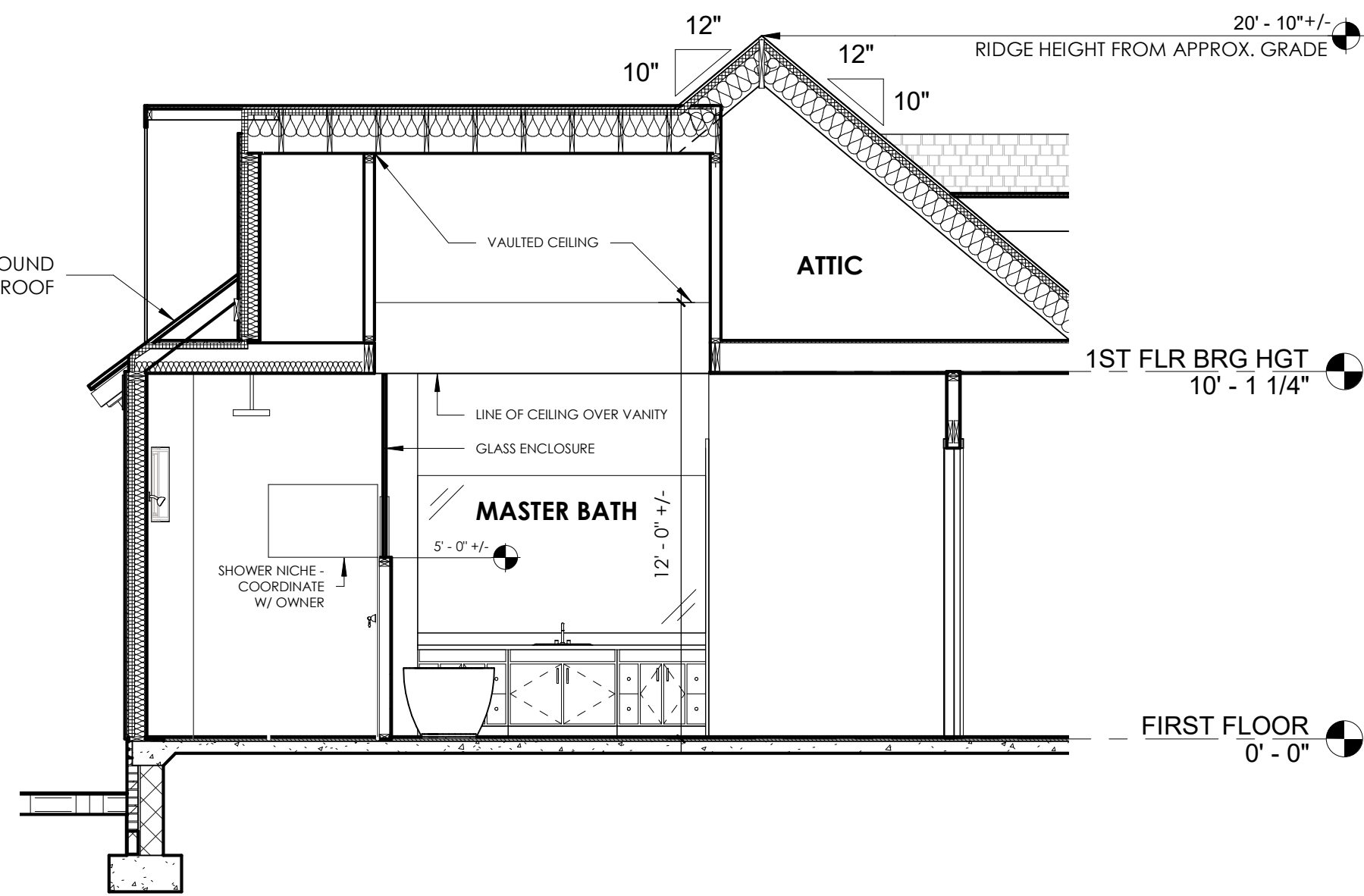


MASTER BATHROOM
1/2" = 1'-0"

