

8/22/2023 12:51:56 AM

106 85TH STREET DUPLEX

106 85TH STREET

VIRGINIA BEACH, VA. 23451

MANAGING OWNERS: SUSAN QUATE & WENDY LANCE

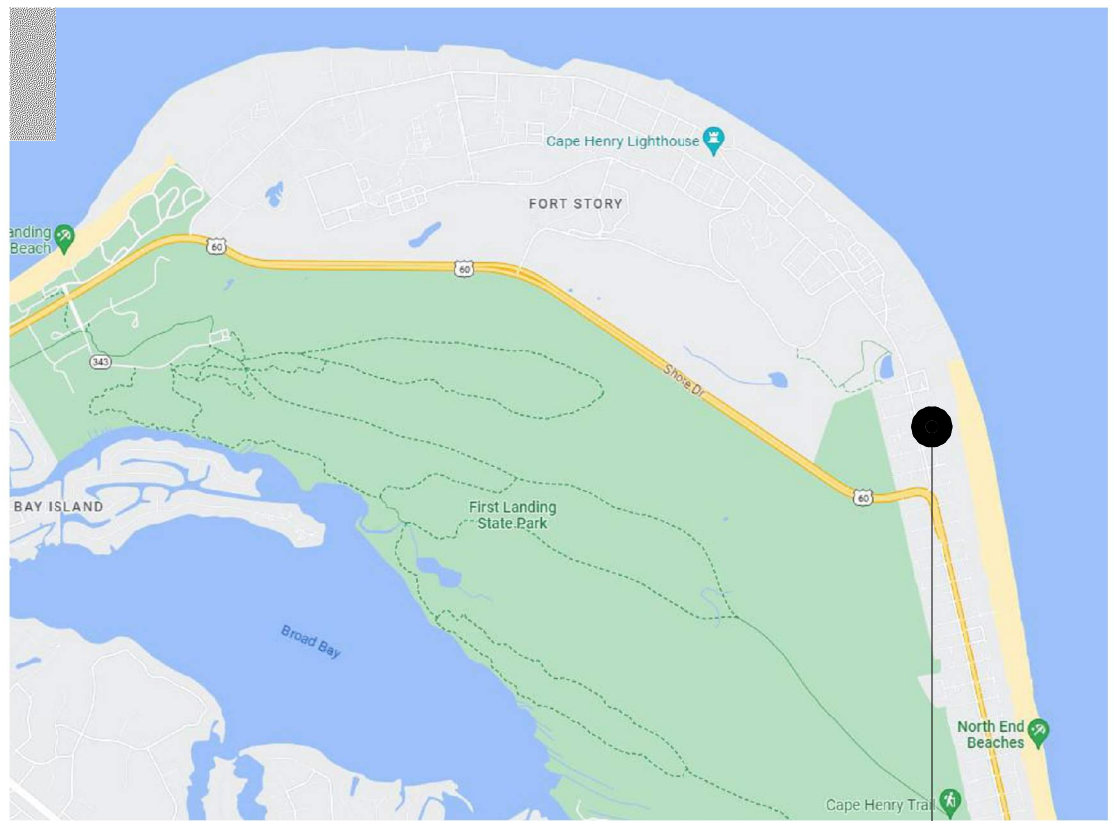


DRAWING INDEX

GENERAL DRAWINGS	
NO.	SHEET NAME
G001	TITLE SHEET
G002	CODE REVIEW SHEET
G003	CODE REVIEW SUMMARY
G004	EQUIPMENT AND FINISH INFORMATION
G005	SCHEDULES, WINDOW & DOOR TYPES

STRUCTURAL DRAWINGS	
NO.	SHEET NAME
S101	FOUNDATION PLAN
S111	SECOND FLOOR FRAMING PLAN
S121	THIRD FLOOR FRAMING PLAN
S131	ROOF FRAMING PLAN

ARCHITECTURAL DRAWINGS	
NO.	SHEET NAME
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A104	ROOF PLAN & DETAILS
A105	2ND FLOOR CANOPY PLAN, DETAILS & DECK DETAILS
A201	ELEVATIONS
A202	ELEVATIONS
A301	SECTIONS & DETAILS
A302	SECTIONS & DETAILS
A303	DETAILS
A401	ENLARGED PLANS & ELEVATIONS - STAIRS
A402	ENLARGED PLANS & ELEV KITCHEN 2ND FLOOR
A403	ENLARGED PLANS & ELEV BATHROOM 2ND FLOOR
A404	ENLARGED PLANS & ELEV KITCHEN 3RD FLOOR
A405	ENLARGED PLANS & ELEV BATHROOM 3RD FLOOR
A406	ENLARGED PLANS - ELEVATOR
A501	MECHANICAL & ELECTRICAL PLANS



PROJECT LOCATION

08-22-2023

PROGRESS SET

PROJECT SUMMARY

THIS PROJECT INCLUDES THE FOLLOWING RENOVATIONS TO AN EXISTING, 2-STORY SINGLE-FAMILY RESIDENCE:

- XXXXXXXXXXXXXXXX
- XXXXXXXXXXXXXXXX
- XXXXXXXXXXXXXXXX
- XXXXXXXXXXXXXXXX
- XXXXXXXXXXXXXXXX
- XXXXXXXXXXXXXXXX
- XXXXXXXXXXXXXXXX

GENERAL NOTES

- UNLESS INDICATED OTHERWISE, ALL NOTES, DETAILS AND FEATURES DRAWN AS APPLICABLE FOR ONE CONDITION SHALL BE APPLICABLE TO SIMILAR CONDITIONS WHETHER OR NOT IT IS SPECIFICALLY INDICATED OR NOTED.
- THE CONTRACTOR SHALL VERIFY ALL GRADES, ELEVATIONS, CLEARANCES, AND DIMENSIONS AND SHALL HAVE ALL DISCREPANCIES BROUGHT TO THE DESIGNER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL BEAR ALL RESPONSIBILITY FOR CORRECTIVE ACTION DUE TO THE CONTRACTOR'S FAILURE TO COORDINATE THE WORK.
- ALL DIMENSIONS ARE TO THE CENTERLINE OF COLUMNS, FACE OF STUDS, OR FACE OF MASONRY, UNLESS OTHERWISE INDICATED.
- THE CONTRACTOR SHALL COMPLY WITH CURRENT APPLICABLE CODES, ORDINANCES, LAWS, AND OTHER LEGAL REQUIREMENTS OF THE PUBLIC AUTHORITIES HAVING JURISDICTION.
- ALL HANDRAIL ASSEMBLIES AND GUARDRAIL SYSTEMS SHALL RESIST A LOAD OF 50 POUNDS PER LINEAR FOOT APPLIED IN ANY DIRECTION ALONG THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE.
- INTERMEDIATE RAILS AND BALUSTERS AND PANEL FILLERS SHALL WITHSTAND A HORIZONTAL LOAD OF 50 POUNDS PER SQUARE FOOT.
- JOIST FRAMING INTO THE SIDE OF A WOOD GIRDER / BEAM SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON LEDGER STRIPS NOT LESS THAN 2" X 2" W/3 - 16D NAILS SPACED @ 2" O.C. UNDER EA. JOIST.
- FASTENERS FOR PRESSURE PRESERVATIVE AND FIRE-RETARDANT TREATED SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. THE COATINGS FOR ZINC COATED FASTENERS SHALL BE IN ACCORDANCE WITH ASTM A 153. (SECTION R319.3) WHERE JOIST HANGERS MUST BE USED, PROVIDE A SHEET OF SELF-ADHERING BUTYL TAPE FLASHING BETWEEN ALL JOIST HANGERS AND TREATED WOOD MEMBERS. DO NOT USE FLASHING ON THE END GRAIN OF ANY MEMBER.
- WALLS SHALL HAVE THE FOLLOWING CONSTRUCTION:
EXTERIOR - 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" PLYWD SHEATHING (TO MATCH EXISTING) TO THE OUTSIDE AND 1/2" GWB TO THE INSIDE.
INTERIOR - 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" GWB ON BOTH SIDES UNLESS NOTED OTHERWISE.
- VERIFY FINISHED FLOOR ELEVATIONS @ EXISTING RESIDENCE AND COORDINATE WITH NEW WORK FLOOR ELEVATIONS.
- FOR EXTERIOR WD THAT IS WRAPPED IN ALUM, USE UNTREATED LUMBER.
- ALL FOOTINGS SHALL BE A MINIMUM OF 12" BELOW EXISTING GRADE. (TO BOTTOM OF FOOTING)
- VERIFY ALL EXISITNG WINDOW ROUGH OPENING SIZES.
- PROVIDE WATER RESITANT GYPSUM WALL BOARD OR CEMENTITIOUS BOARD AT ALL WET LOCATION WALLS AND FLOORS (TILE AND SHOWER PANELS.)
- PROVIDE (X2) FLOOR JOISTS UNDER INTERIOR WALLS WITH DOORWAYS.

PERMIT SET DRAWINGS:

THESE DRAWINGS REPRESENT A 'PERMIT SET' OF DRAWINGS. INCLUDED IS ENOUGH INFORMATION FOR A CONTRACTOR TO OBTAIN A BUILDING PERMIT AND CONSTRUCT THE PROJECT. THE DESIGN, LAYOUT AND SELECTION OF CASEWORK, TRIM, FINISHES, HVAC, PLUMBING, AND ELECTRICAL ITEMS SHALL BE THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR. GENERAL LOCATIONS OF PRIMARY PIECES OF EQUIPMENT HAVE BEEN IDENTIFIED AND CAN BE MODIFIED WITH THE PERMISSION OF THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTING THE PROJECT IN ACCORDANCE WITH MANUFACTURER'S STANDARD DETAILS, LOCAL CODES AND ACCEPTABLE LEVELS OF STANDARD CONSTRUCTION PRACTICE.

CODE REVIEW

THESE DRAWINGS ARE INTENDED TO COMPLY WITH THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE (2018 EDITION), REFERENCING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) FOR ONE AND TWO FAMILY DWELLINGS.

BUILDING DATA

USE GROUP:	XXXX
TYPE OF CONSTRUCTION:	5B
MAXIMUM BUILDING HEIGHT:	35'-0"
CLIMATE ZONE	4A
GROSS SQUARE FOOTAGE OF RENOVATION WORK	X,XXX FIRST FLOOR X,XXX SECOND FLOOR X,XXX TOTAL SQUARE FOOTAGE OF RENOVATION

DESIGN LOADS	LIVE LOADS	DEAD LOADS
LIVING AREAS	40 PSF	10 PSF
SLEEPING AREAS	40 PSF	10 PSF
CEILING JOISTS	20 PSF	10 PSF
ROOF AREA	20 PSF	10 PSF
WIND LOAD	120 MPH EXPOSURE C (IRC 2018)	

SECTION	DESCRIPTION
T302.1	ALL EXTERIOR WALLS HAVE A MINIMUM SEPARATION DISTANCE OF 5 FEET.
R602	LUMBER GRADE AND SPECIES SHALL BE #2 SYP FOR BEAMS (UNLESS NOTED OTHERWISE.) ALL STUDS SHALL BE #3 OR STANDARD STUD GRADE LUMBER. ALL FASTENERS SHALL COMPLY WITH TABLE 602.3. STUD SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
T502.5(1)+(2)	WOOD GIRDER FLOOR SPANS COMPLY WITH TABLE 502
T602.3(1)	WOOD FASTENERS FOR STRUCTURAL FLOOR MEMBERS SHALL COMPLY WITH TABLE 602.3
R502.4	DOUBLE JOISTS SHALL BE USED UNDER BEARING PARTITIONS AND SHALL COMPLY WITH THIS SECTION.
R502.6	MINIMUM BEARING FOR FLOOR JOISTS SHALL BE 1-1/2" FOR WOOD AND 3" FOR MASONRY AND CONCRETE.
T1102.1	INSULATION SHALL BE AS FOLLOWS: WALLS R-15 FLOORS R-19 CEILINGS R-49 OPEN CEILING = R-38 (PER SECTION 1102.2.2 (LESS THAN 500 SQFT)
E3801.2	IN EXISTING AND RENOVATED AREAS, REPLACE AND INSTALL NEW RECEPCTACLES AS REQUIRED. INSTALL PER DIMENSIONS SHOWN IN THIS SECTION..
R302.6	PROVIDE REQUIRED DWELLING UNIT - STORAGE ROOM SEPARATION PER TABLE R302.6 INCLUDING WALLS AND CEILINGS.
R602.3.1	PROVIDE NUMBER AND TYPE OF FASTENER FOR ALL STRUCTURAL MEMBERS PER THIS TABLE.
R602.10.0.1	PROVIDE REQUIRED BLOCKING ALONG ALL BRACED WALL PANELS
T401.4.1	ASSUMED SOIL BEARING PRESSURE - 1500 LBS/SF
R602.8	FIREBLOCKING SHALL BE INSTALLED PER R602.8 AND R302.11

CALLOUTS AND TAGS

	INTERIOR EXTERIOR ELEVATION TAG		DOOR TAG
	INTERIOR EXTERIOR ELEVATION TAG - SINGLE		WINDOW TAG
	EXTERIOR ELEVATION TAG		ROOM TAG
	SECTION HEADS		NORTH ARROW
	DETAIL CALLOUT HEAD		REVISION ARROW
			ELEVATION TARGET

APPROVED BY: _____

DATE _____

CITY OF VIRGINIA BEACH ZONING DEPARTMENT APPROVAL STAMP

APPROVED BY: _____

DATE _____

CITY OF VIRGINIA BEACH PERMITS AND INSPECTIONS APPROVAL STAMP

1 2 3 0
ARCHITECTS

1230 PROSPERITY ROAD
VIRGINIA BEACH, VA. 23451
ph: 757.663.9800
gsimon1230@cox.net



1228 PERIMETER PARKWAY #201
VIRGINIA BEACH, VA. 23454
ph. 757.427.1020
email: jdc@SMANDF.com

1230 ARCHITECTS © 2023

PROGRESS SET
08-22-2023

DATE 08-22-23

REVISIONS

DATE.

106 85TH
STREET LLC

CLIENT PHONE NUMBER

106 85TH
STREET

106 85TH STREET
VIRGINIA BEACH, VA. 23451

TITLE SHEET

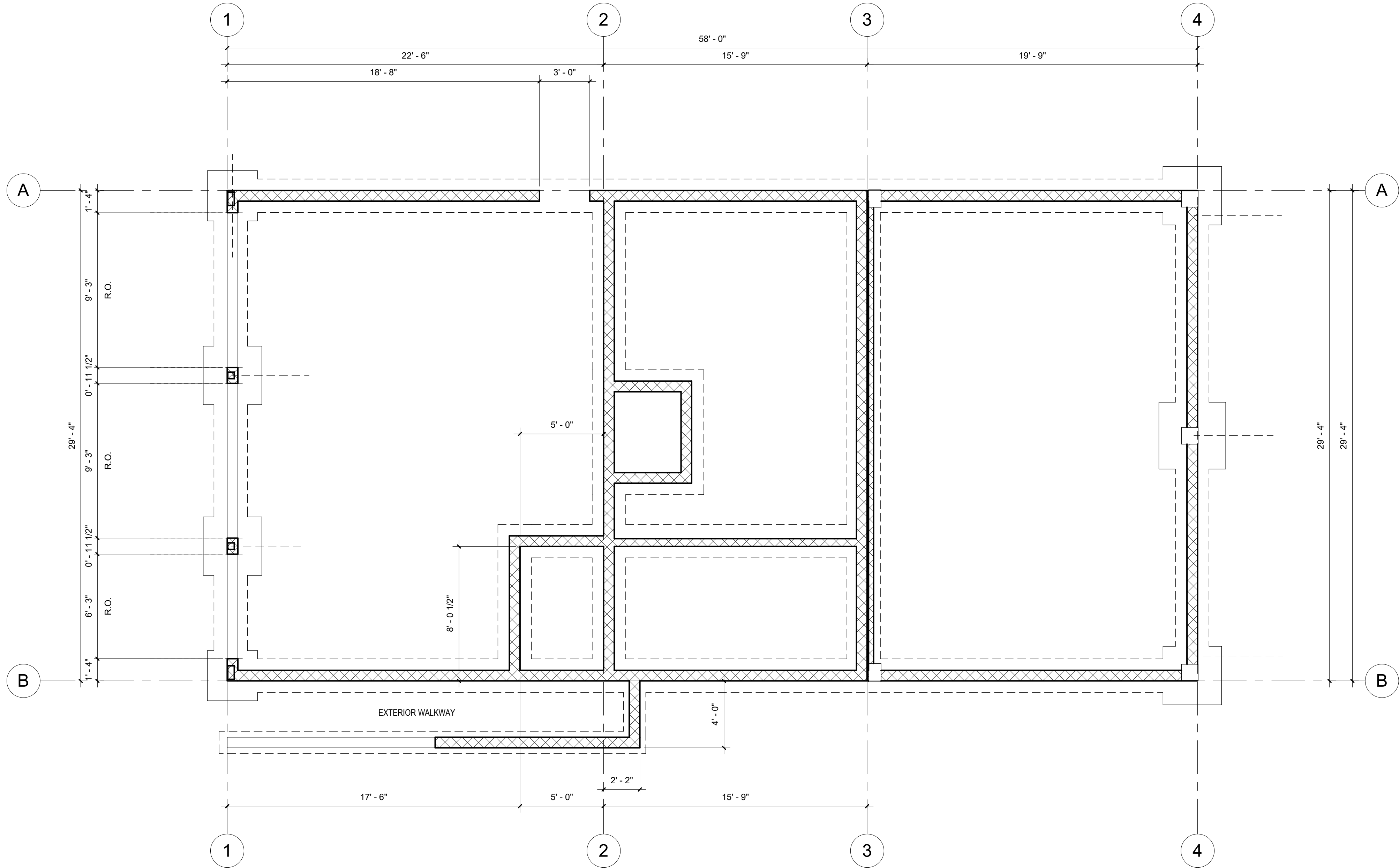
G001

SHEET NO. G001

OF XX

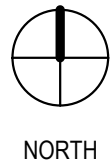
PROJECT NO.

