

GENERAL NOTES

1. THIS PLAT WAS PRODUCED WITHOUT THE BENEFIT OF A TITLE REPORT AND REFLECTS ONLY THOSE ENCUMBRANCES, EASEMENTS AND SETBACKS AS SHOWN IN INST. #190001238.
2. ELEVATION SHOWN HEREON ARE IN FEET AND GPS DERIVED (NAVD88).
3. WETLANDS, IF ANY, WERE NOT RESEARCHED OR LOCATED FOR THIS PLAT.
4. THIS FIRM MADE NO ATTEMPT TO LOCATE UNDERGROUND UTILITIES.
5. PARCEL LIES IN F.I.R.M. ZONE "X & AE (EL 8)" ACCORDING TO COMMUNITY PANEL #51199C0141D, DATED JANUARY 16, 2015.
6. LOT SERVED BY PUBLIC WATER AND SEWER.
7. CONTRACTOR TO GRADE SITE TO ENSURE STORMWATER RUNOFF IS DIRECTED AWAY FROM DWELLING FOUNDATION.
8. TOPOGRAPHIC DATA AS SHOWN IS BASED ON A CURRENT FIELD SURVEY.
9. CONTRACTOR SHALL DETERMINE EXACT FINISHED FLOOR ELEVATION AFTER EXCAVATION.
10. ALL DIMENSIONS SHOWN HEREON ARE TO THE FRAME LINE OF THE BUILDING.
11. BENCHMARK ELEVATION OF 6.02'
12. PROPOSED RESIDENCE SHOWN BASED OFF OF PLANS PROVIDED BY CLIENT DATED 7/9/2018 & AND TO BE CONFIRMED BY CONTRACTOR PRIOR TO CONSTRUCTION.

EROSION & SEDIMENT CONTROL NOTES

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "VIRGINIA EROSIONS AND SEDIMENT CONTROL HANDBOOK 1992 THIRD EDITION". THE CONTRACTOR SHALL BE THOROUGHLY FAMILIAR WITH ALL APPLICABLE MEASURES CONTAINED THEREIN WHICH MAY BE PERTINENT TO THIS PROJECT.

BUILDING INFORMATION

PROPOSED BUILDING IS A 2-STORY FRAME
PROPOSED GARAGE IS 1 BAY/ SIDE LOADING

SITE INFORMATION

TOTAL AREA: 45,489 S.F. / 1.04 AC.
IMPERVIOUS AREA: 10,585 S.F. / 0.24 AC.
DISTURBED AREA: 15,647 S.F. / 0.36 AC.
PARCEL ID: T06b-4931-3059
ZONING DISTRICT: RR: RURAL RESIDENTIAL
PROPERTY IS LOCATED IN AN RPA
EXISTING SITE IS WOODED AS SHOWN

BUILDING SETBACK (YORK COUNTY RR ZONING)

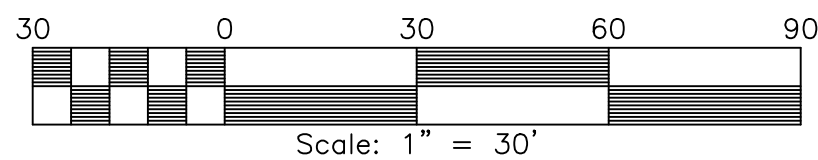
FRONT: 35' PER APPROVAL
REAR: 50'
SIDE: 20'

EXISTING ADDRESS:

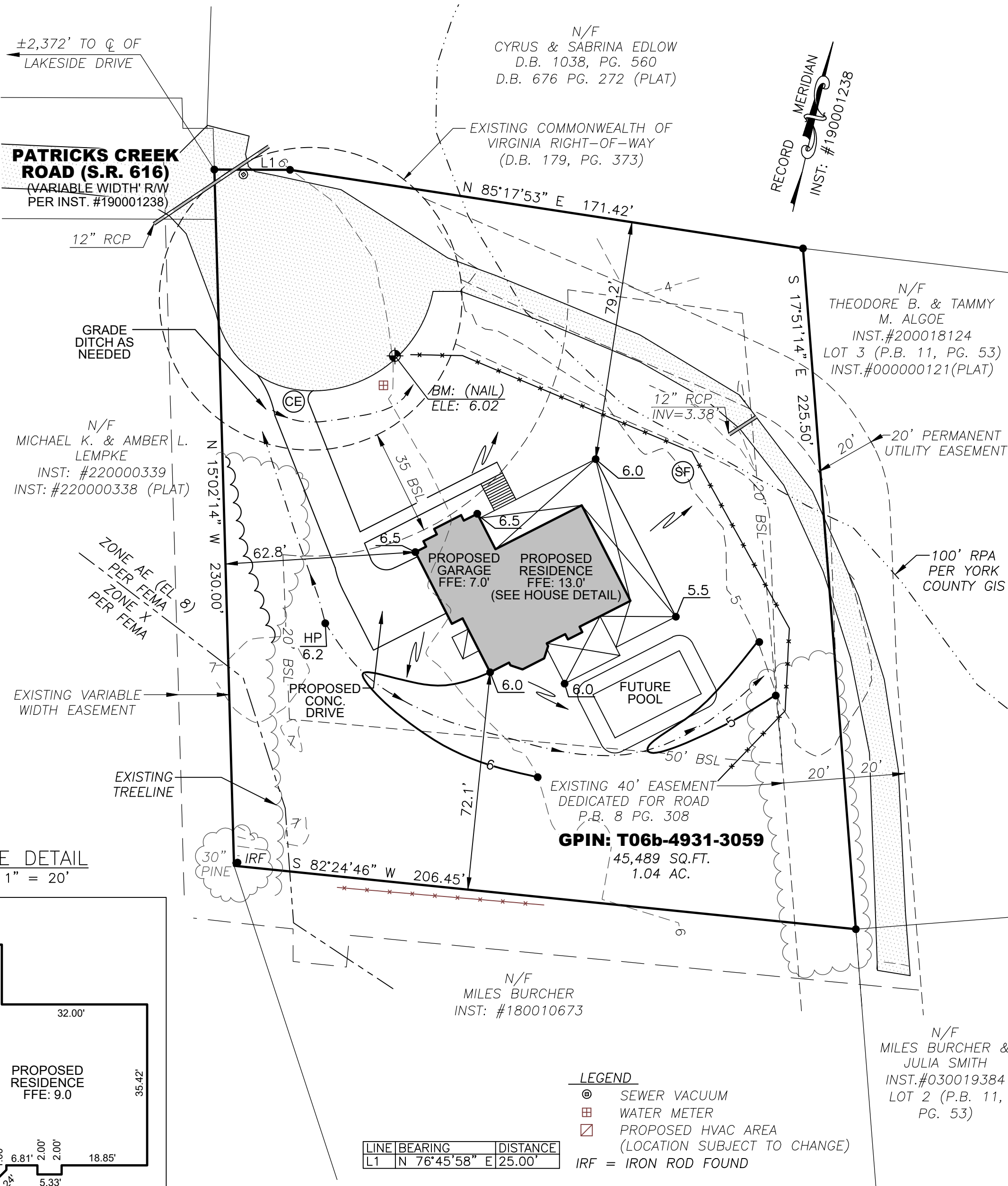
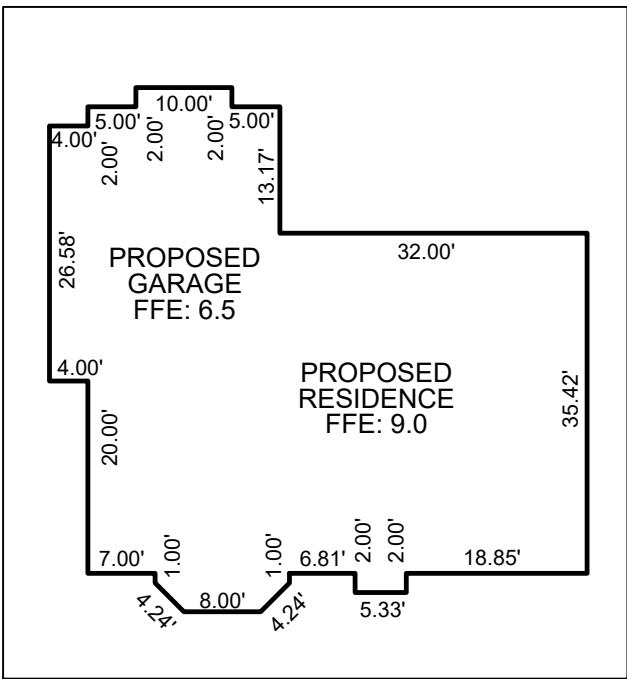
604 PATRICKS CREEK ROAD
YORK COUNTY, VIRGINIA

OWNER INFORMATION:

JOHN MICHEAL & MIKAELA MARIA BURLING
INST.#220005974
P.B. 8, PG. 308
INST.#190001238 (EASEMENT PLAT)