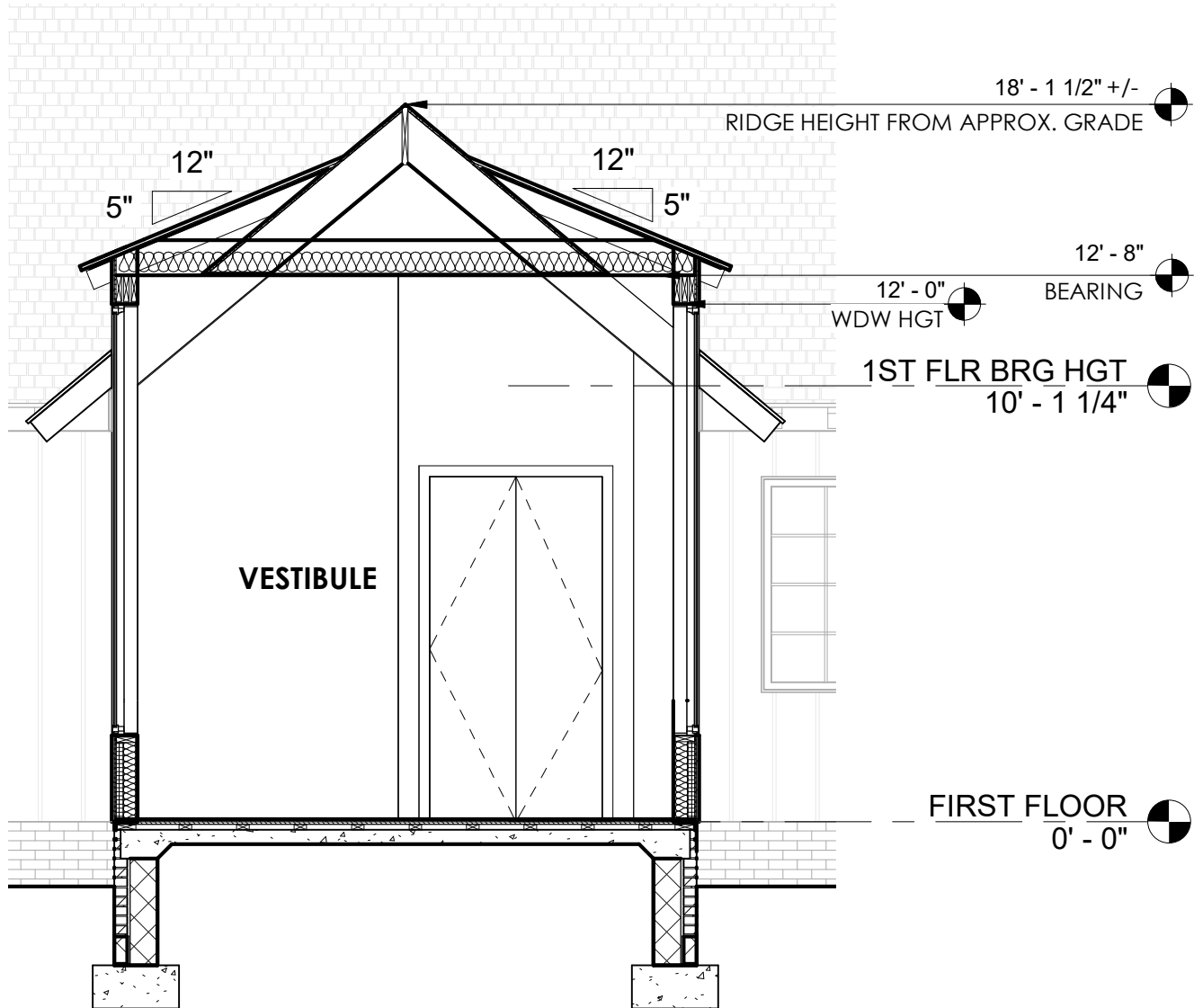
NOTE: COORDINATE BATHROOM ACCESSORIES W/ OWNER. PROVIDE BLOCKING FOR TOWEL BARS, TOILET PAPER HOLDER, ETC.



SECTION AT MASTER BATHROOM
1/4" = 1'-0"



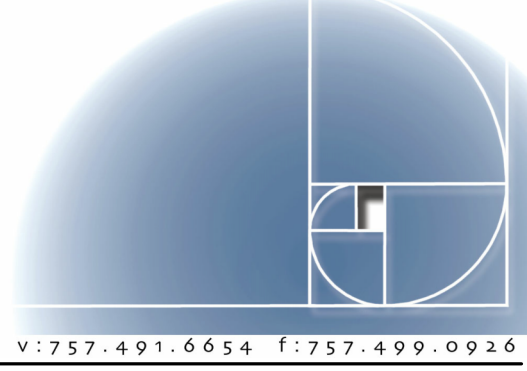
SECTION AT MASTER BATHROOM 2
1/4" = 1'-0"



SECTION THROUGH VESTIBULE
1/4" = 1'-0"