2023-04



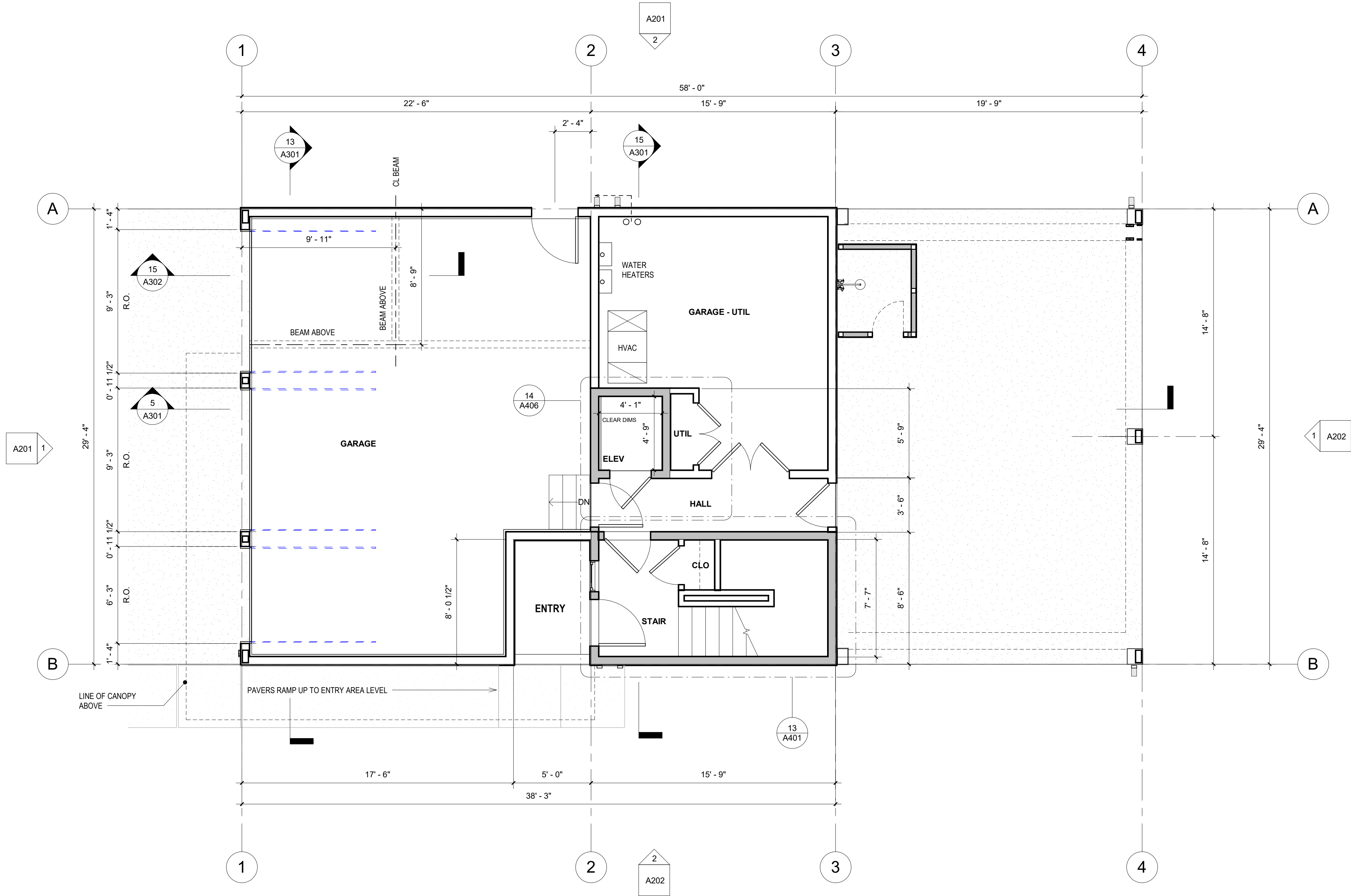
TOP OF FOOTING
1/4" = 1'-0"

FOR STRUCTURAL ENGINEER COORDINATION



8/22/2023 12:51:44 AM

C:\Users\Greg Simon\Documents\1230A\2023-04 Quate Duplex-106 85th St\Revit files\2023-04_85th Street Duplex_WORKING.rvt



LEVEL 1 OPTION 02
1/4" = 1'-0"

NEW WORK NOTES

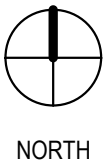
FIRST FLOOR

1 XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX

HEADER SCHEDULE	
MARK	DESCRIPTION
H-1	2-2X6 W/ 1/2" FOAM SPACING MATERIAL
H-2	2-2X8 W/ 1/2" FOAM SPACING MATERIAL
H-3	2-2X10 W/ 1/2" FOAM SPACING MATERIAL
H-4	2-2X12 W/ 1/2" FOAM SPACING MATERIAL

HEADER NOTES:

1. FOR ALL HEADERS LOCATED IN INTERIOR WALLS, PROVIDE 1/2" THICK PLYWD SPACER.



1230 PROSPERITY ROAD
VIRGINIA BEACH, VA. 23451
ph: 757.663.9800
gsimon1230@cox.net



1228 PERIMETER PARKWAY #201
VIRGINIA BEACH, VA. 23454
ph. 757.427.1020
email: jdc@SMANDF.com

1230 ARCHITECTS © 2023

PROGRESS SET
08-22-2023

DATE 08-22-23

REVISIONS

DATE.

106 85TH
STREET LLC

CLIENT PHONE NUMBER

106 85TH
STREET

106 85TH STREET
VIRGINIA BEACH, VA. 23451

FIRST FLOOR
PLAN

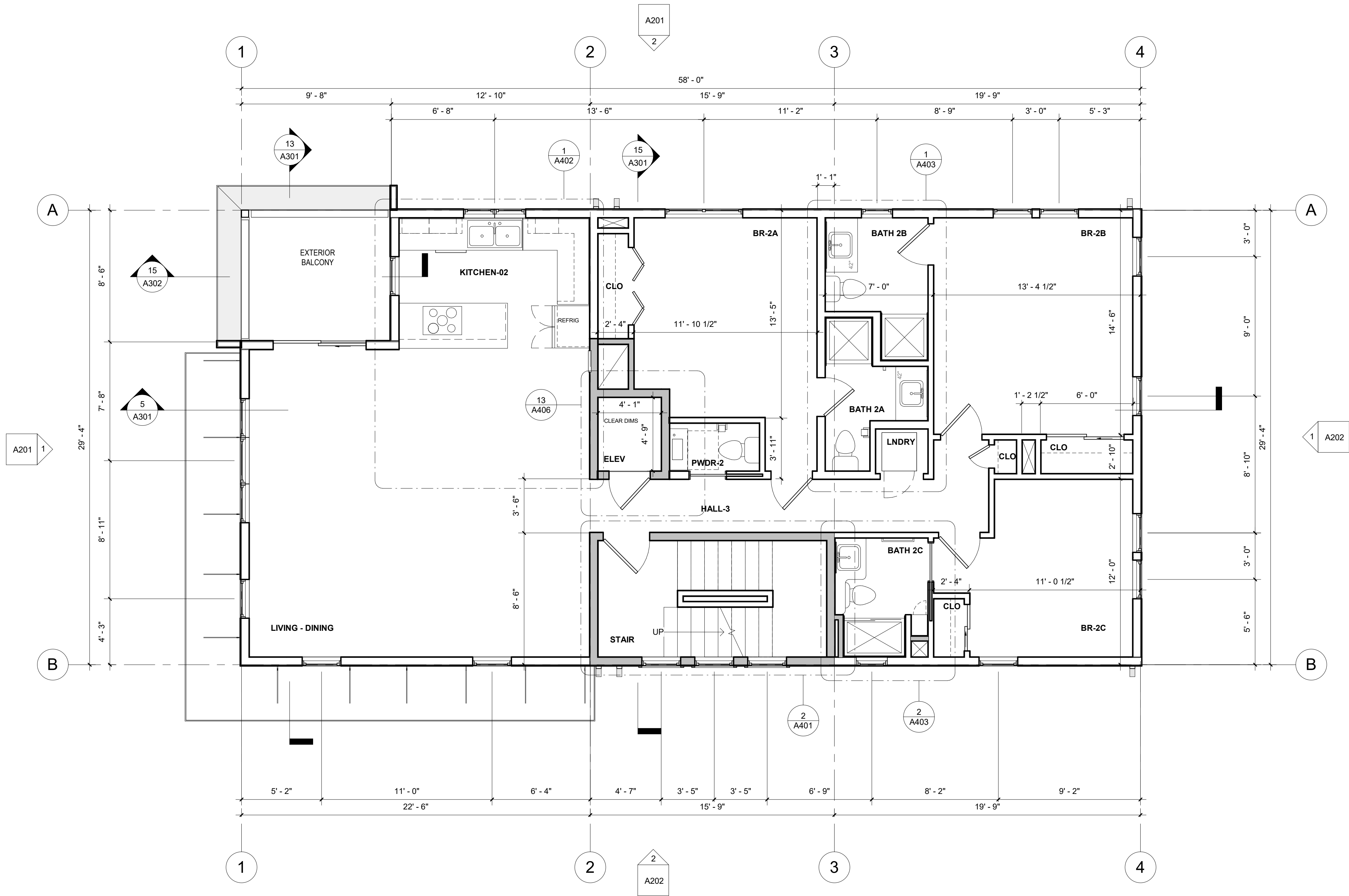
A101

SHEET NO. A101 OF XX

PROJECT NO. 2023-04

8/22/2023 12:51:45 AM

C:\Users\Greg Simon\Documents\1230A\2023-04 Quate Duplex-106 85th St\Revit files\2023-04_85th Street Duplex_WORKING.rvt



LEVEL 2 OPTION 02
1/4" = 1'-0"

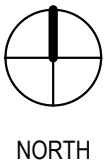
NEW WORK NOTES

SECOND FLOOR

1 XXXXXXXXXXXXXXXXXXXXXXXXXXXX

HEADER SCHEDULE	
MARK	DESCRIPTION
H-1	2-2X8 W/ 1/2" FOAM SPACING MATERIAL
H-2	2-2X8 W/ 1/2" FOAM SPACING MATERIAL
H-3	2-2X10 W/ 1/2" FOAM SPACING MATERIAL
H-4	2-2X12 W/ 1/2" FOAM SPACING MATERIAL

HEADER NOTES:
1. FOR ALL HEADERS LOCATED IN INTERIOR WALLS, PROVIDE 1/2" THICK PLYWD SPACER.



1230 PROSPERITY ROAD
VIRGINIA BEACH, VA. 23451
ph: 757.663.9800
gsimon1230@cox.net



1228 PERIMETER PARKWAY #201
VIRGINIA BEACH, VA. 23454
ph. 757.427.1020
email: jdc@SMANDF.com

1230 ARCHITECTS © 2023

PROGRESS SET
08-22-2023

DATE	08-22-23
REVISIONS	
#	DATE.

106 85TH
STREET LLC

CLIENT PHONE NUMBER

106 85TH
STREET

106 85TH STREET
VIRGINIA BEACH, VA. 23451

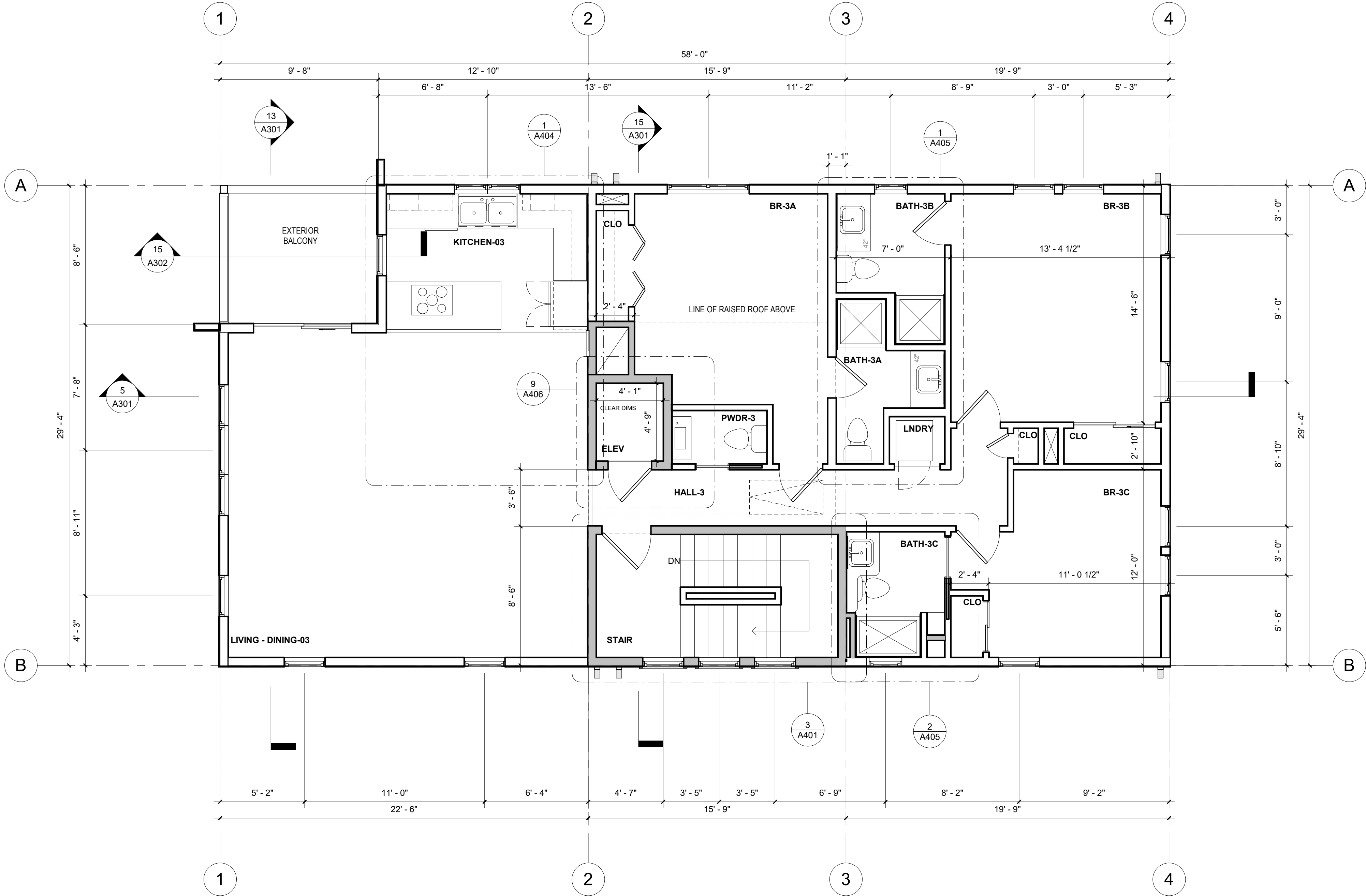
SECOND
FLOOR PLAN

A102

SHEET NO. A102 OF XX
PROJECT NO. 2023-04

8/22/2023 12:51:45 AM

C:\Users\Greg Simon\Documents\1230A\2023-04 Quate Duplex-106 85th St\Revit files\2023-04_85th Street Duplex_WORKING.rvt



Level 3 OPTION 02
1/4" = 1'-0"

NEW WORK NOTES

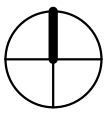
THIRD FLOOR

1 XXXXXXXXXXXXXXXXXXXXXXXXXXXX

HEADER SCHEDULE	
MARK	DESCRIPTION
H-1	2-2X6 W/ 1/2" FOAM SPACING MATERIAL
H-2	2-2X8 W/ 1/2" FOAM SPACING MATERIAL
H-3	2-2X10 W/ 1/2" FOAM SPACING MATERIAL
H-4	2-2X12 W/ 1/2" FOAM SPACING MATERIAL

HEADER NOTES:

1. FOR ALL HEADERS LOCATED IN INTERIOR WALLS, PROVIDE 1/2" THICK PLYWD SPACER.



NORTH



1230 PROSPERITY ROAD
VIRGINIA BEACH, VA. 23451
ph: 757.663.9800
gsimon1230@cox.net



1228 PERIMETER PARKWAY #201
VIRGINIA BEACH, VA. 23454
ph. 757.427.1020
email: jdc@SMANDF.com

1230 ARCHITECTS © 2023

PROGRESS SET
08-22-2023

DATE 08-22-23

REVISIONS

DATE.