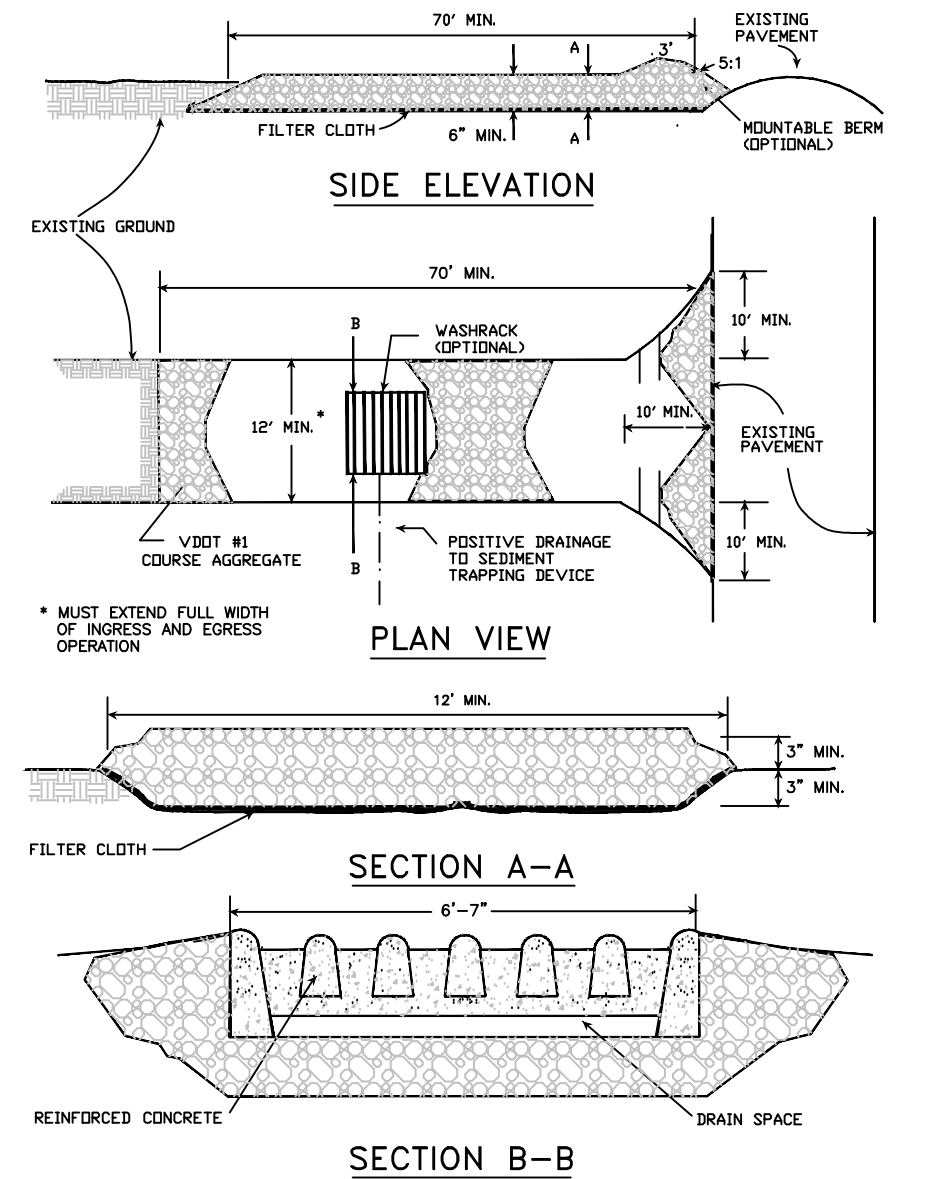


HOUSE DETAIL
Scale: 1" = 20'