NEW RESIDENCE FOR
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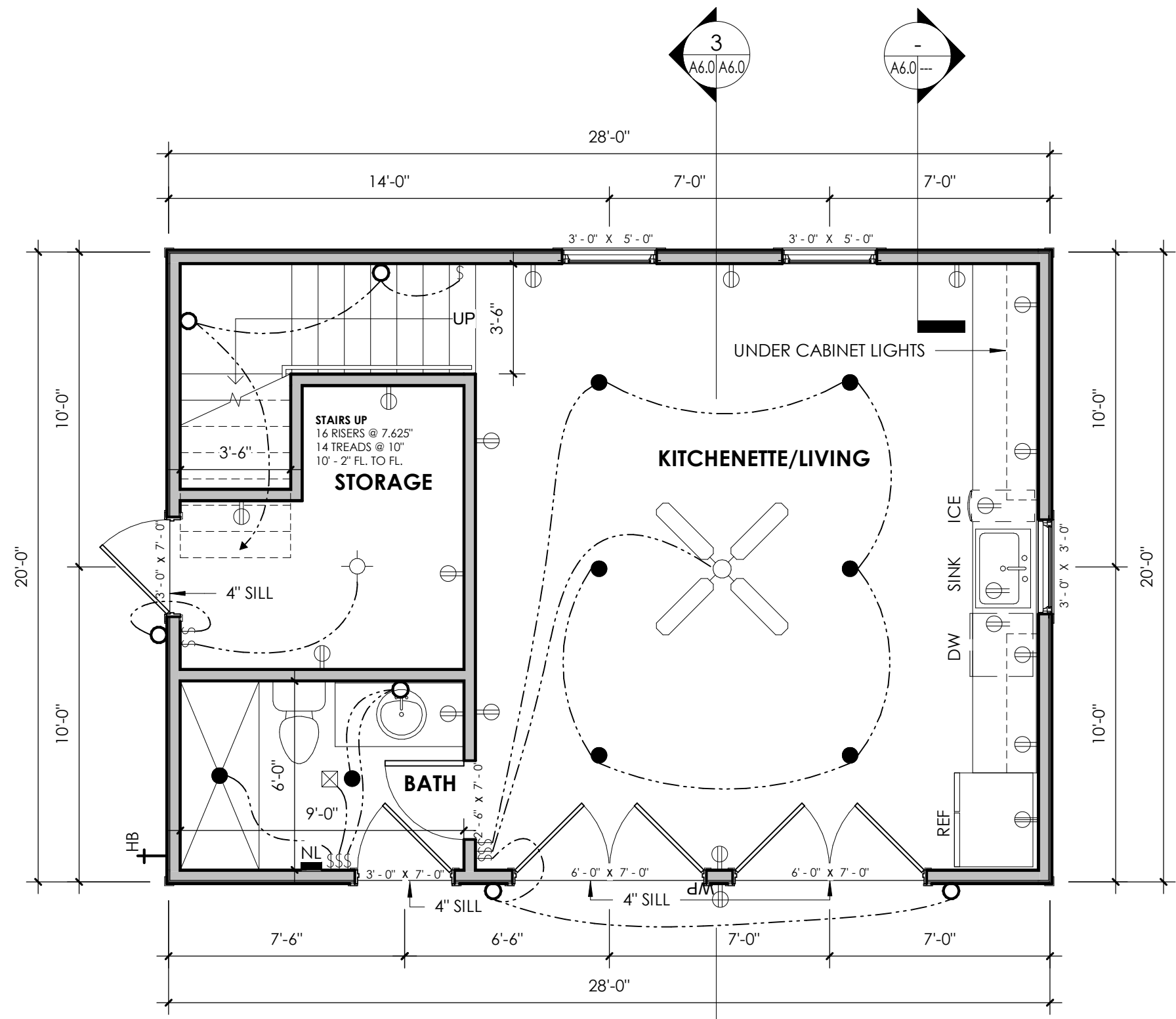


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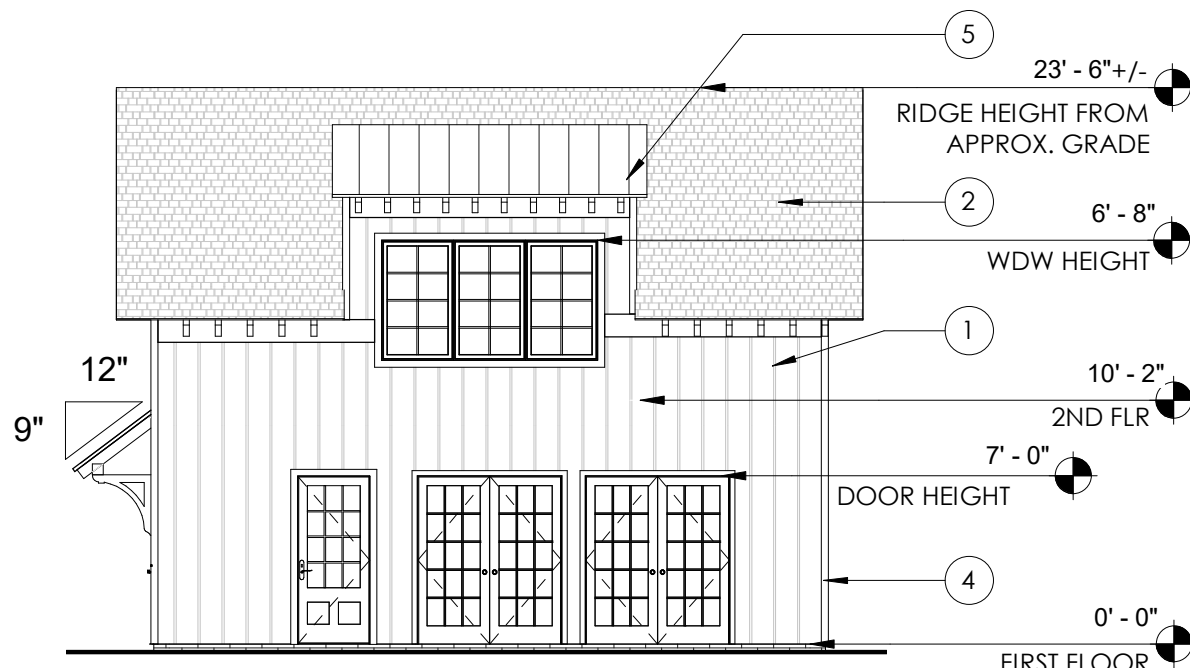
BUILDING SECTIONS AND DETAILS