106 85TH
STREET LLC

CLIENT PHONE NUMBER

106 85TH
STREET

106 85TH STREET
VIRGINIA BEACH, VA. 23451

THIRD FLOOR
PLAN

A103

SHEET NO. A103 OF XX

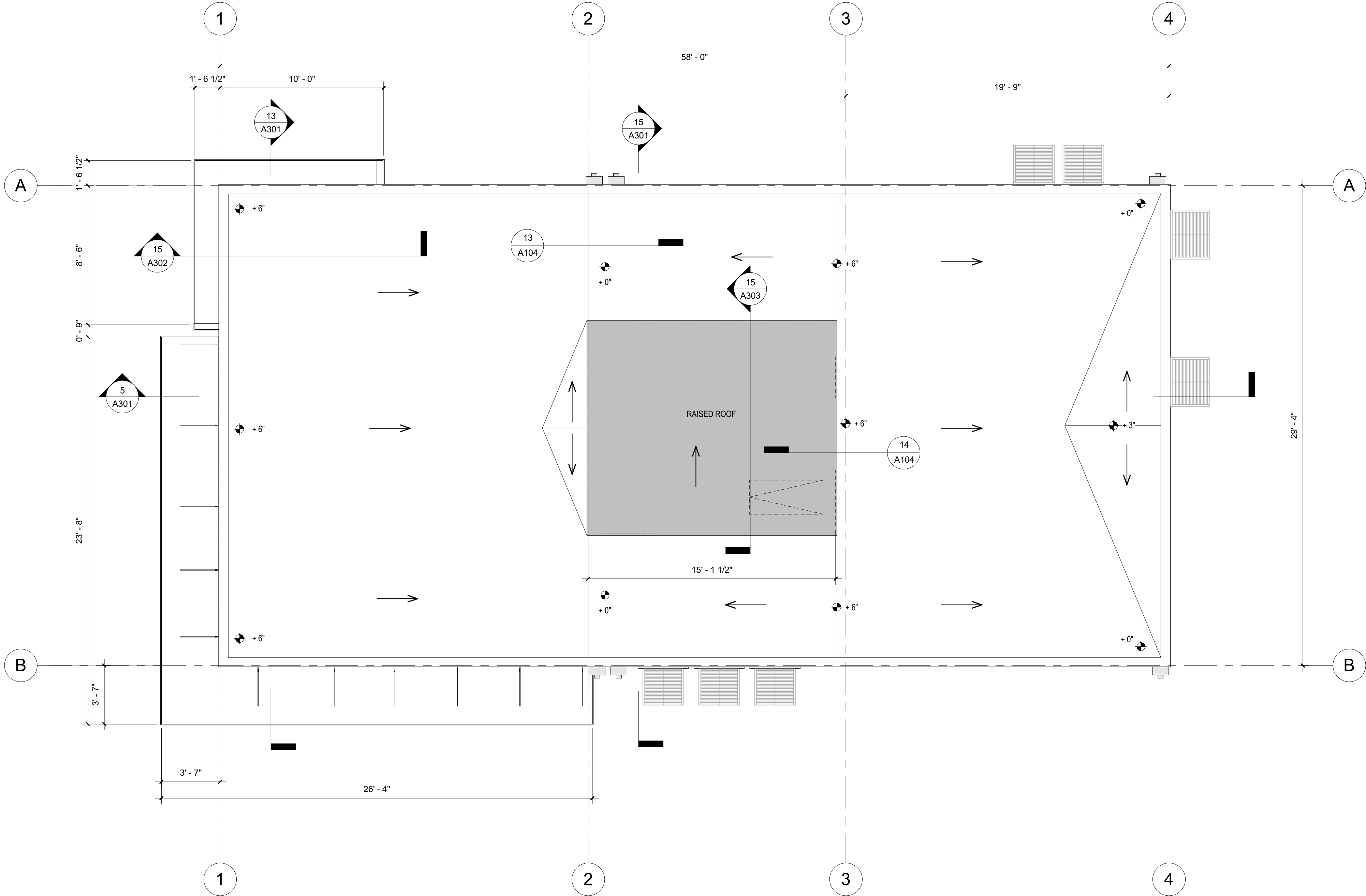
PROJECT NO. 2023-04

8/22/2023 12:51:46 AM

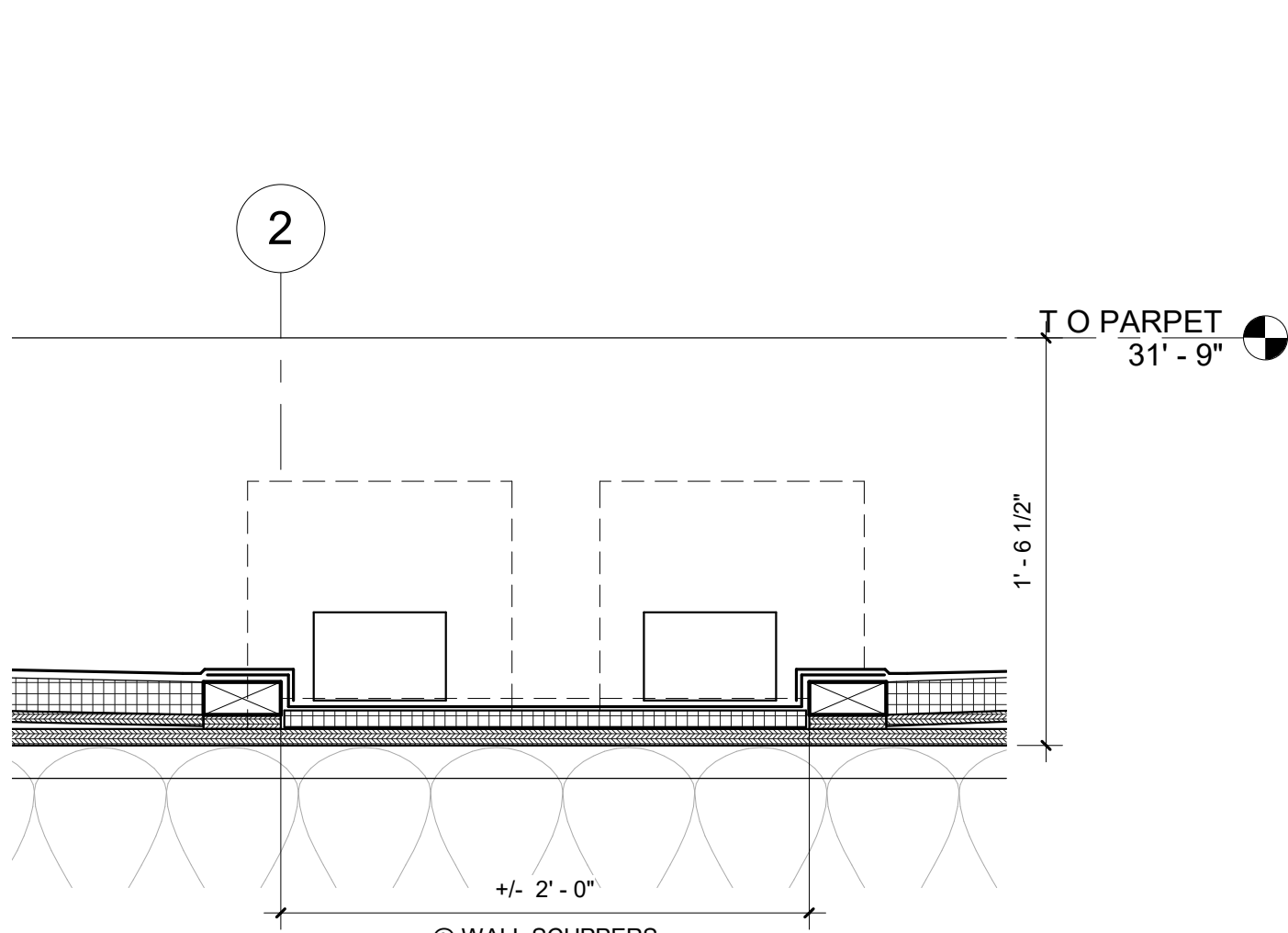
C:\Users\Greg Simon\Documents\1230A\2023-04 Quate Duplex-106 85th St\Revit files\2023-04_85th Street Duplex_WORKING.rvt

NEW WORK NOTES - ROOF & ROOF
FRAMING PLANS

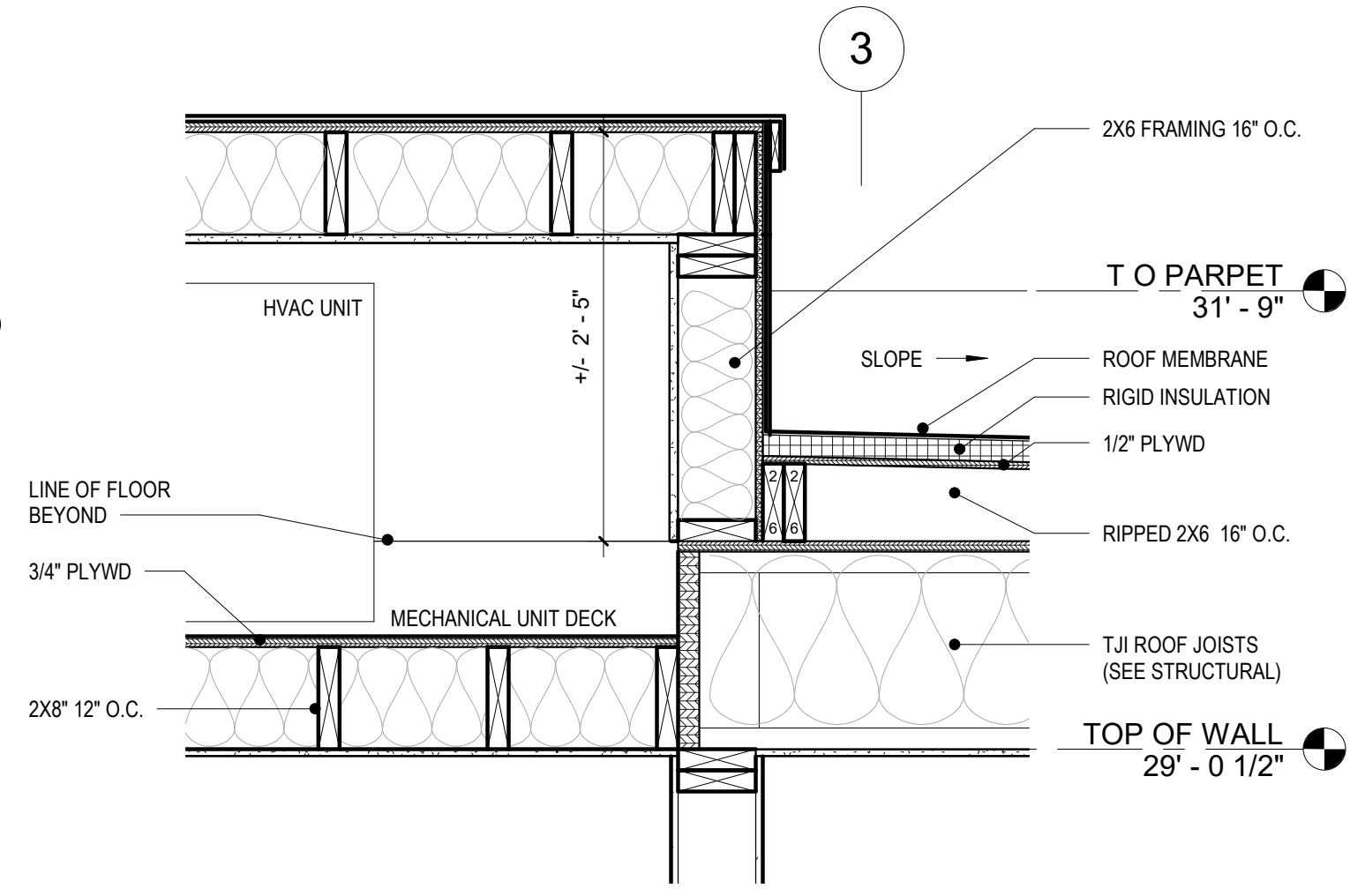
1. xxxxxxxxxxxxxxxxxxxxxxxxxxxxxxx



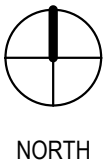
ROOF PLAN
1/4" = 1'-0"



13 ROOFING DETAIL 01
1 1/2" = 1'-0"



14 ROOFING DETAIL 02
1" = 1'-0"



1230 PROSPERITY ROAD
VIRGINIA BEACH, VA. 23451
ph: 757.663.9800
gsimon1230@cox.net



1228 PERIMETER PARKWAY #201
VIRGINIA BEACH, VA. 23454
ph. 757.427.1020
email: jdc@SMANDF.com

1230 ARCHITECTS © 2023

PROGRESS SET
08-22-2023

DATE 08-22-23
REVISIONS
DATE.

106 85TH
STREET LLC

CLIENT PHONE NUMBER

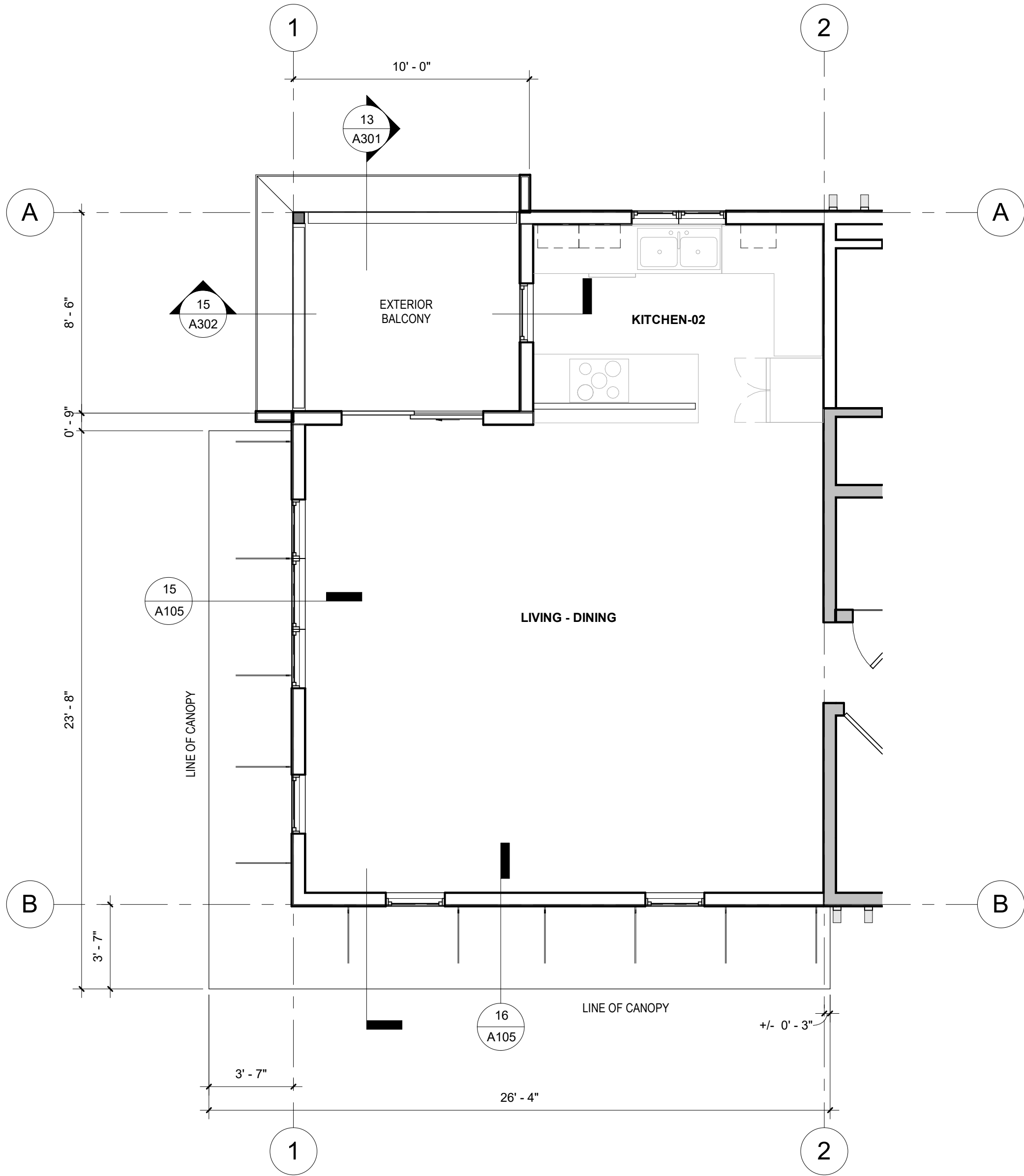
106 85TH
STREET

106 85TH STREET
VIRGINIA BEACH, VA. 23451

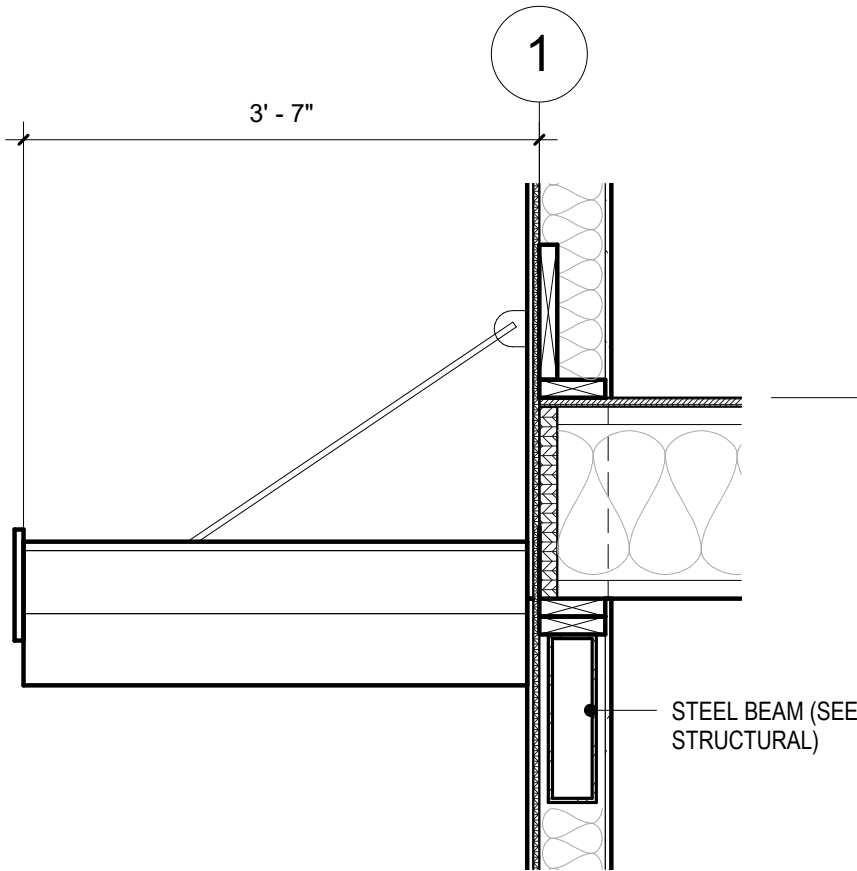
ROOF PLAN &
DETAILS

A104

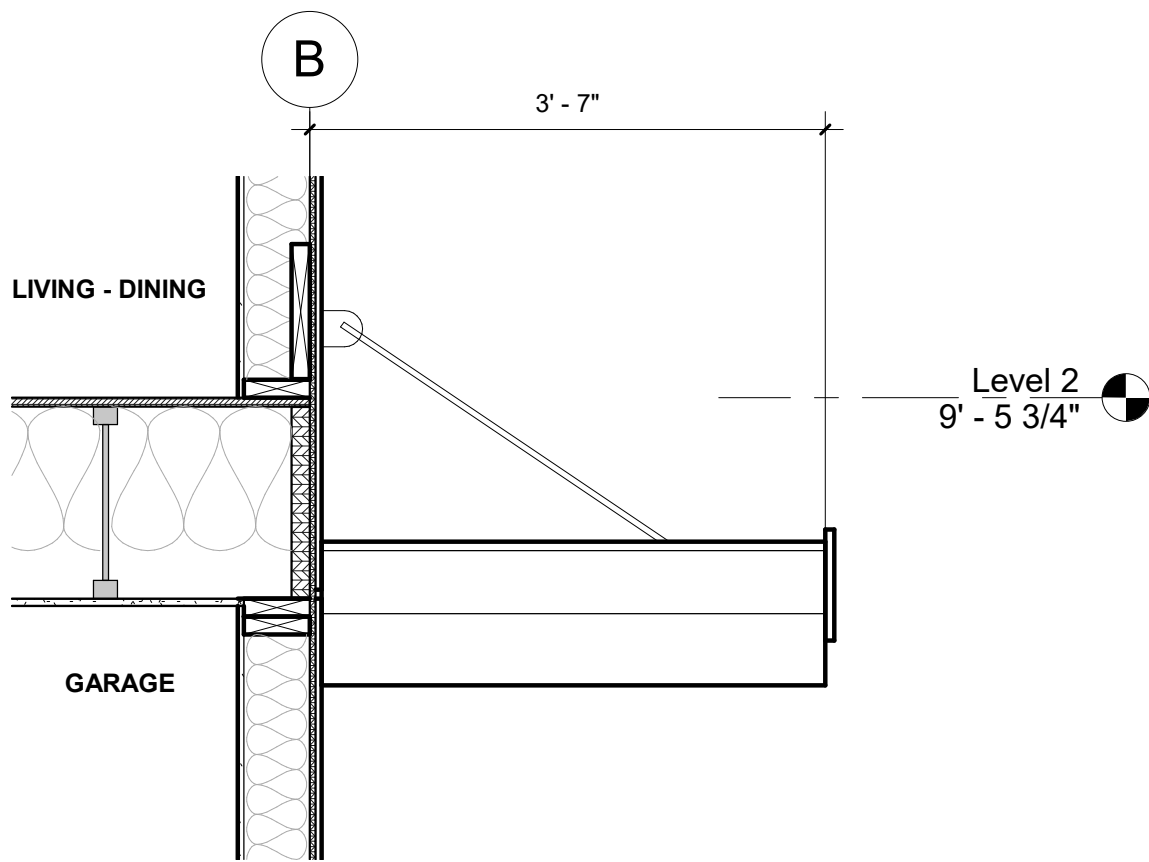
SHEET NO. A104 OF XX
PROJECT NO. 2023-04



11 Level 2 CANOPY PLAN
1/4" = 1'-0"



15 CANOPY DETAIL 01
3/4" = 1'-0"



16 CANOPY DETAIL 02
3/4" = 1'-0"



PROGRESS SET
08-22-2023

DATE	08-22-23
REVISIONS	
#	DATE.