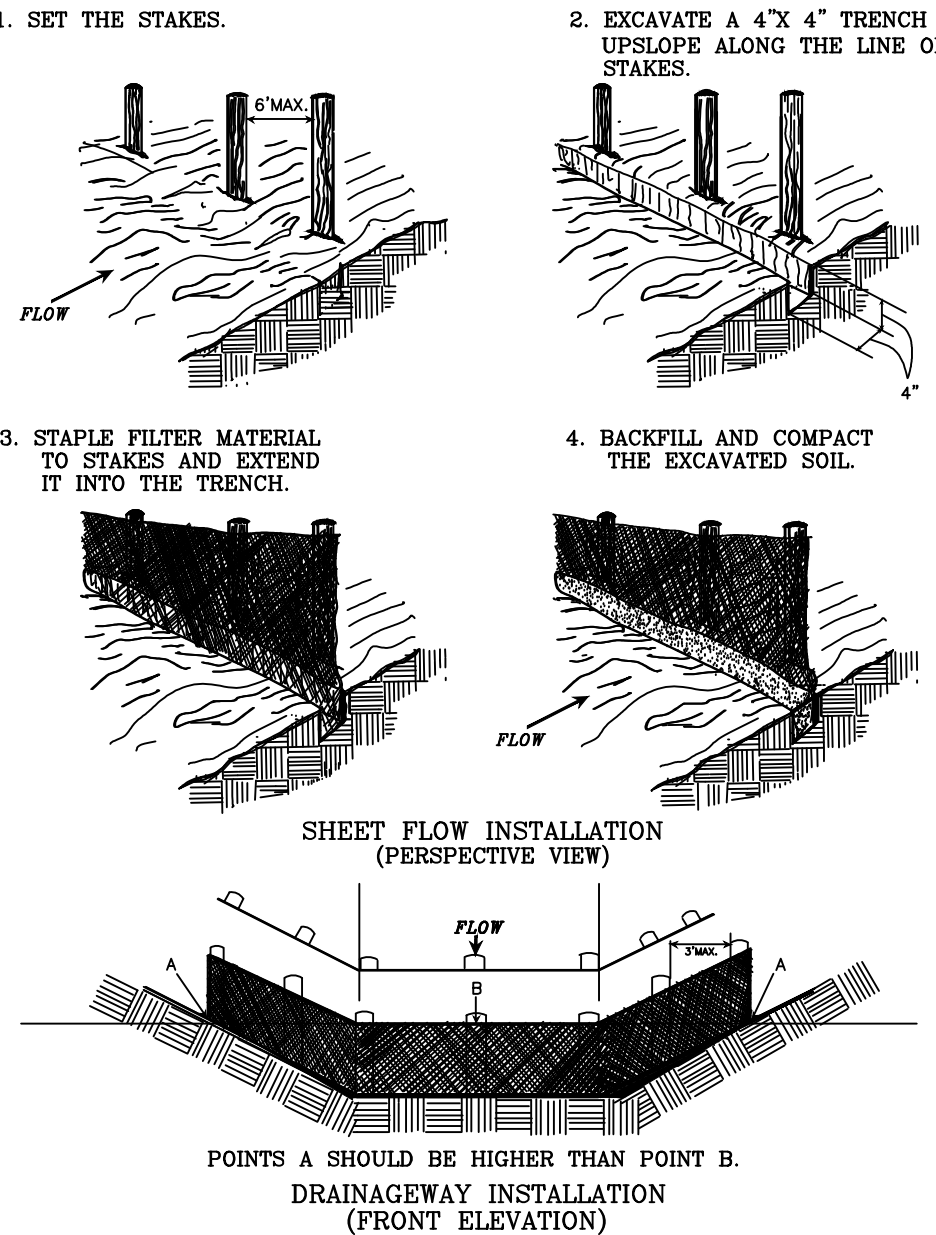
- LEGEND
- ⊙ SEWER VACUUM
 - ⊞ WATER METER
 - ▢ PROPOSED HVAC AREA (LOCATION SUBJECT TO CHANGE)
 - IRF = IRON ROD FOUND

STONE CONSTRUCTION ENTRANCE

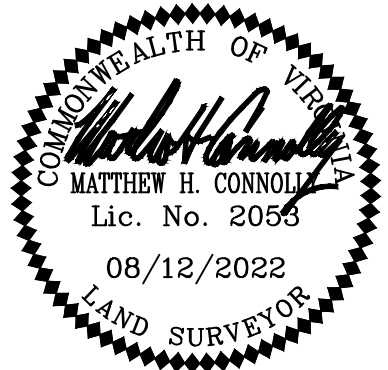


SOURCE: ADAPTED from 1983 Maryland Standards for Soil erosion and Sediment Control, and Va. DSWC Plate 3.02-1

CONSTRUCTION OF A SILT FENCE (WITHOUT WIRE SUPPORT)



SOURCE: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, VA. DSWC Sherwood and Wyant PLATE 3.05-2



DATE: 6/17/2022
DRAWN BY: CG
PROJECT No. 22-119
FILE NAME: 22-119.DWG
REFERENCES:
P.B. 8, PG. 308
INST: #190001238

PLOT PLAN OF PROPERTY DESIGNATED AS
GPIN: T06b-4931-3059
LOCATED AT 604 PATRICKS CREEK ROAD
FOR
MICHAEL BURLING

YORK COUNTY

VIRGINIA

NO.	DATE	REVISION / COMMENT / NOTE
1	8/12/2022	REVISED PER CLIENT COMMENTS

LRI
LANDTECH
RESOURCES, INC.
ENGINEERING & SURVEYING CONSULTANTS
205 Bullfants Blvd., Suite E, Williamsburg, VA 23188
Ph: (757) 565-1677 Fax: (757) 565-0782
web: landtechresources.com