A5.1

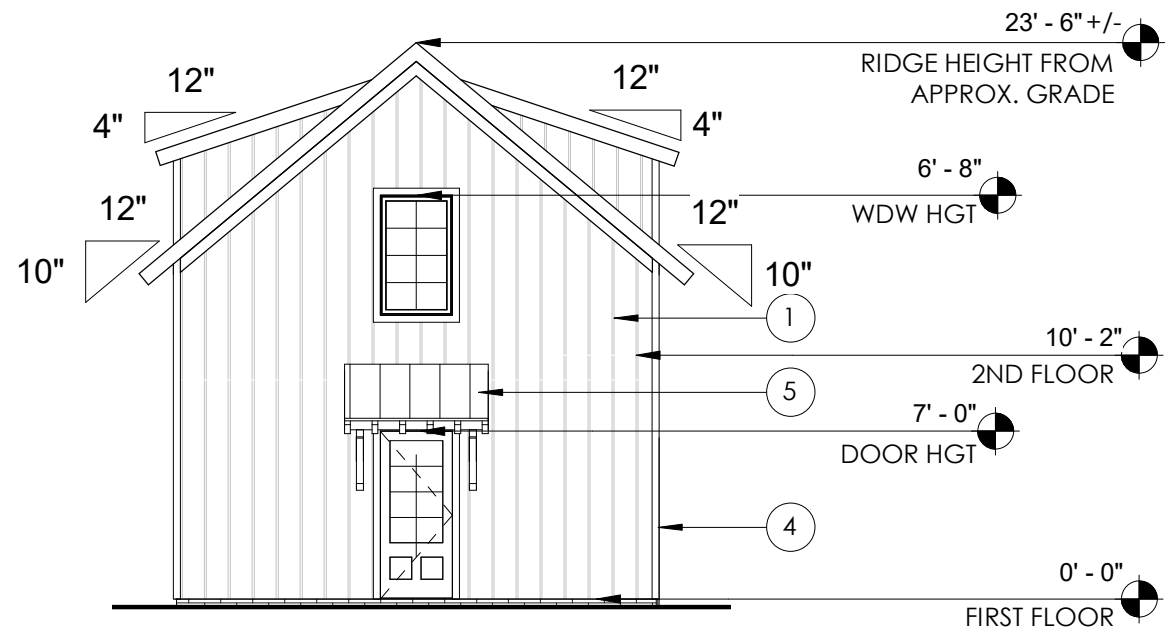
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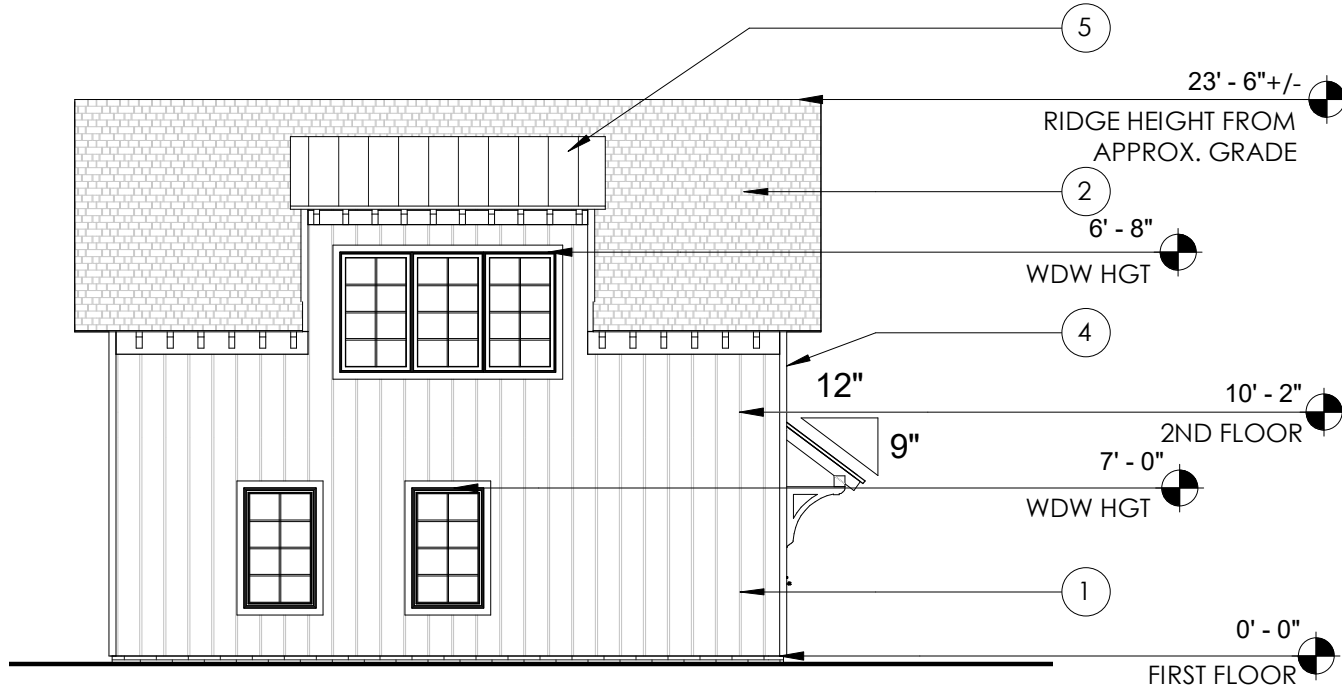
POOL HOUSE - FIRST FLOOR PLAN
1/4" = 1'-0"