106 85TH
STREET LLC

CLIENT PHONE NUMBER

106 85TH
STREET

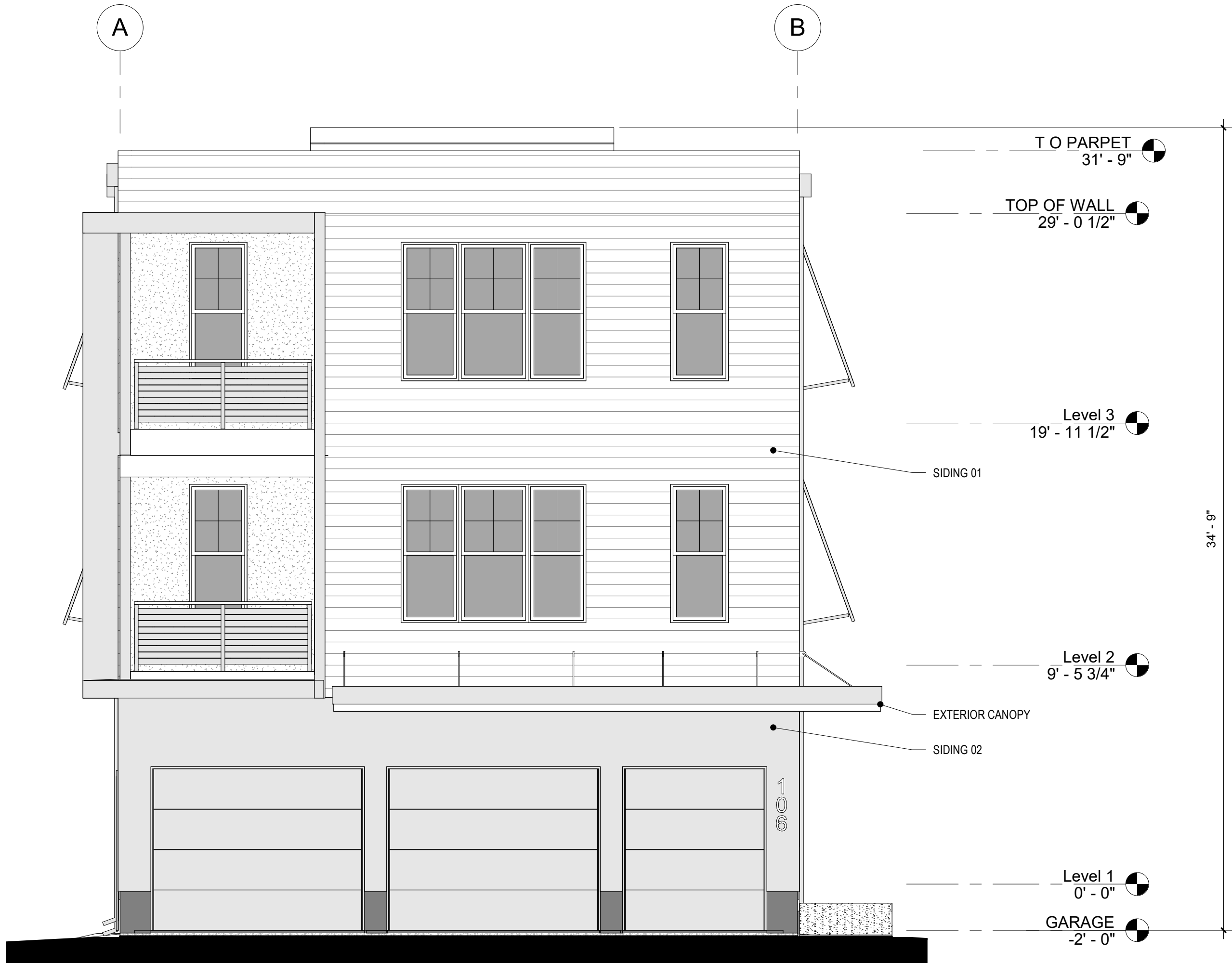
106 85TH STREET
VIRGINIA BEACH, VA. 23451

2ND FLOOR
CANOPY PLAN,
DETAILS &
DECK DETAILS

A105

8/22/2023 12:51:48 AM

C:\Users\Greg Simon\Documents\1230A\2023-04 Quate Duplex-1 06 85th St\Revit files\2023-04_85th Street Duplex_WORKING.rvt



① OPT-01 NORTH
1/4" = 1'-0"



② OPT-01 EAST
1/4" = 1'-0"

NEW WORK NOTES - ELEVATIONS

1 xxxxxxxxxxxxxxxxxxxx



1 2 3 0
ARCHITECTS

1230 PROSPERITY ROAD
VIRGINIA BEACH, VA. 23451
ph: 757.663.9800
gsimon1230@cox.net



1228 PERIMETER PARKWAY #201
VIRGINIA BEACH, VA. 23454
ph. 757.427.1020
email: jdc@SMANDF.com

1230 ARCHITECTS © 2023

PROGRESS SET
08-22-2023

DATE 08-22-23
REVISIONS
DATE.

106 85TH
STREET LLC

CLIENT PHONE NUMBER

106 85TH
STREET

106 85TH STREET
VIRGINIA BEACH, VA. 23451

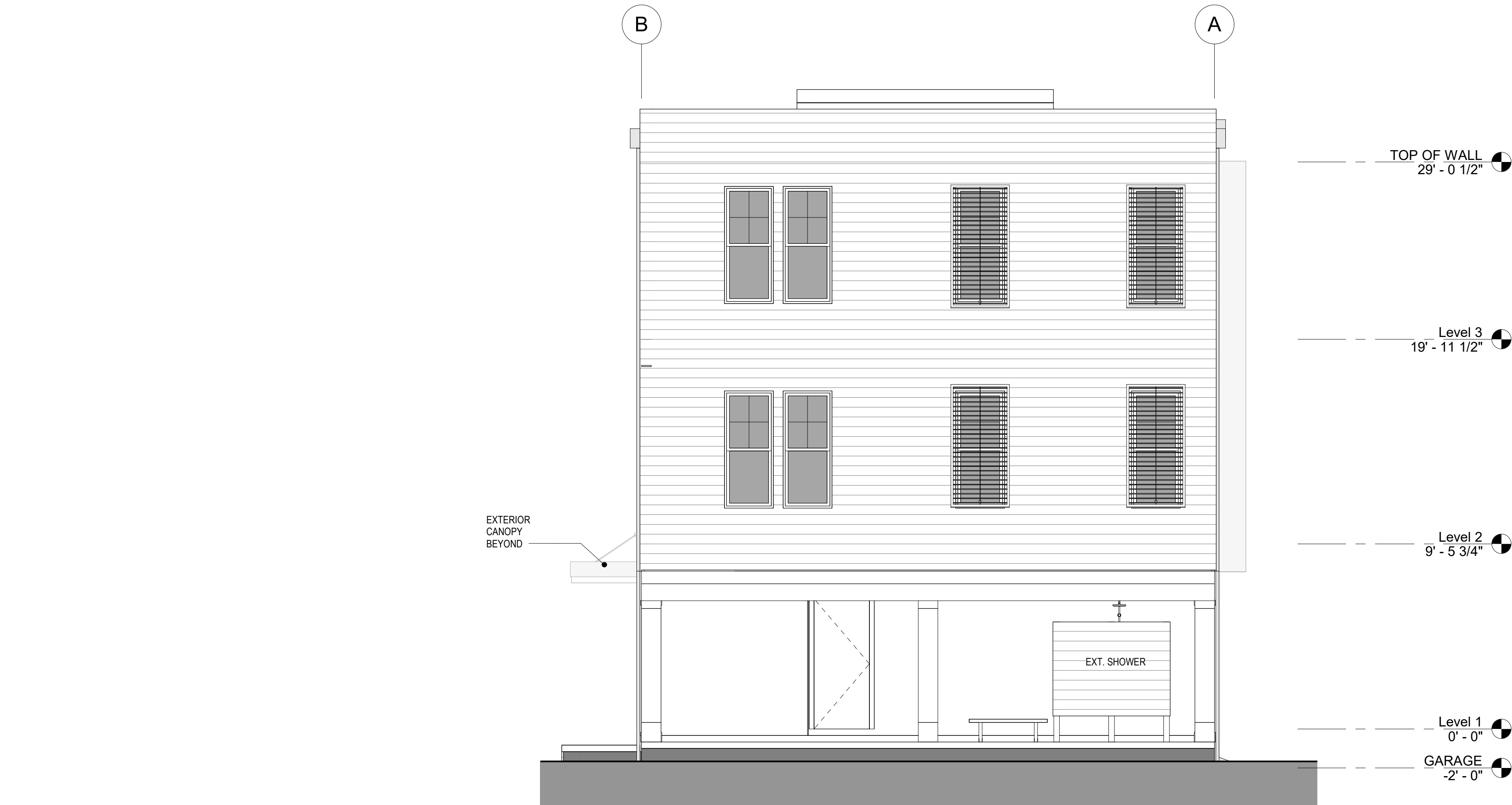
ELEVATIONS

A201

SHEET NO. A201 OF XX
PROJECT NO. 2023-04

8/22/2023 12:51:49 AM

C:\Users\Greg Simon\Documents\1230A\2023-04 Quate Duplex-106 85th St\Revit files\2023-04_85th Street Duplex_WORKING.rvt



① OPT-01 SOUTH
1/4" = 1'-0"



② OPT-01 WEST
1/4" = 1'-0"

NEW WORK NOTES - ELEVATIONS

1 xxxxxxxxxxxxxxxxxxxxxxxxx



PROGRESS SET
08-22-2023

DATE		08-22-23
REVISIONS		
#	DATE.	

106 85TH STREET LLC

CLIENT PHONE NUMBER

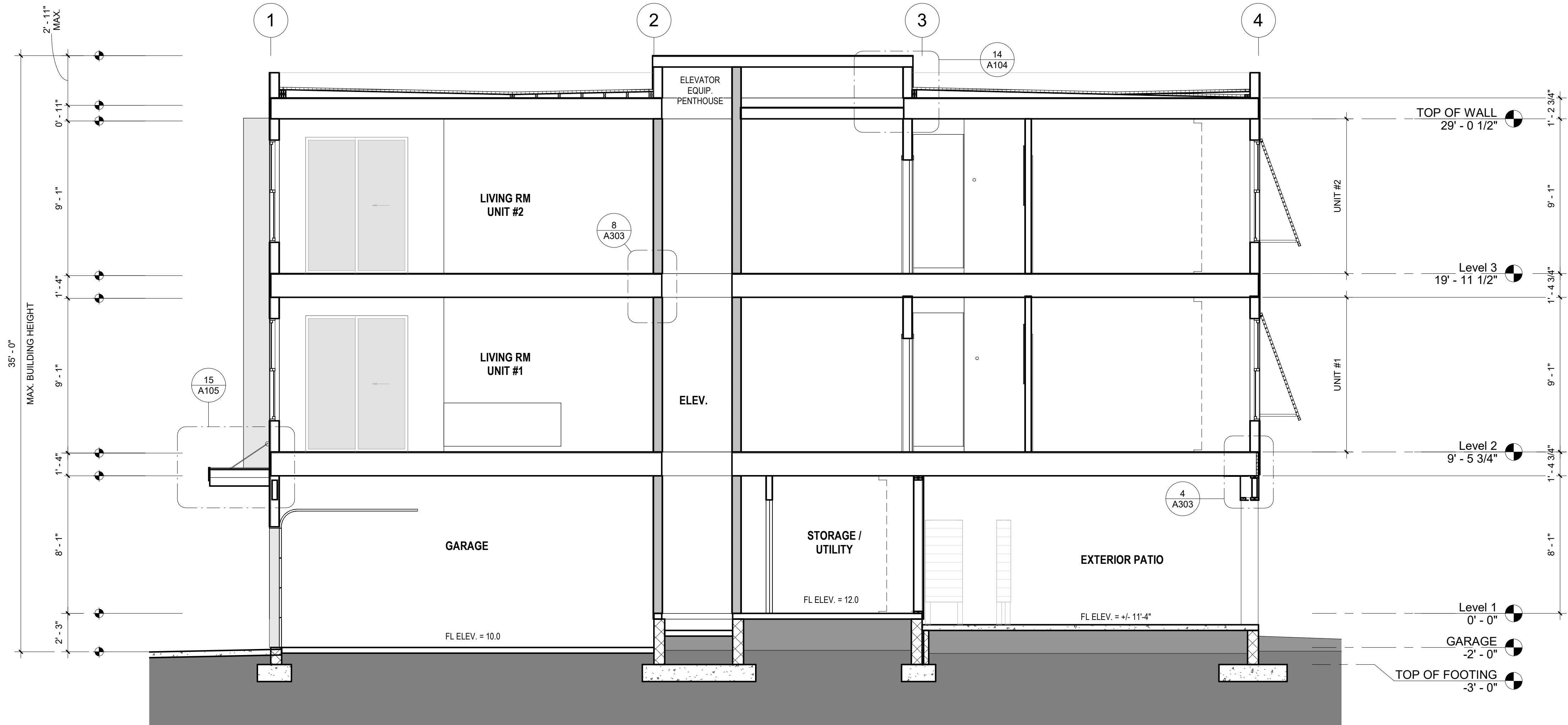
106 85TH STREET

106 85TH STREET
VIRGINIA BEACH, VA. 23451

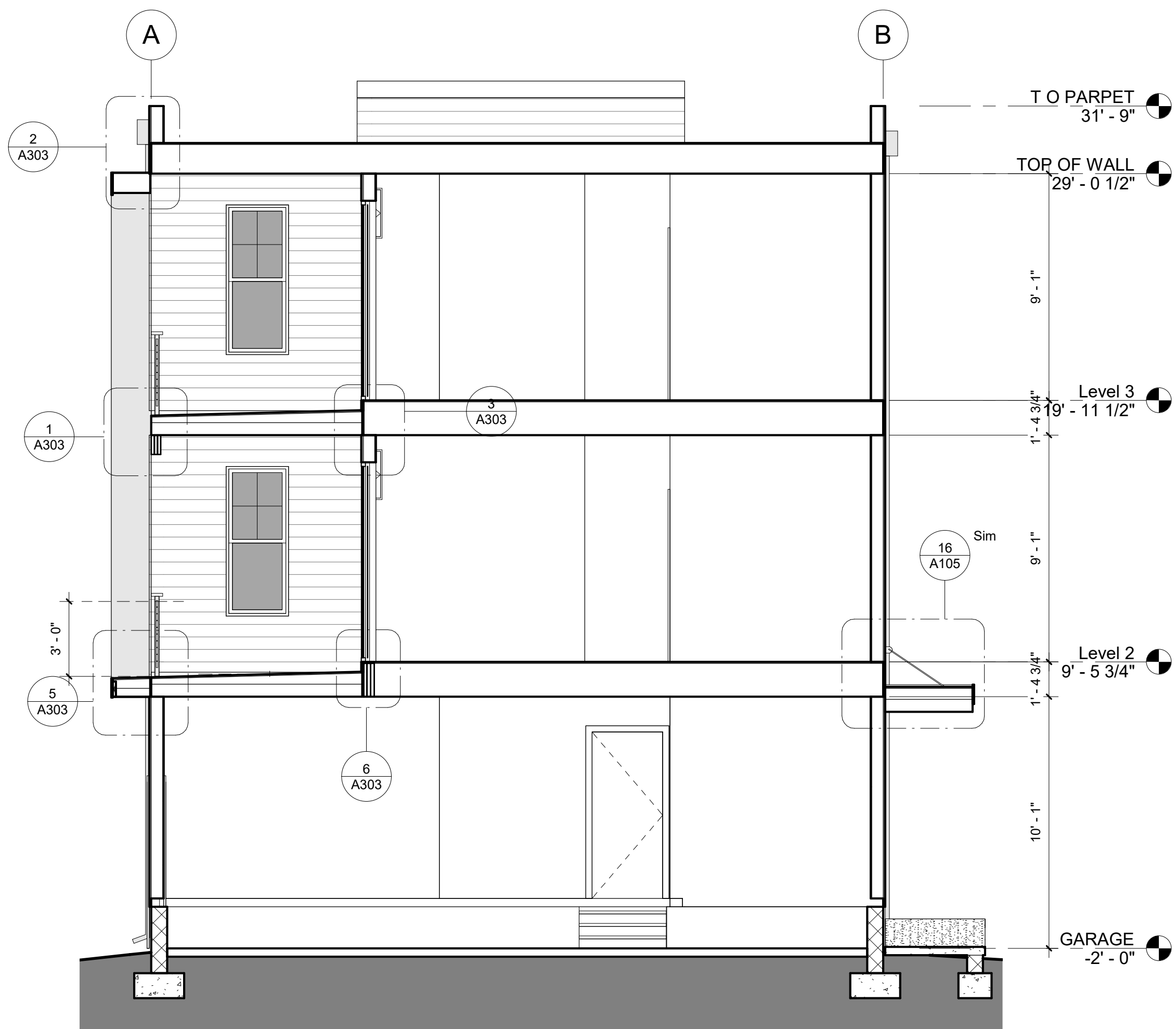
ELEVATIONS

A202

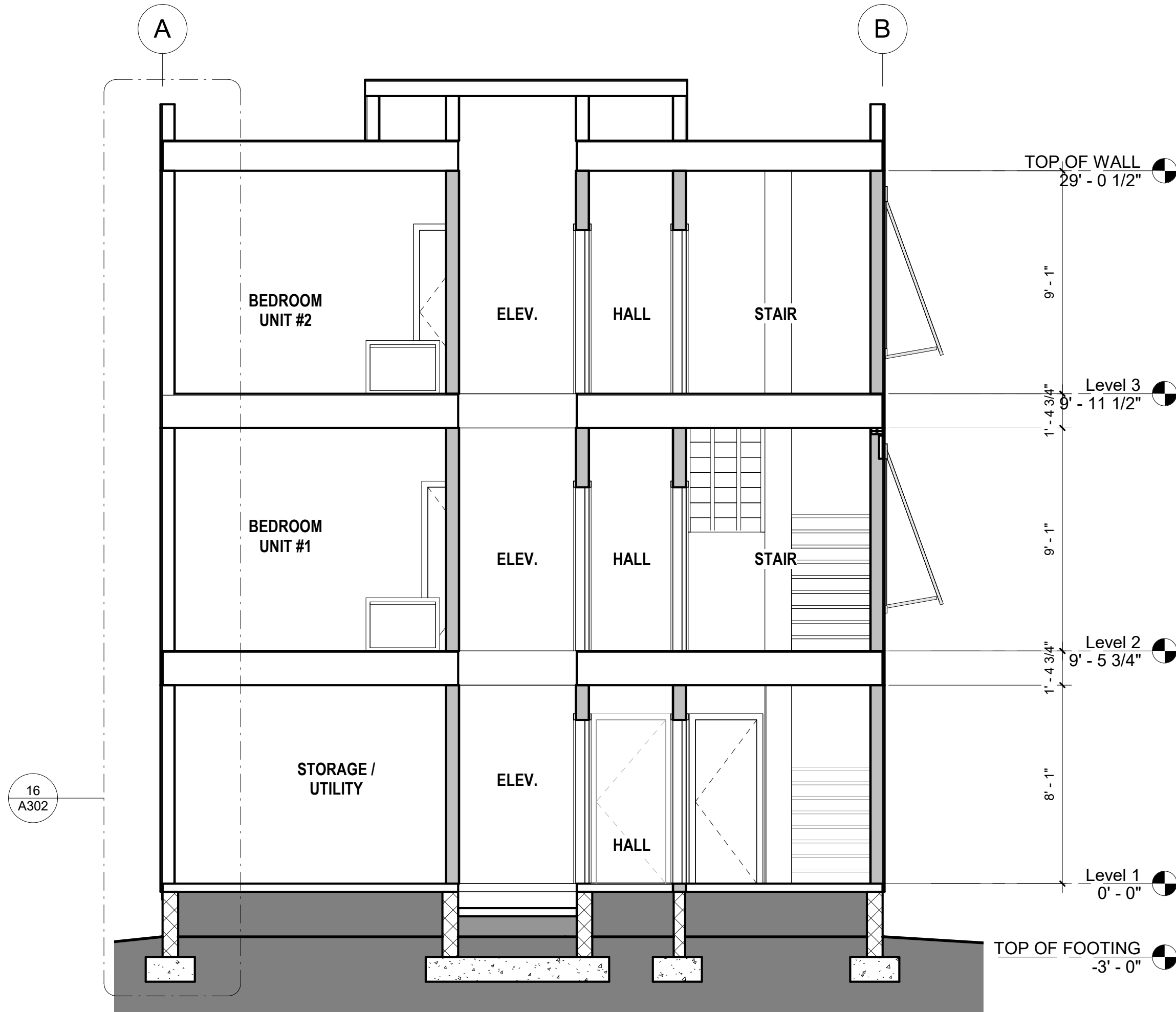
C:\Users\Greg Simon\Documents\1230A\2023-04 Quate Duplex-106 85th St\Revit files\2023-04_85th Street Duplex_WORKING.rvt 8/22/2023 12:51:50 AM



5 BUILDING SECTION 01
1/4" = 1'-0"



13 BUILDING SECTION 02
1/4" = 1'-0"



15 BUILDING SECTION 03
1/4" = 1'-0"

GENERAL NOTES - SECTIONS

1. SEAL CEILING AREA AROUND STAIR WALLS AND CHASES WITH BACKER ROD AND FIRE RATED CAULKING
2. PROVIDE 5/8" THICK, TYPE X GYPSUM WALLBOARD CEILING BETWEEN GARAGE AND 2ND FLOOR LIVING AREA.

1 2 3 0
ARCHITECTS

1230 PROSPERITY ROAD
VIRGINIA BEACH, VA. 23451
ph: 757.663.9800
gsimon1230@cox.net



1228 PERIMETER PARKWAY #201
VIRGINIA BEACH, VA. 23454
ph. 757.427.1020
email: jdc@SMANDF.com

1230 ARCHITECTS © 2023

PROGRESS SET
08-22-2023

DATE 08-22-23
REVISIONS
DATE.

106 85TH
STREET LLC

CLIENT PHONE NUMBER

106 85TH
STREET

106 85TH STREET
VIRGINIA BEACH, VA. 23451

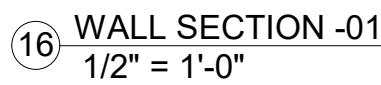
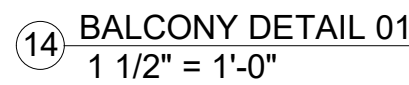
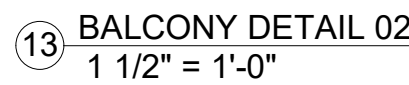
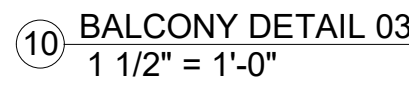
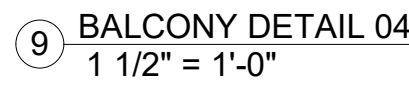
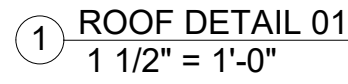
SECTIONS &
DETAILS

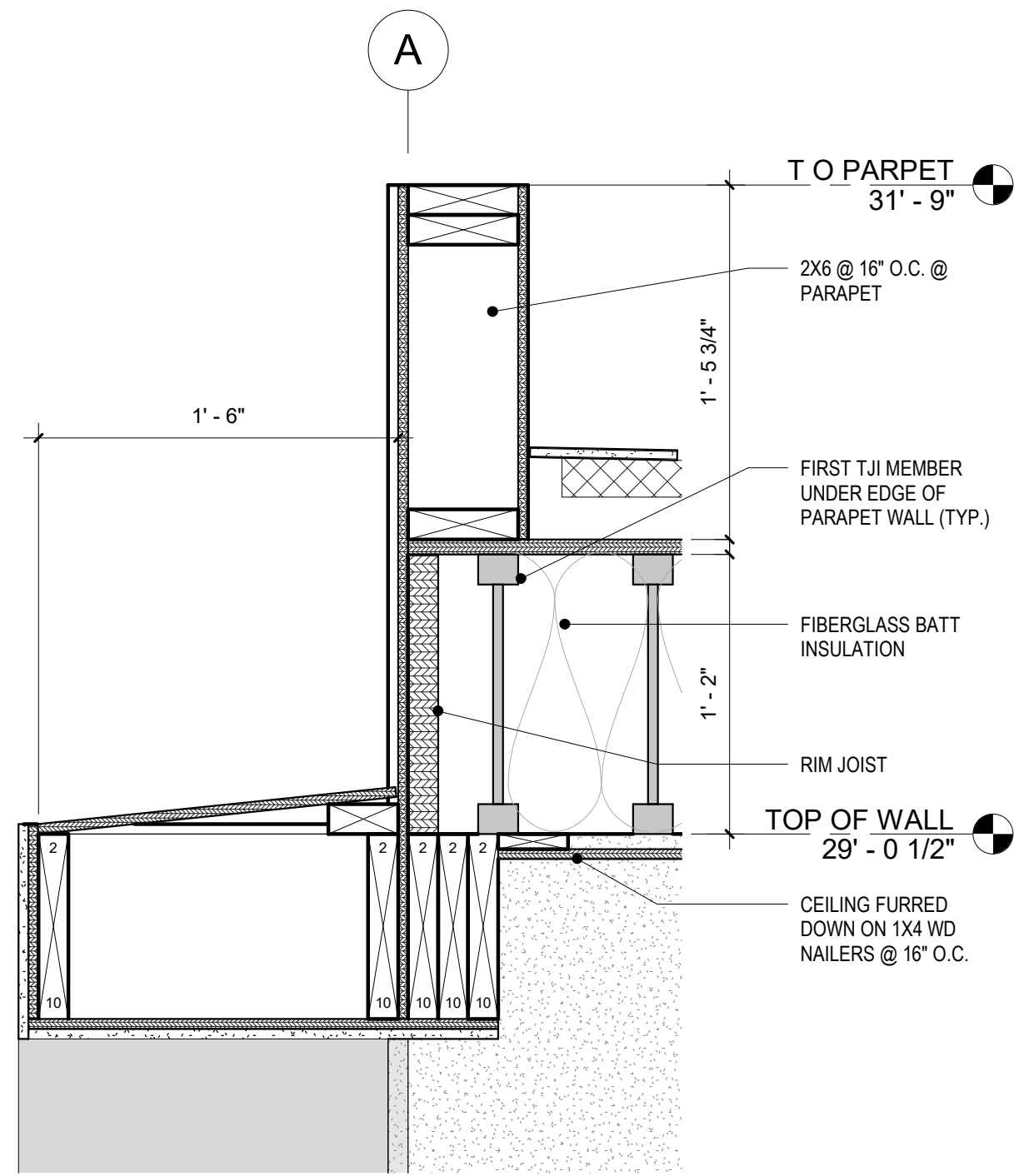
A301

SHEET NO. A301 OF XX
PROJECT NO. 2023-04

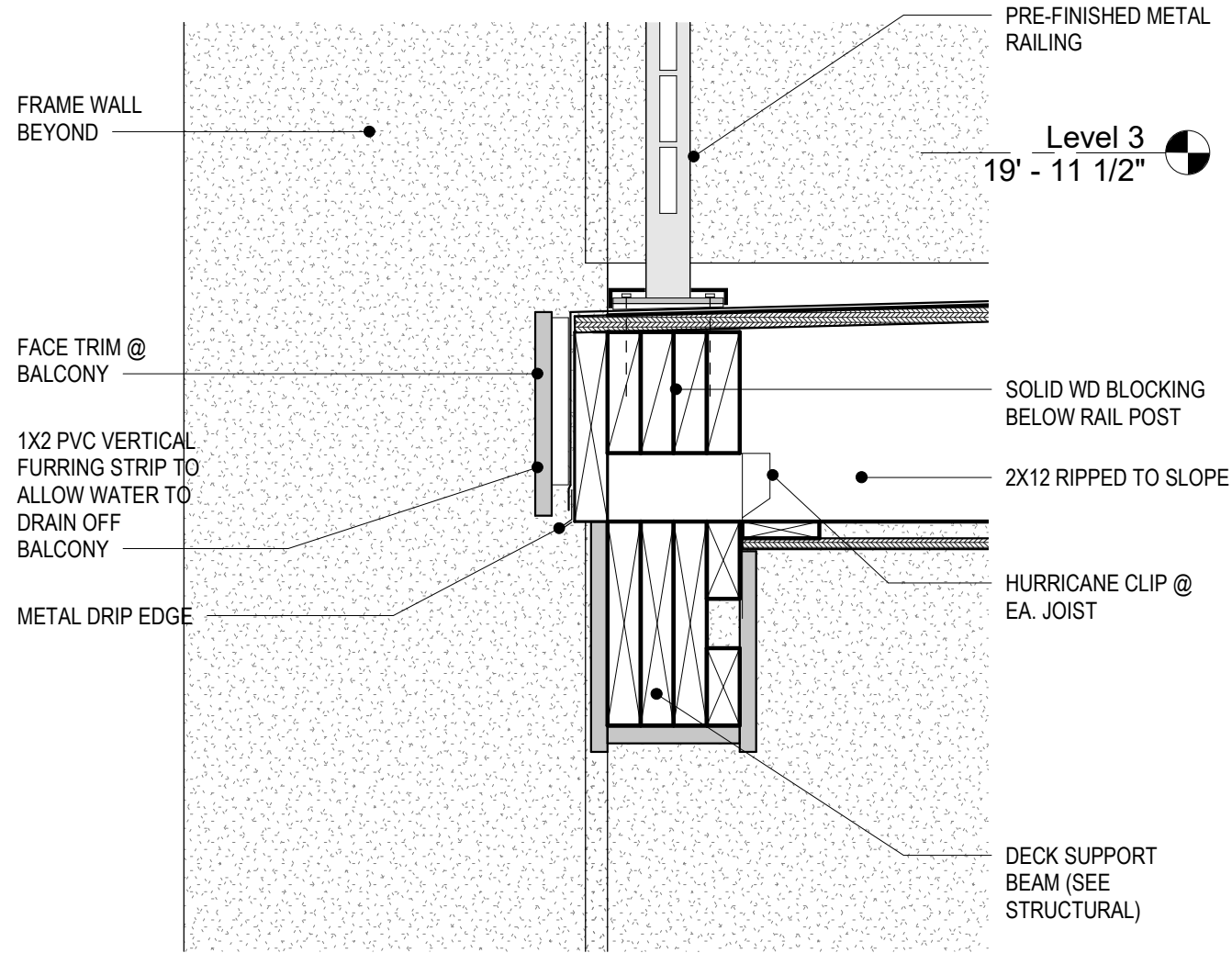
8/22/2023 12:51:50 AM

C:\Users\Greg Simon\Documents\1230A\2023-04 Quate Duplex-106 85th St\Revit files\2023-04 85th Street Duplex WORKING.rvt

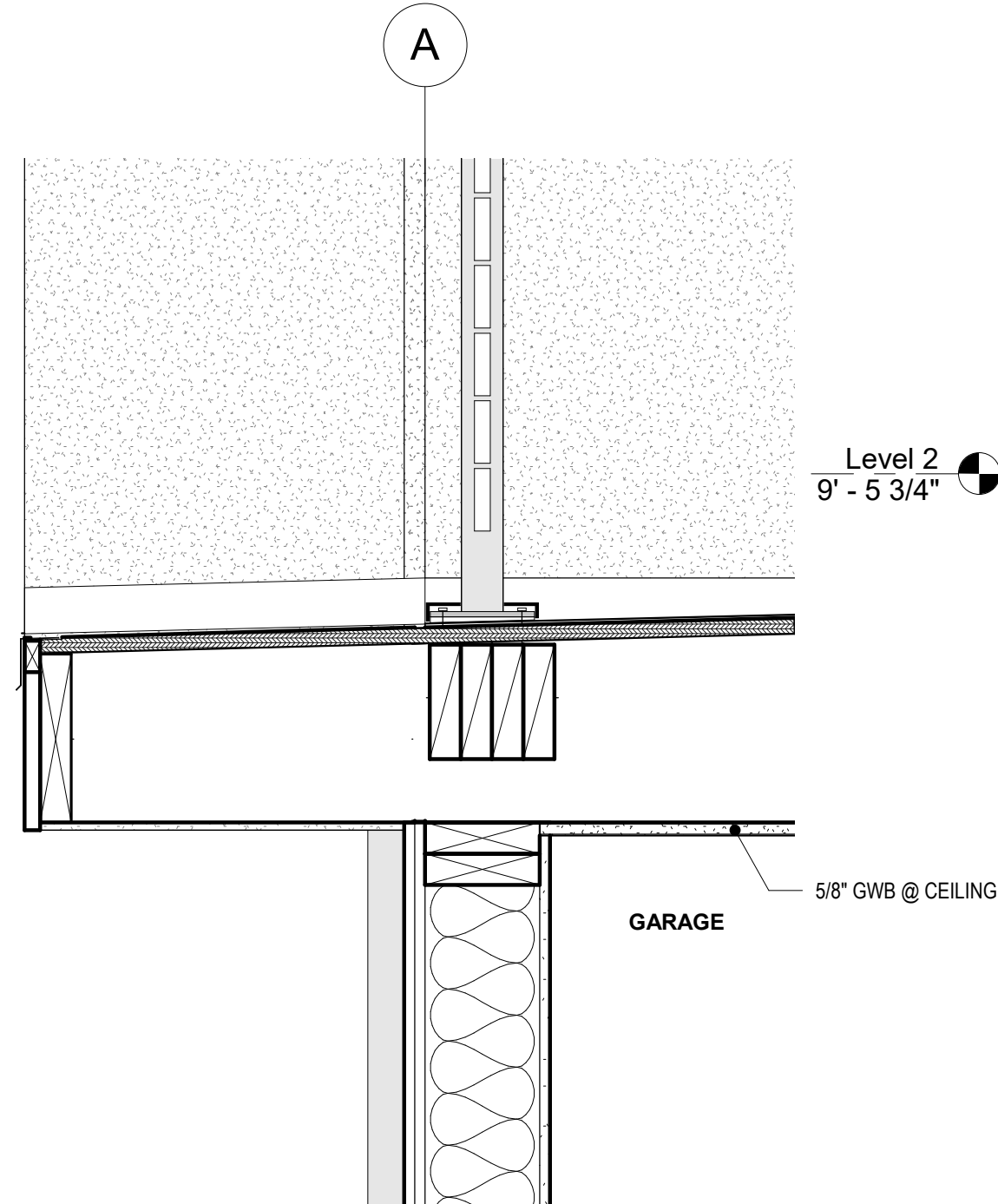




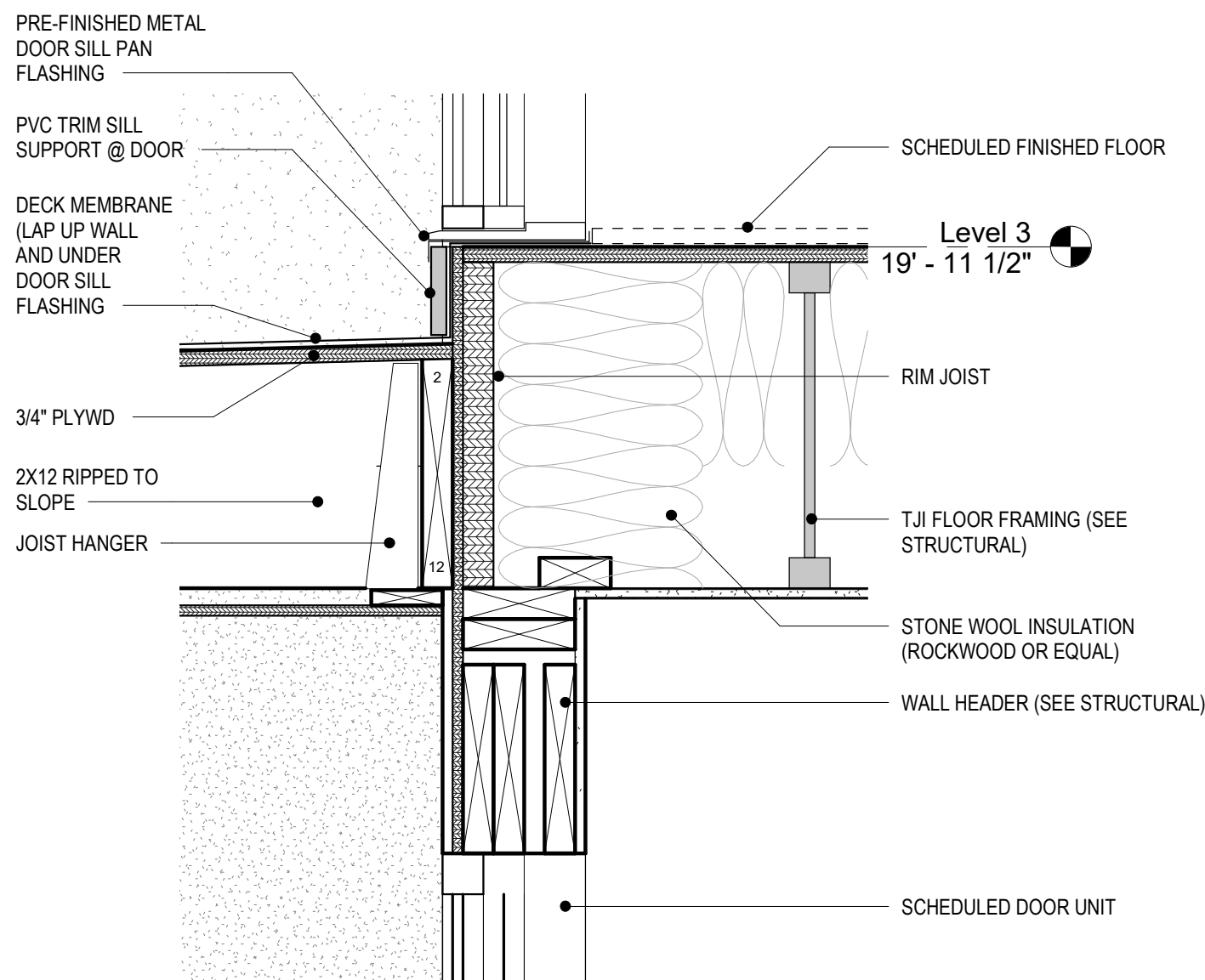
2 ROOF DETAIL 02
1 1/2" = 1'-0"