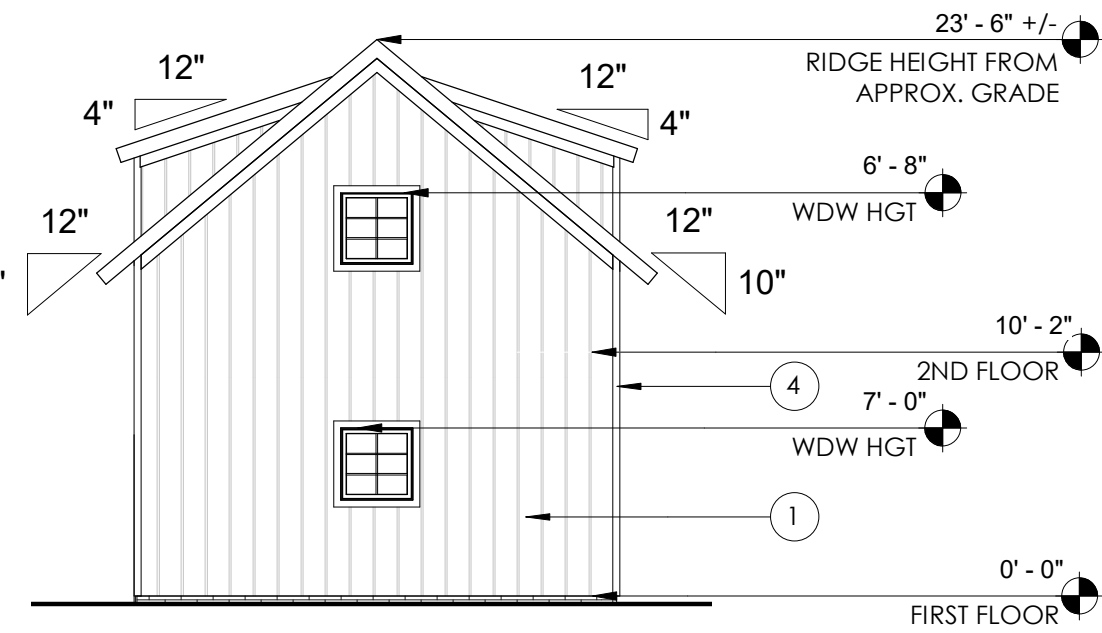
POOL HOUSE - FRONT ELEVATION
1/8" = 1'-0"



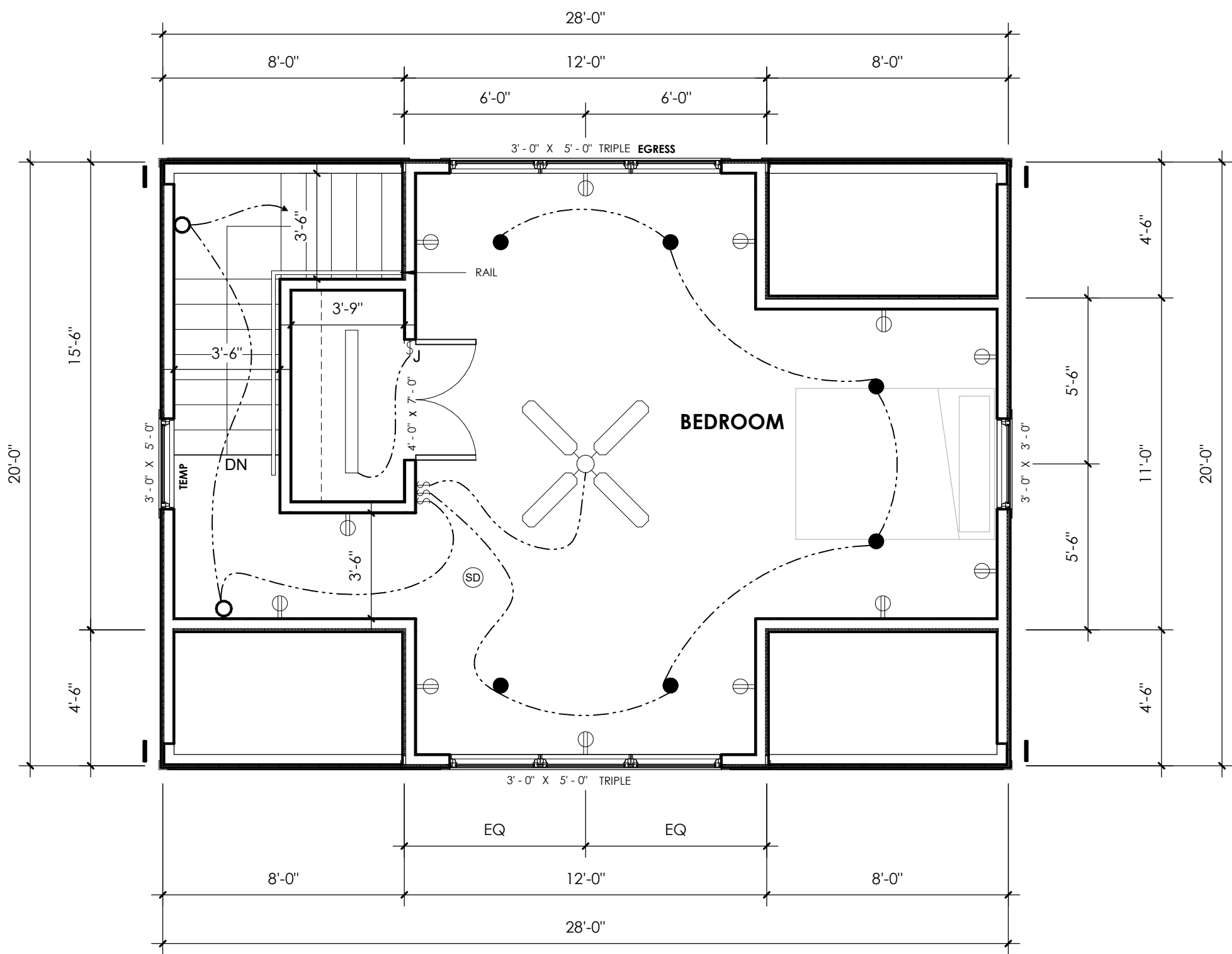
POOL HOUSE - LEFT SIDE ELEVATION
1/8" = 1'-0"



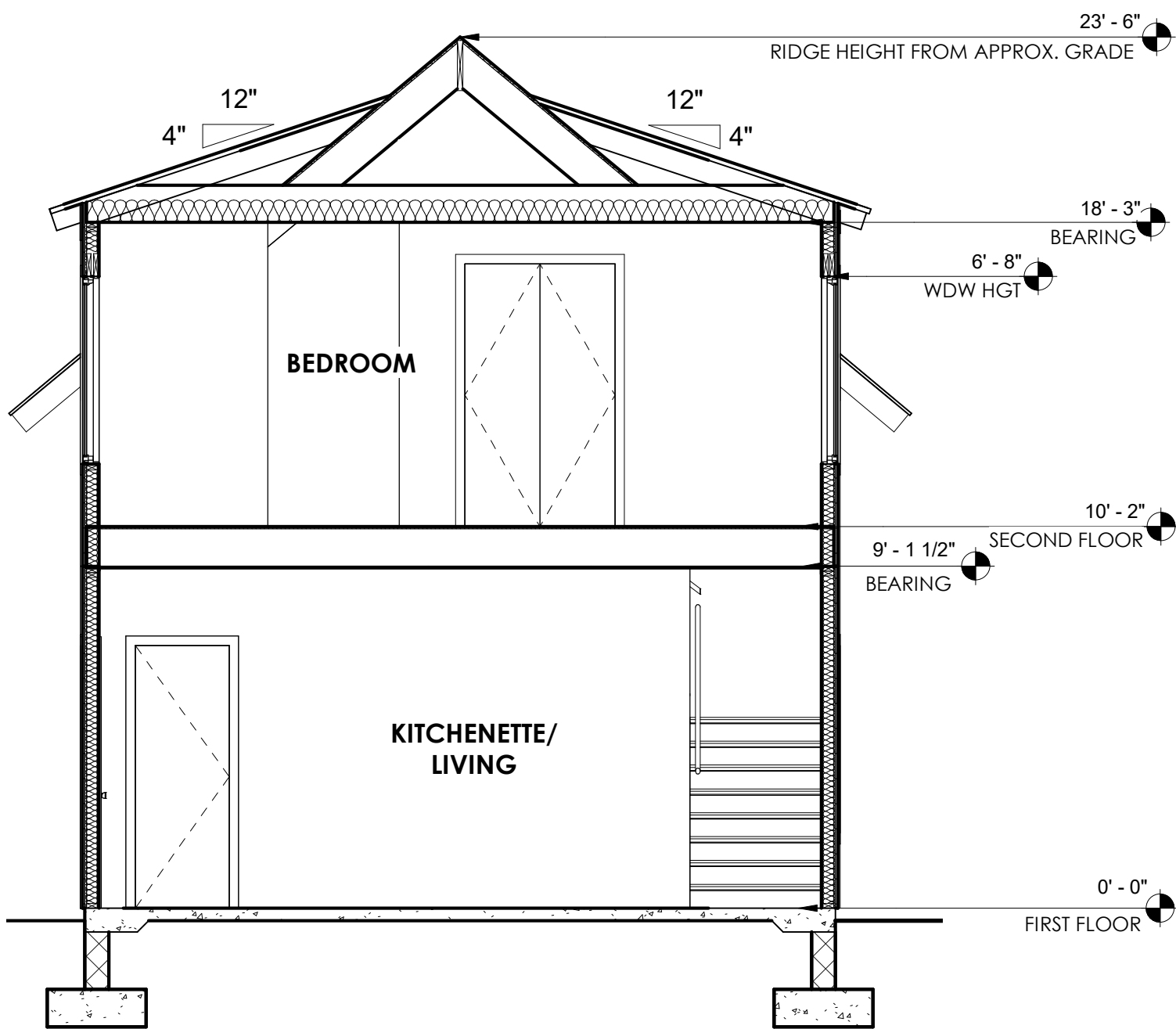
POOL HOUSE - BACK ELEVATION
1/8" = 1'-0"