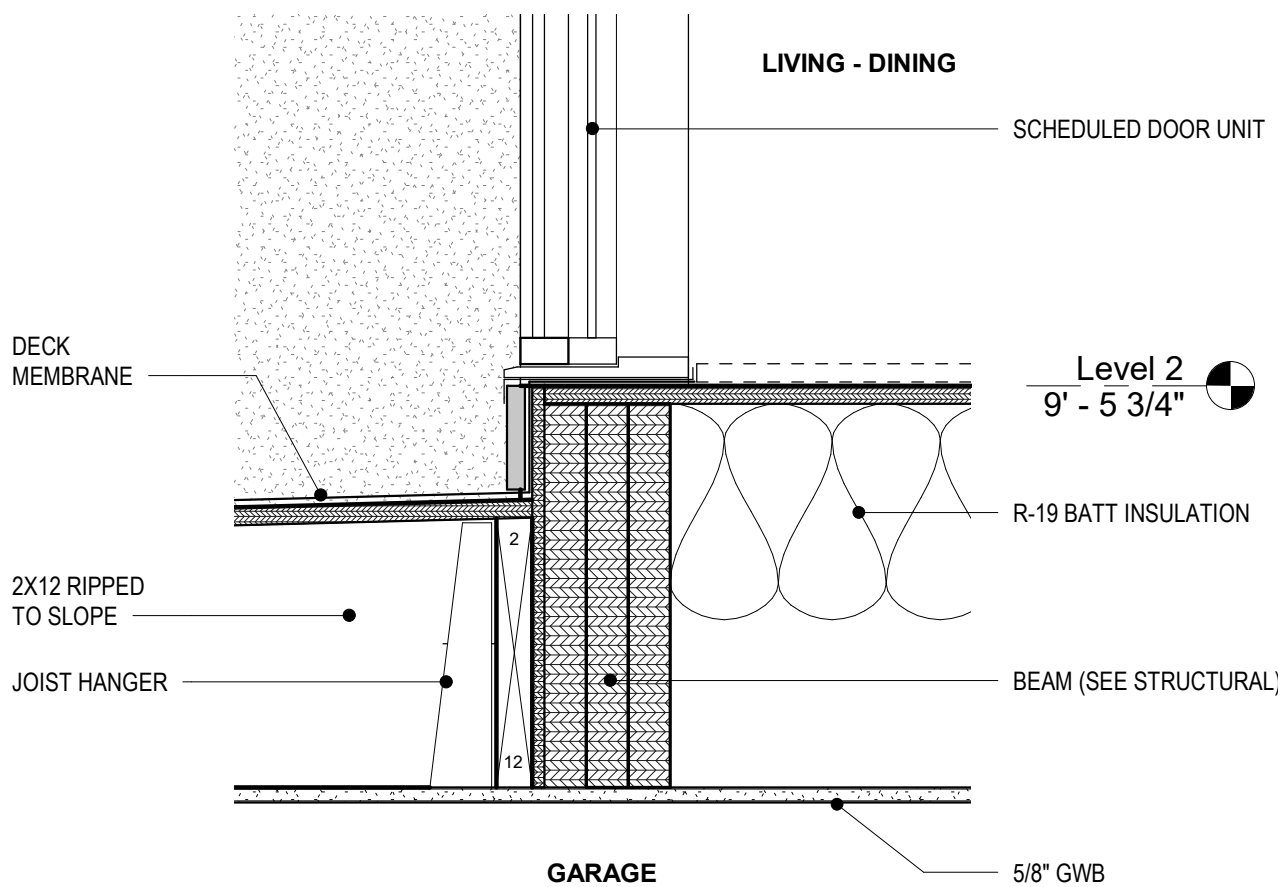
1 BALCONY DETAIL 08
1 1/2" = 1'-0"



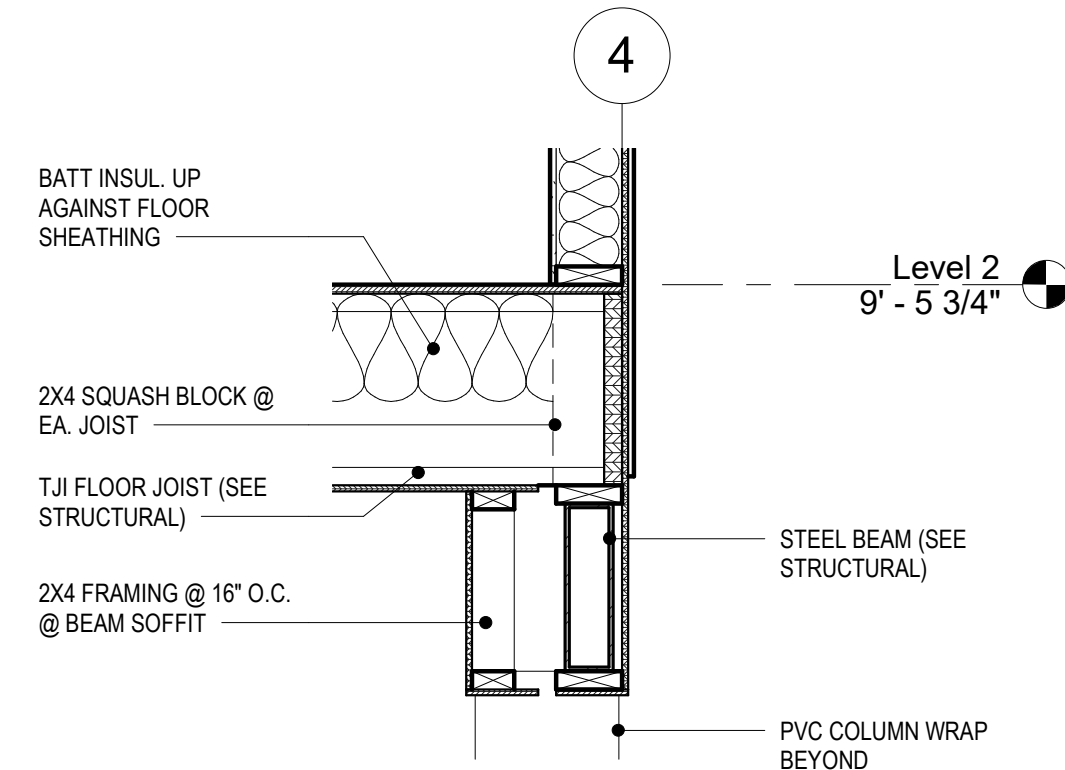
5 BALCONY DETAIL 06
1 1/2" = 1'-0"



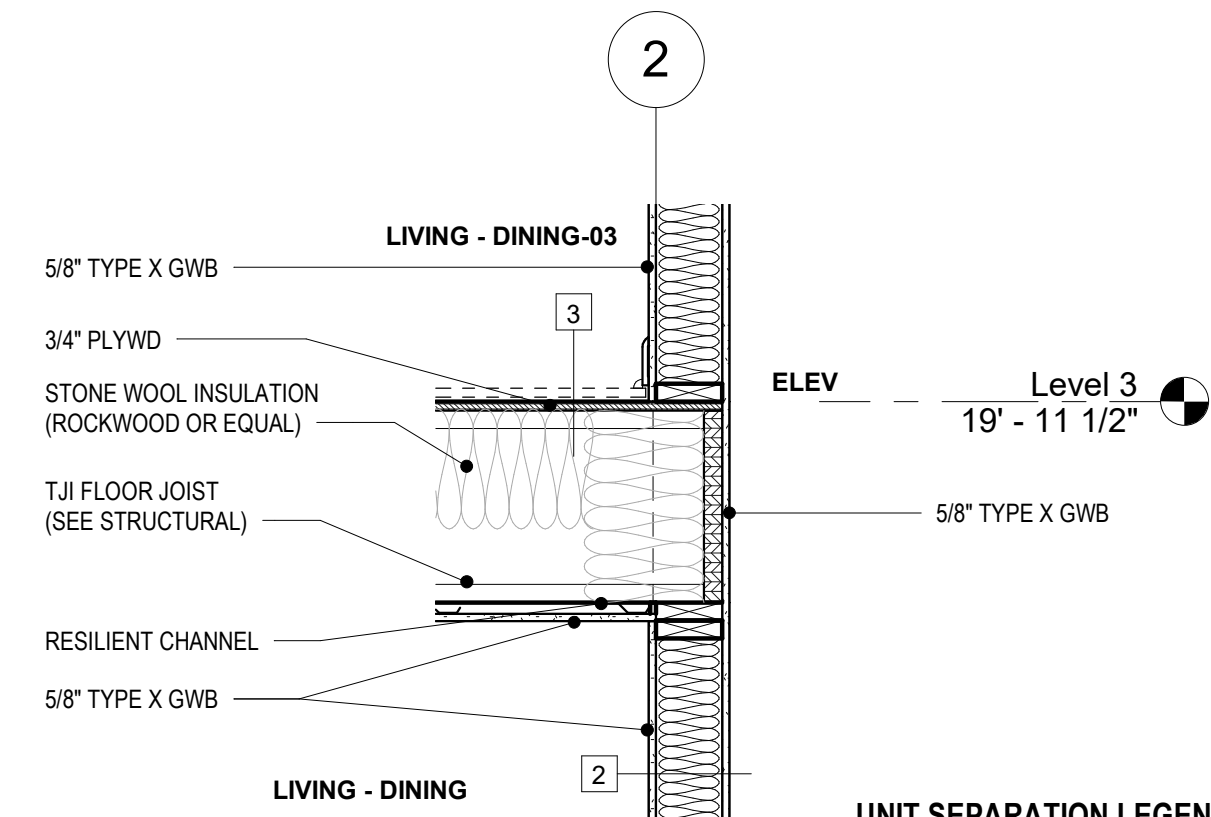
3 BALCONY DETAIL 07
1 1/2" = 1'-0"



6 BALCONY DETAIL 05
1 1/2" = 1'-0"



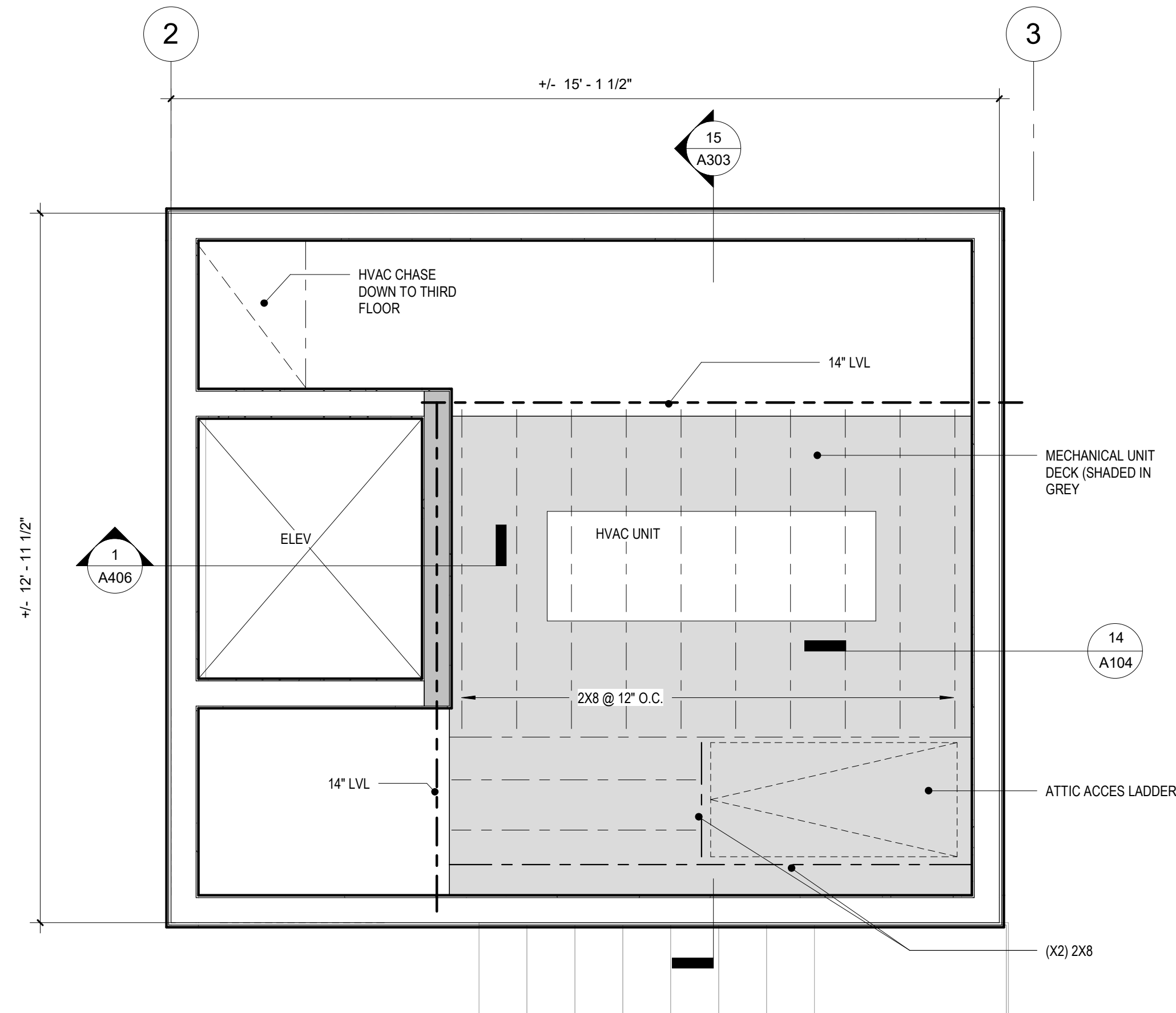
4 DETAIL @ REAR BEAM 01
3/4" = 1'-0"



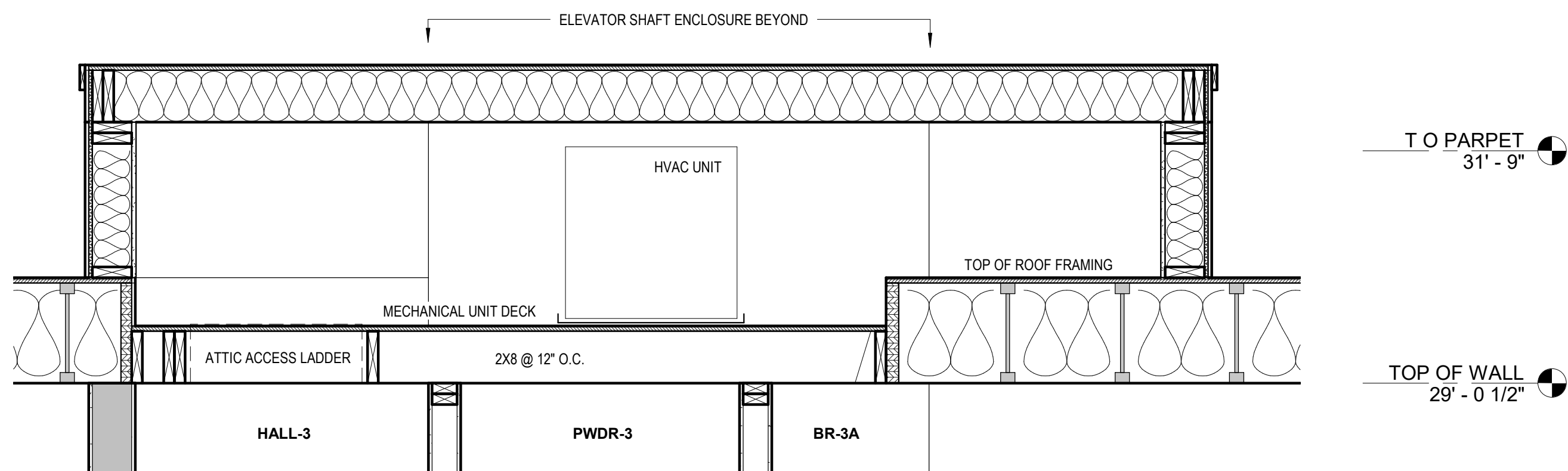
8 DETAIL @ ELEVATOR SHAFT
3/4" = 1'-0"

UNIT SEPARATION LEGEND

- 1 FLOOR OR ROOF ASSEMBLY: UL - L501 (1 HOUR)
- 2 WALL ASSEMBLY: UL - U305 (1 HOUR)
- 3 FLOOR ASSEMBLY: UL - L515 (1 HOUR)



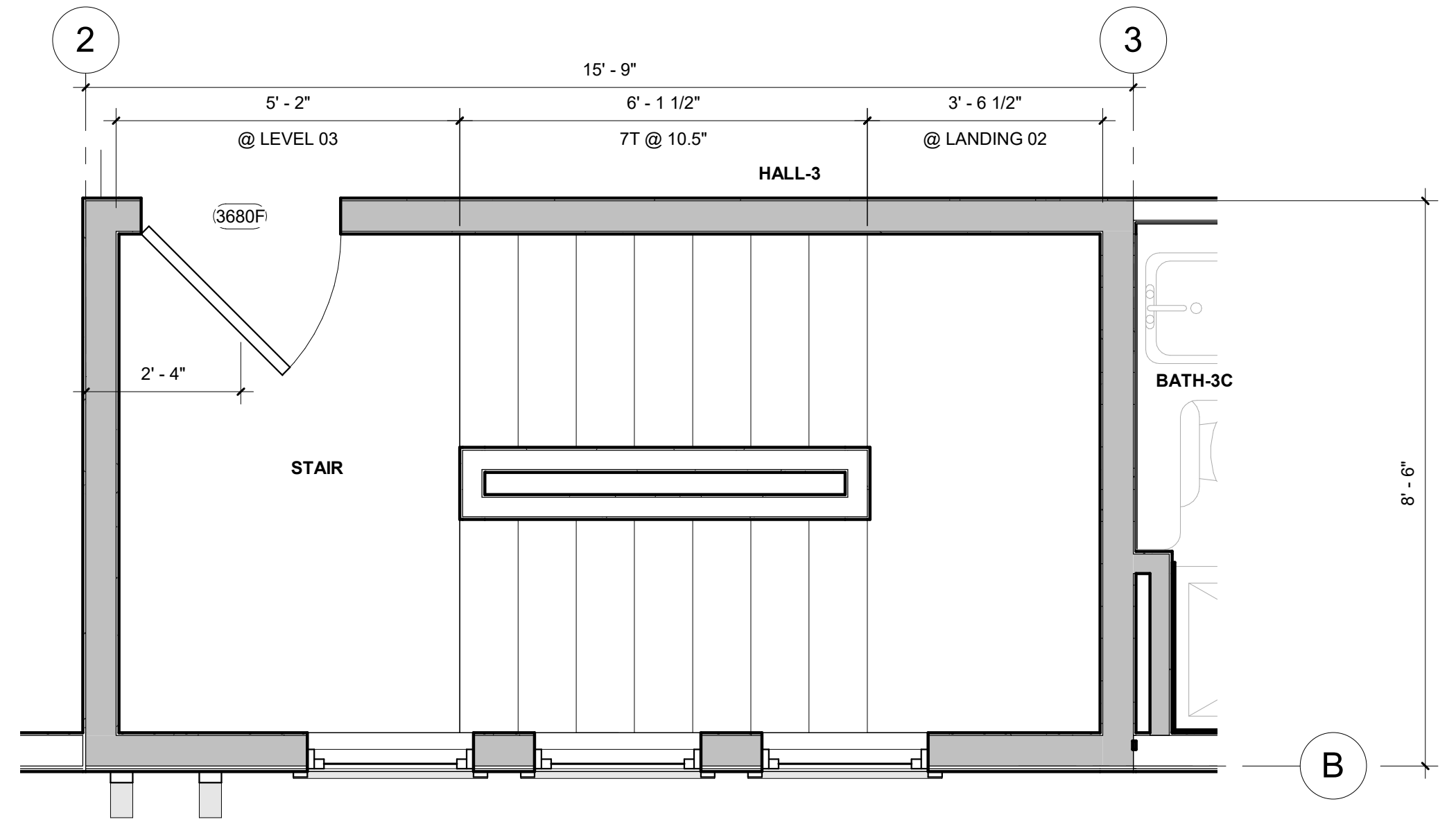
7 TOP OF WALL - HVAC ATTIC PLAN
1/2" = 1'-0"



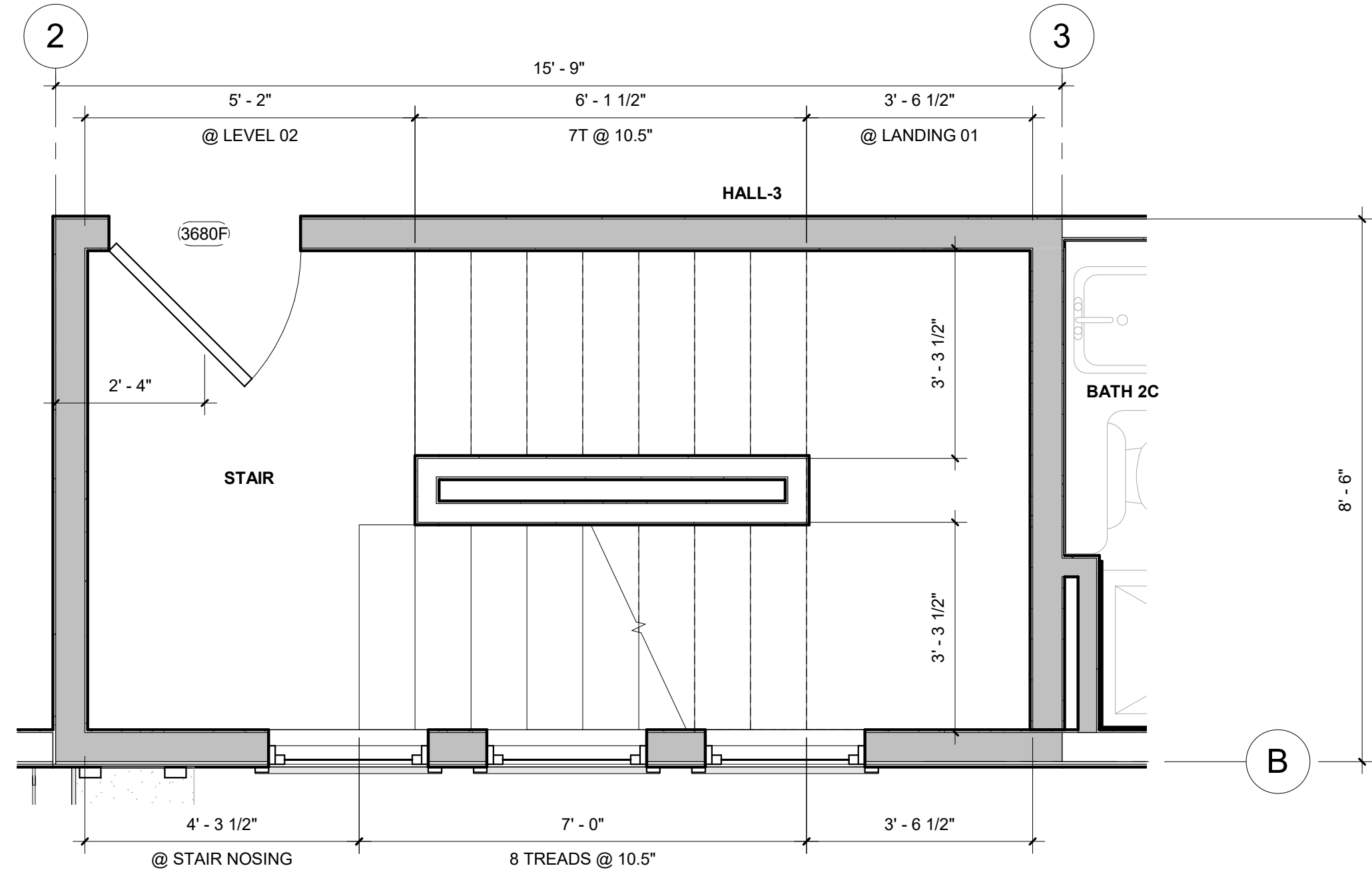
15 DETAIL @ MECHANICAL ATTIC
3/4" = 1'-0"

8/22/2023 12:51:52 AM

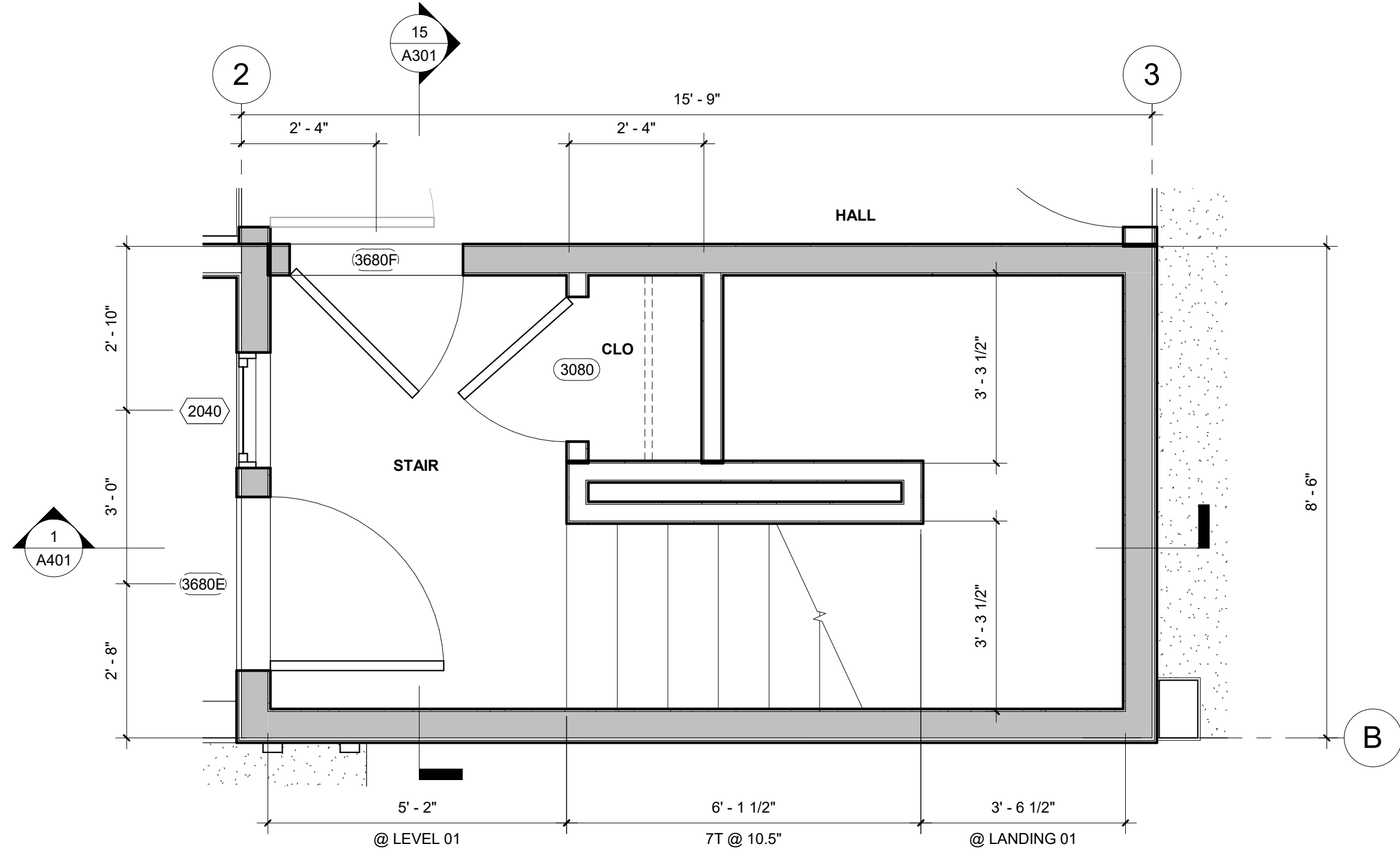
C:\Users\Greg Simon\Documents\1230A\2023-04 Quate Duplex-106 85th St\Revit files\2023-04_85th Street Duplex_WORKING.rvt



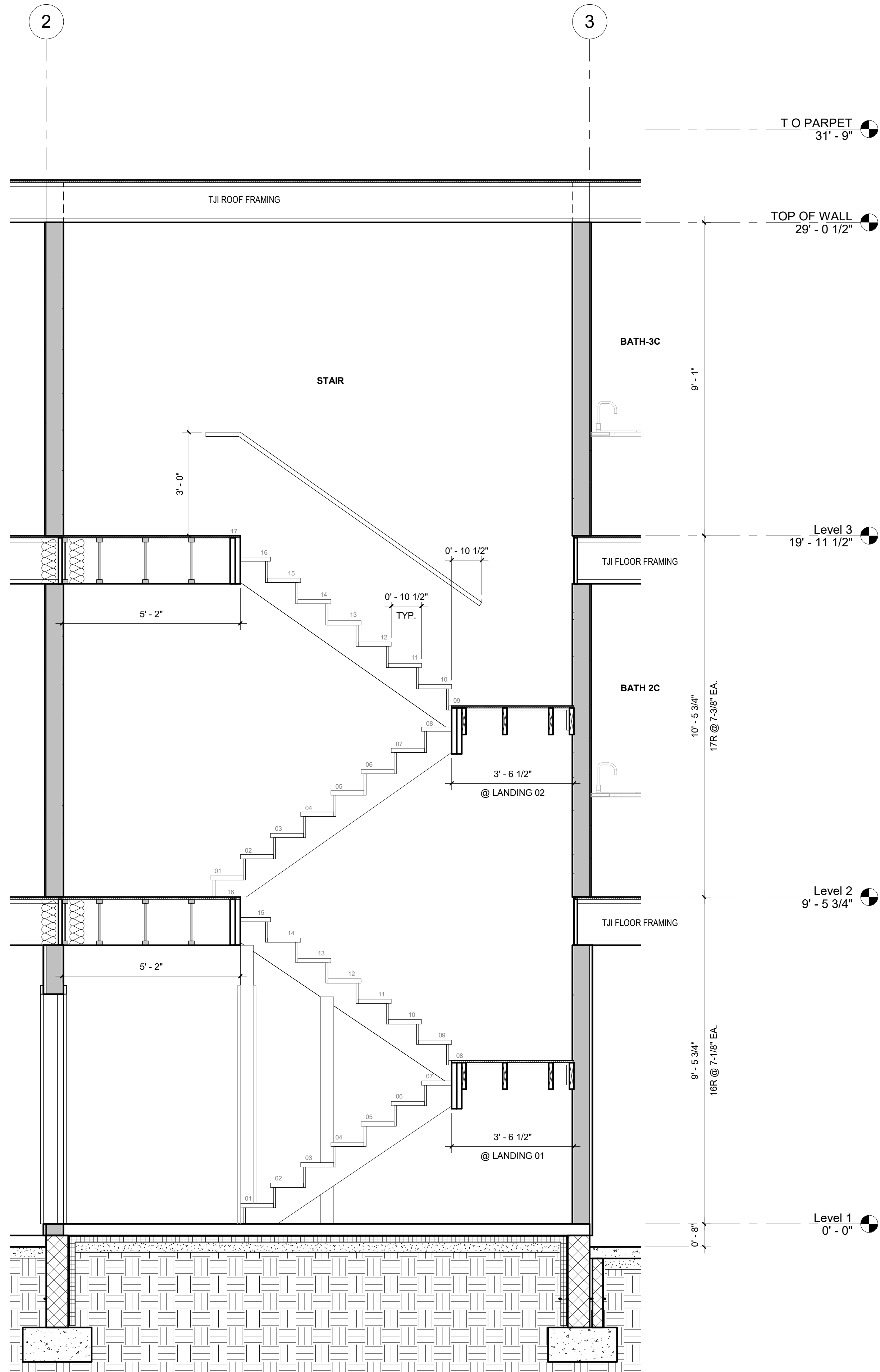
3 ENLARGED PLAN - STAIR LVL 03
1/2" = 1'-0"