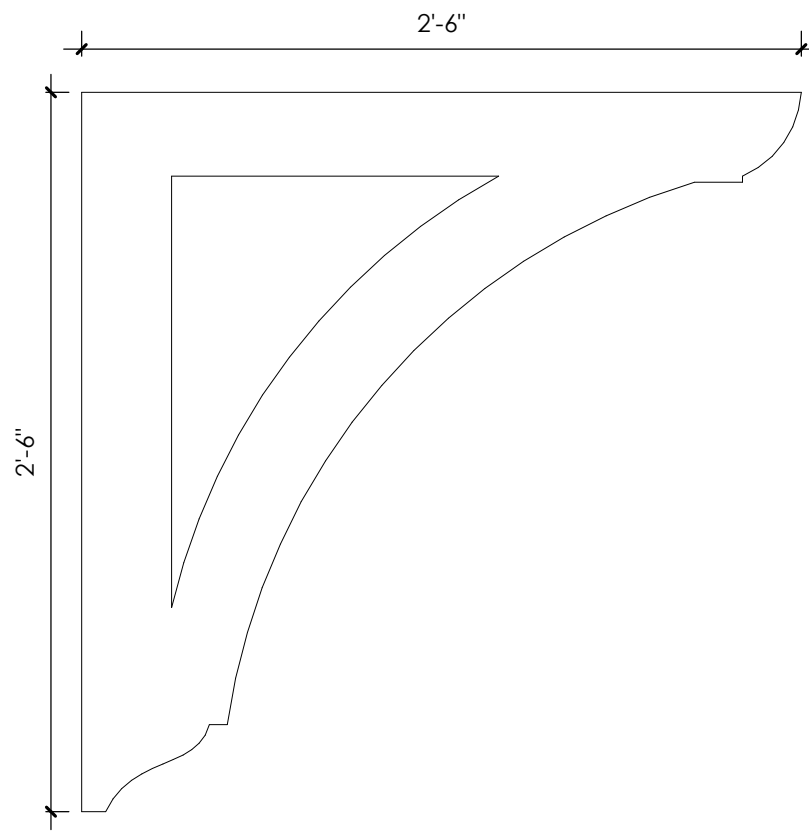
POOL HOUSE - RIGHT SIDE ELEVATION
1/8" = 1'-0"



POOL HOUSE - SECOND FLOOR PLAN
1/4" = 1'-0"



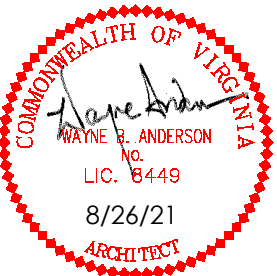
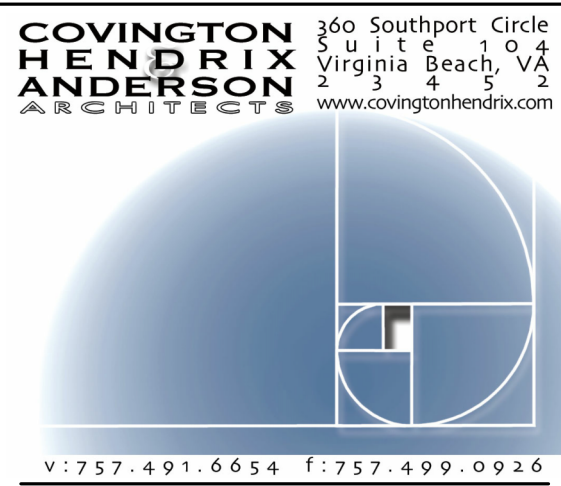
SECTION AT POOL HOUSE
1/4" = 1'-0"



BRACKET PROFILE
1 1/2" = 1'-0"

EXTERIOR MATERIAL KEYNOTE LEGEND	
TAG #	MATERIAL DESCRIPTION
1	HARDIE BOARD AND BATTEN SIDING OVER MANUFACTURER'S RECOMMENDED UNDERLAYMENT - COORDINATE W/ OWNER ON EXTERIOR FINISH
2	DIMENSIONAL FIBERGLASS BACKED ASPHALT SHINGLES OVER #15 FELT OR MANUFACTURER'S RECOMMENDED UNDERLAYMENT - COORDINATE W/ OWNER FOR STYLE & COLOR
3	BRICK VENEER - COORDINATE W/ OWNER ON EXTERIOR FINISH
4	AZEK TRIM OR EQUIVALENT
5	STANDING SEAM METAL ROOF OVER MANUFACTURER'S RECOMMENDED UNDERLAYMENT - COORDINATE W/ OWNER ON EXTERIOR FINISH
6	7" STEPS - COORDINATE W/ CIVIL
7	BRICK VENEER FIREPLACE - COORDINATE W/ OWNER ON EXTERIOR FINISH
8	SCREENED PORCH - COORDINATE W/ OWNER ON EXTERIOR FINISH
9	10" SQUARE COLUMN
10	10" ROUND TAPERED COLUMN

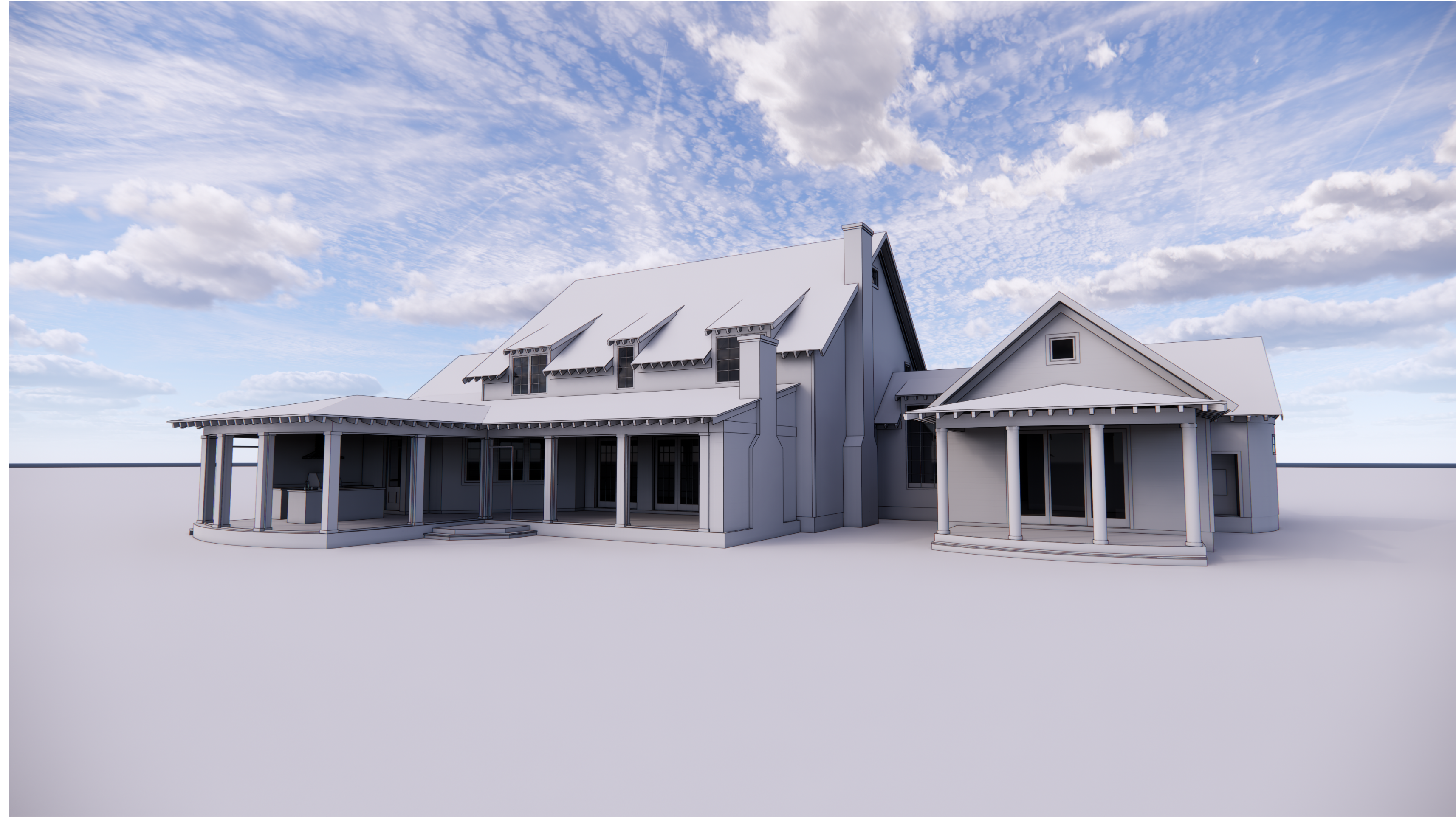
NEW RESIDENCE FOR
RODNEY DUCKWORTH
142 PINEWOOD ROAD, VIRGINIA BEACH, VA 23451



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POOL HOUSE

A6.0

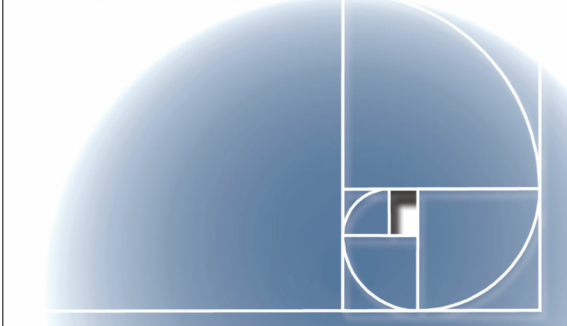


FOR GENERAL REFERENCE ONLY

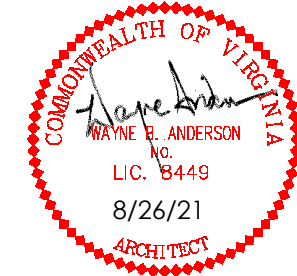
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3D VIEWS

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