2 ENLARGED PLAN - STAIR LVL 02
1/2" = 1'-0"

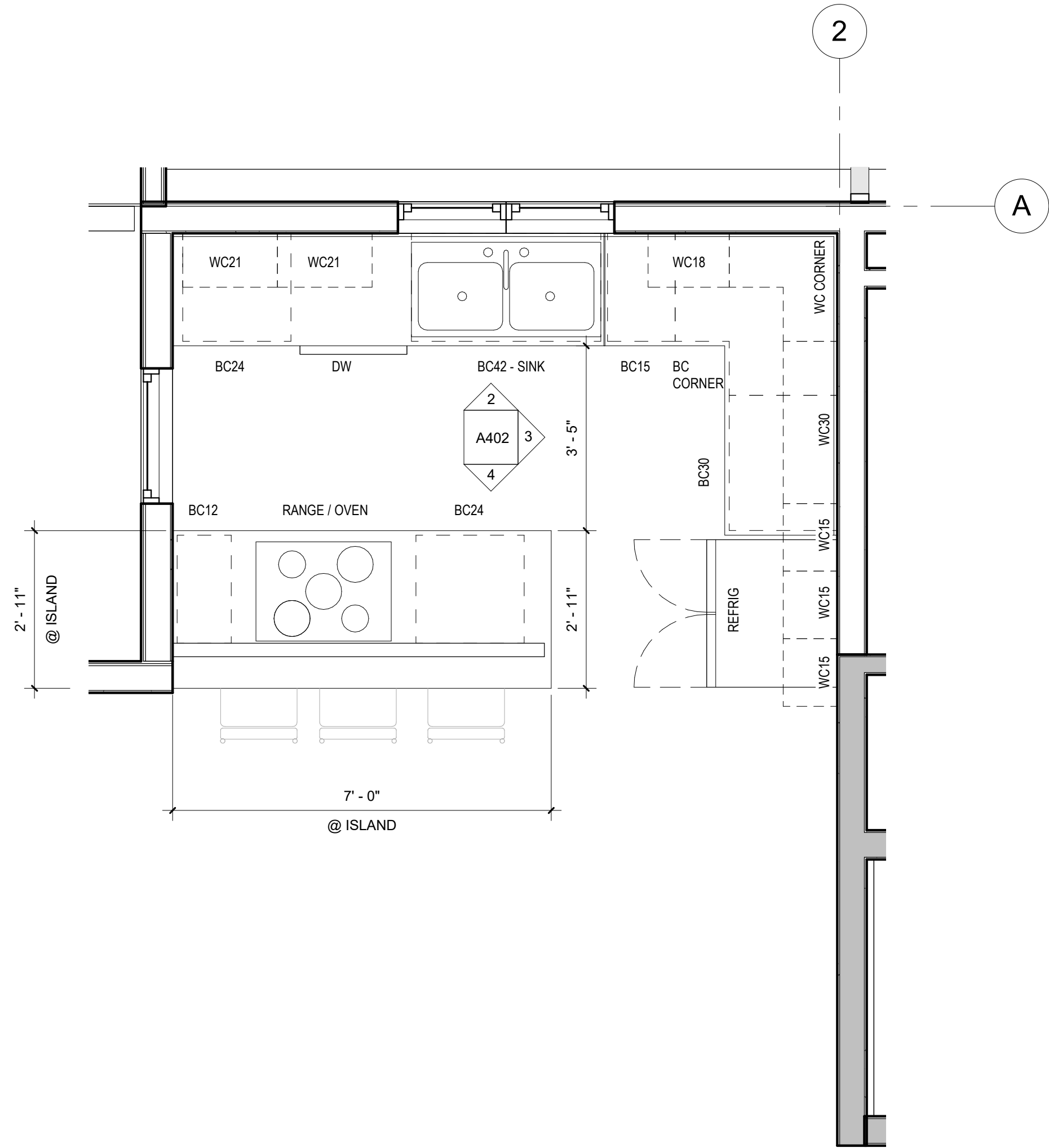


13 ENLARGED PLAN - STAIR LVL 01
1/2" = 1'-0"

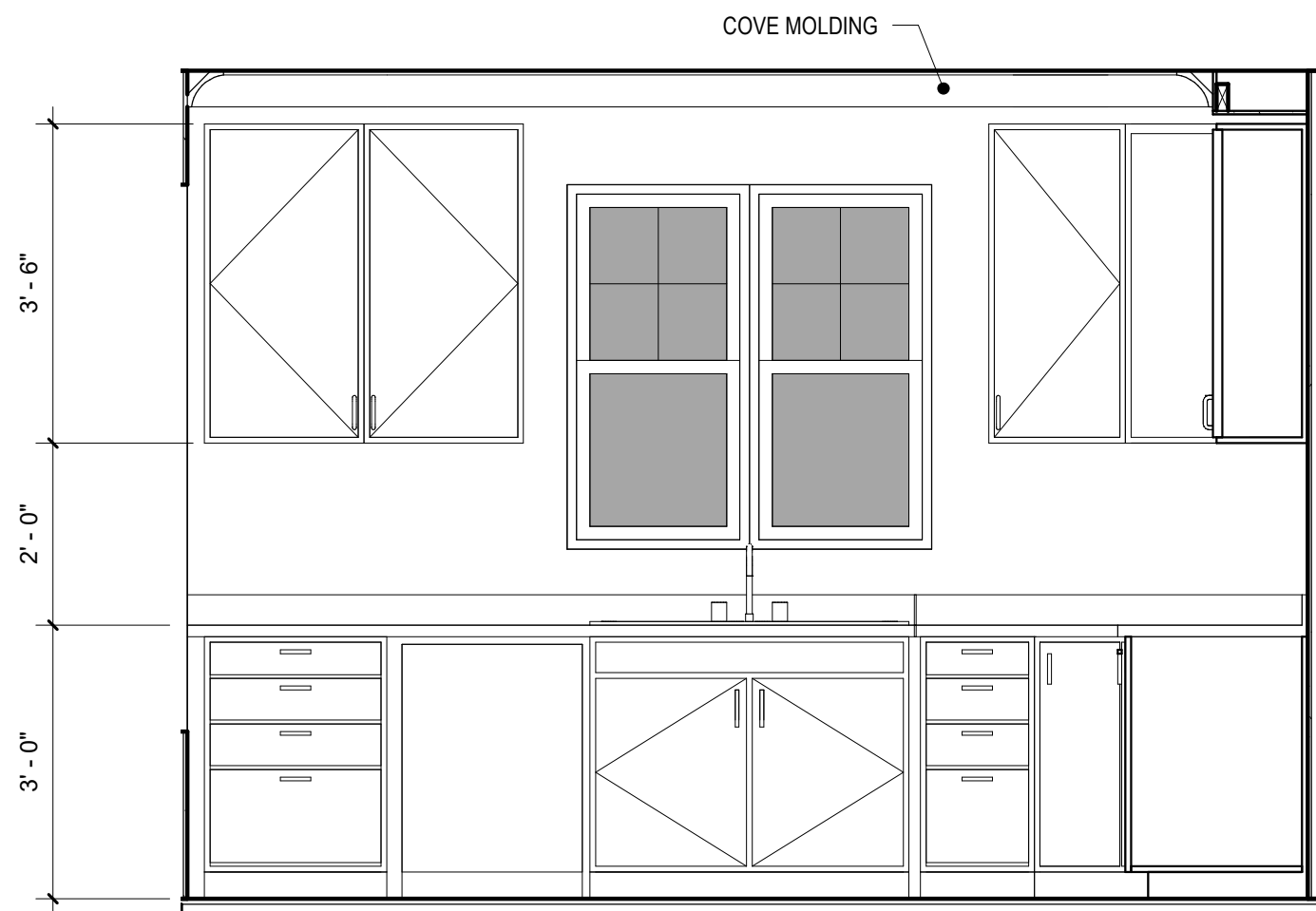


1 STAIR SECTION 01
1/2" = 1'-0"

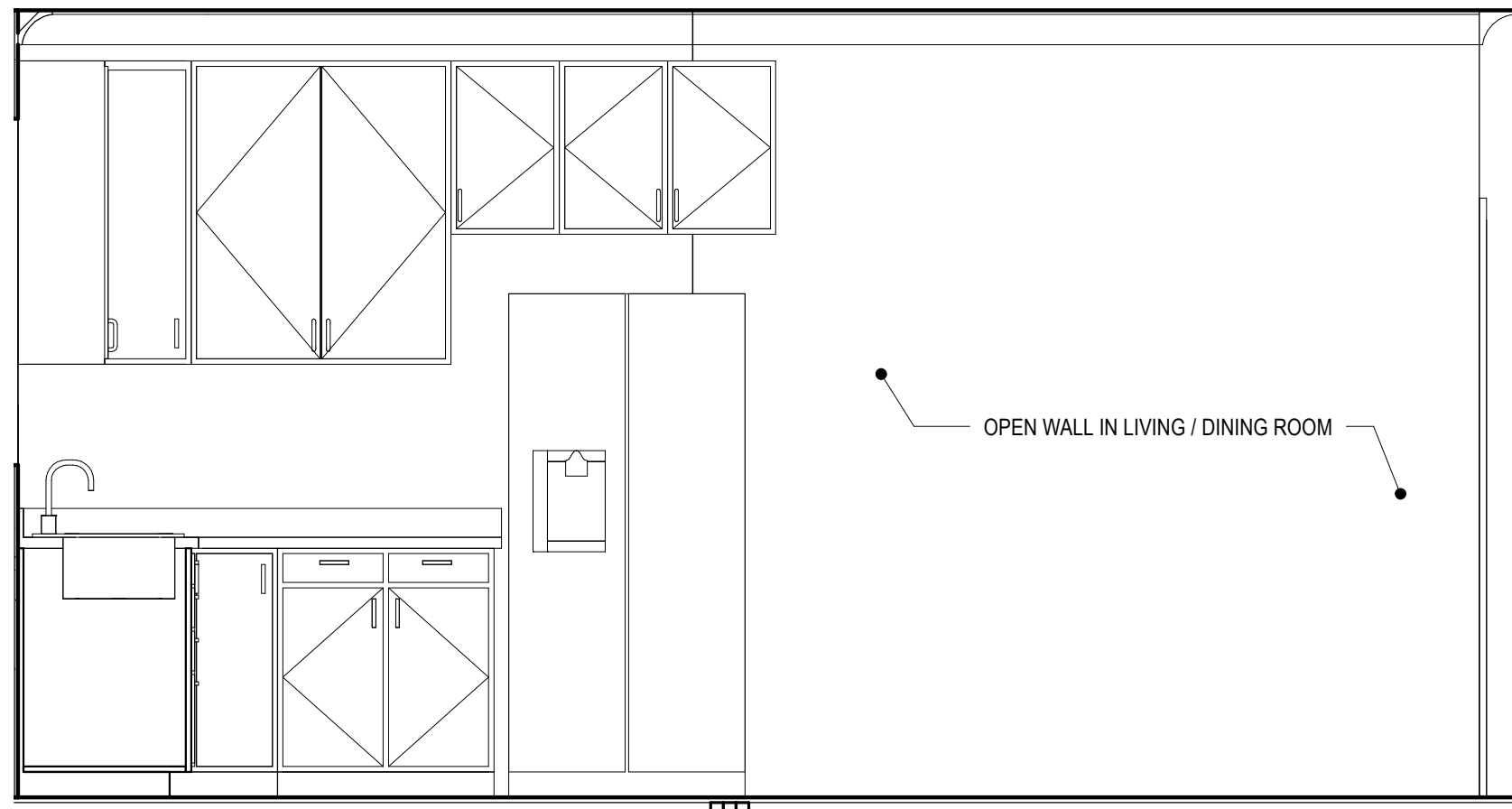




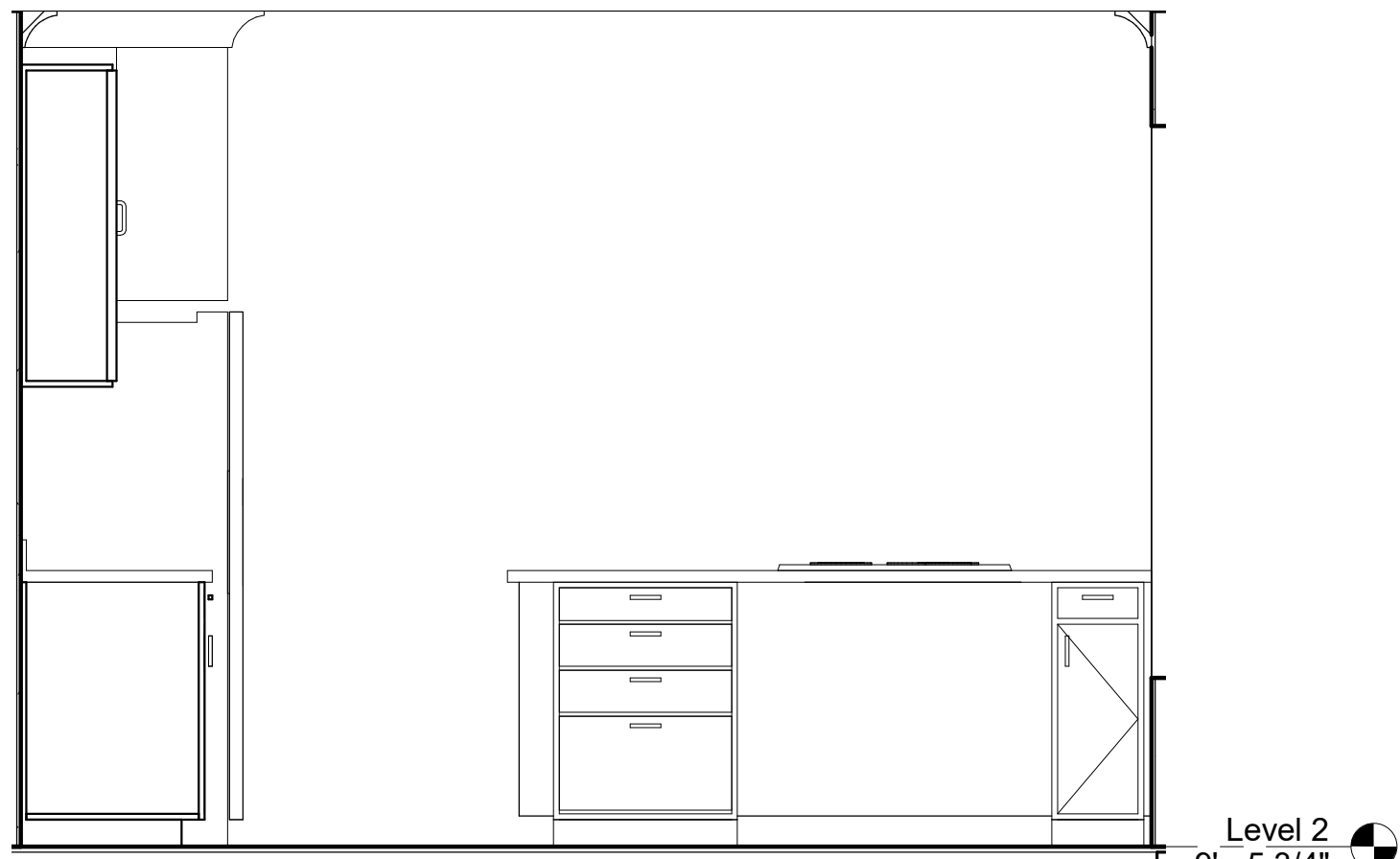
1 ENLARGED PLAN KITCHEN-02
1/2" = 1'-0"



2 ENLARGED ELEV - KITCHEN-02A
1/2" = 1'-0"



3 ENLARGED ELEV - KITCHEN-02B
1/2" = 1'-0"



4 ENLARGED ELEV - KITCHEN-02C
1/2" = 1'-0"



PROGRESS SET
08-22-2023

DATE	08-22-23
REVISIONS	
#	DATE.

106 85TH
STREET LLC

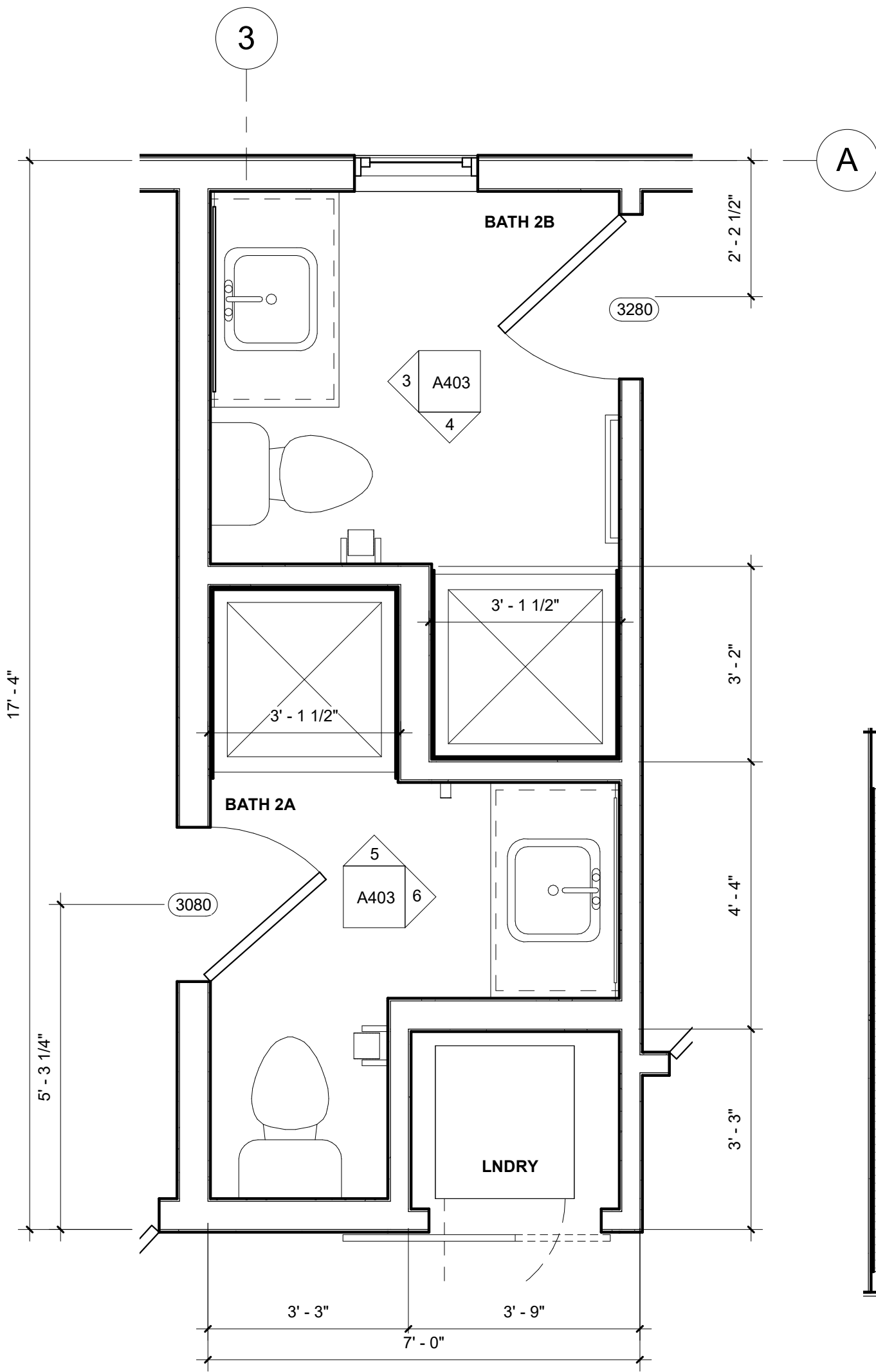
CLIENT PHONE NUMBER

106 85TH
STREET

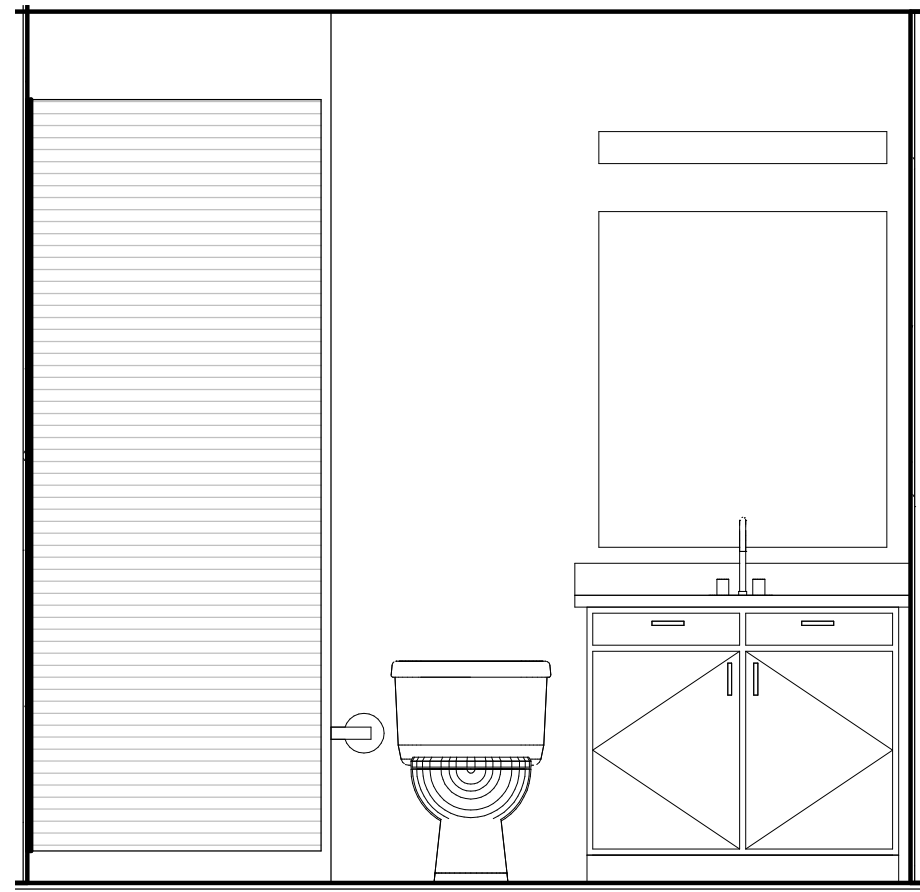
106 85TH STREET
VIRGINIA BEACH, VA. 23451

ENLARGED
PLANS & ELEV
KITCHEN 2ND
FLOOR

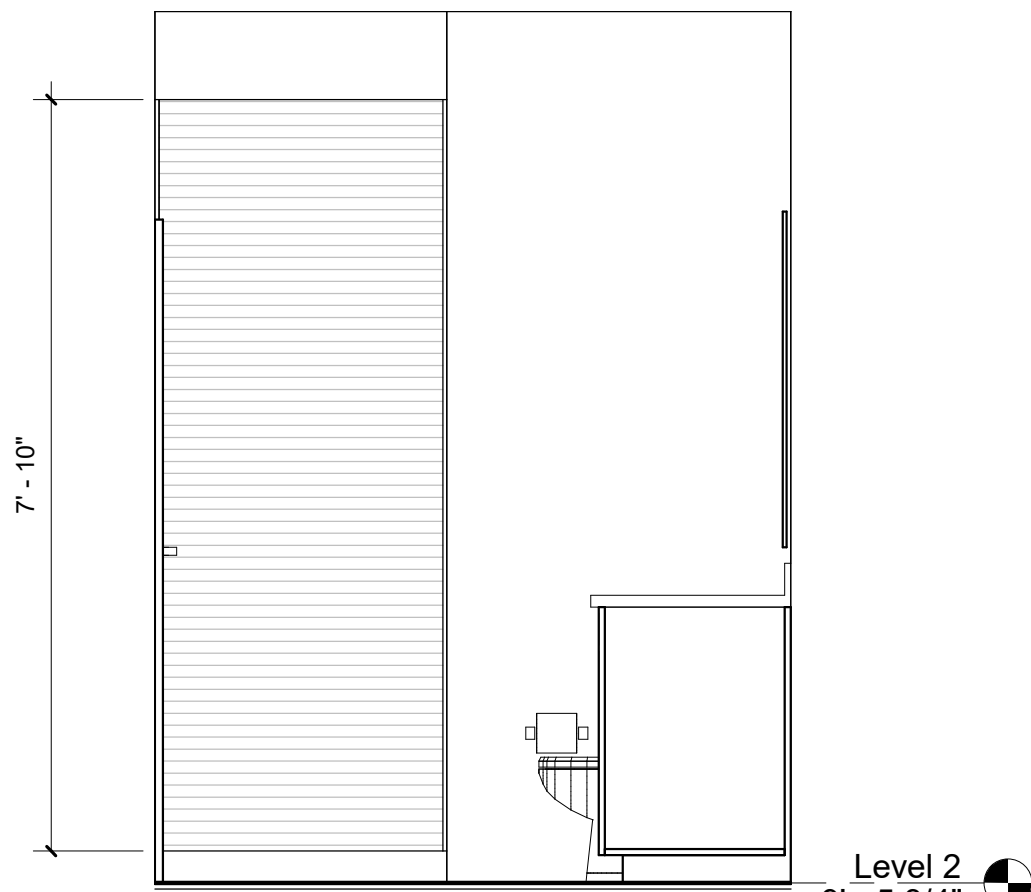
A402



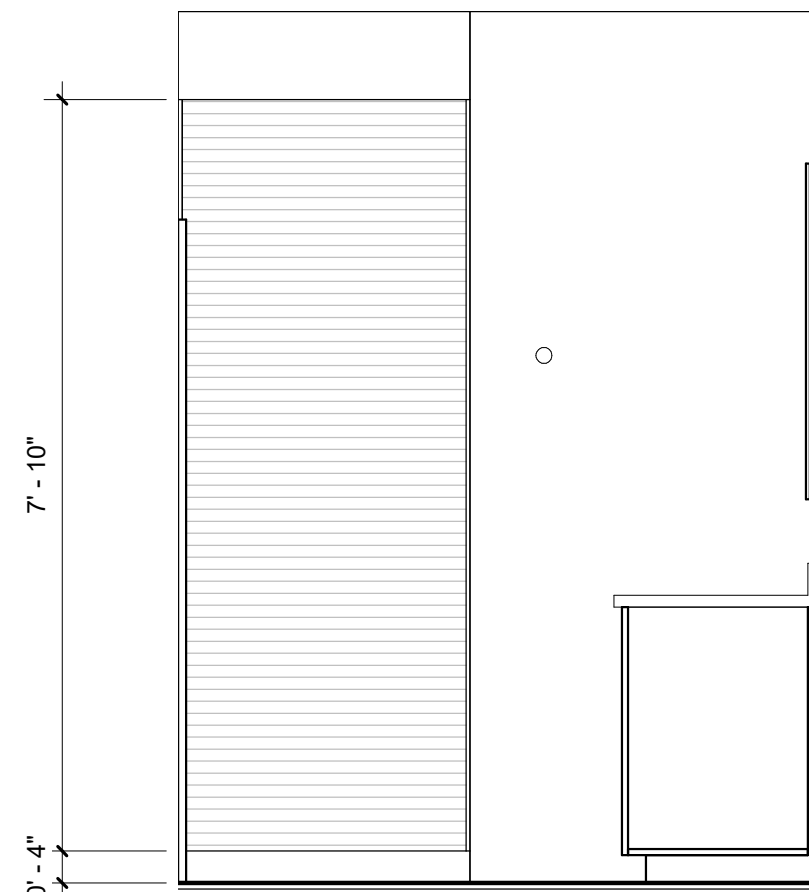
1 ENLARGED PLAN LEVEL 02 BATH 2A-2B
1/2" = 1'-0"



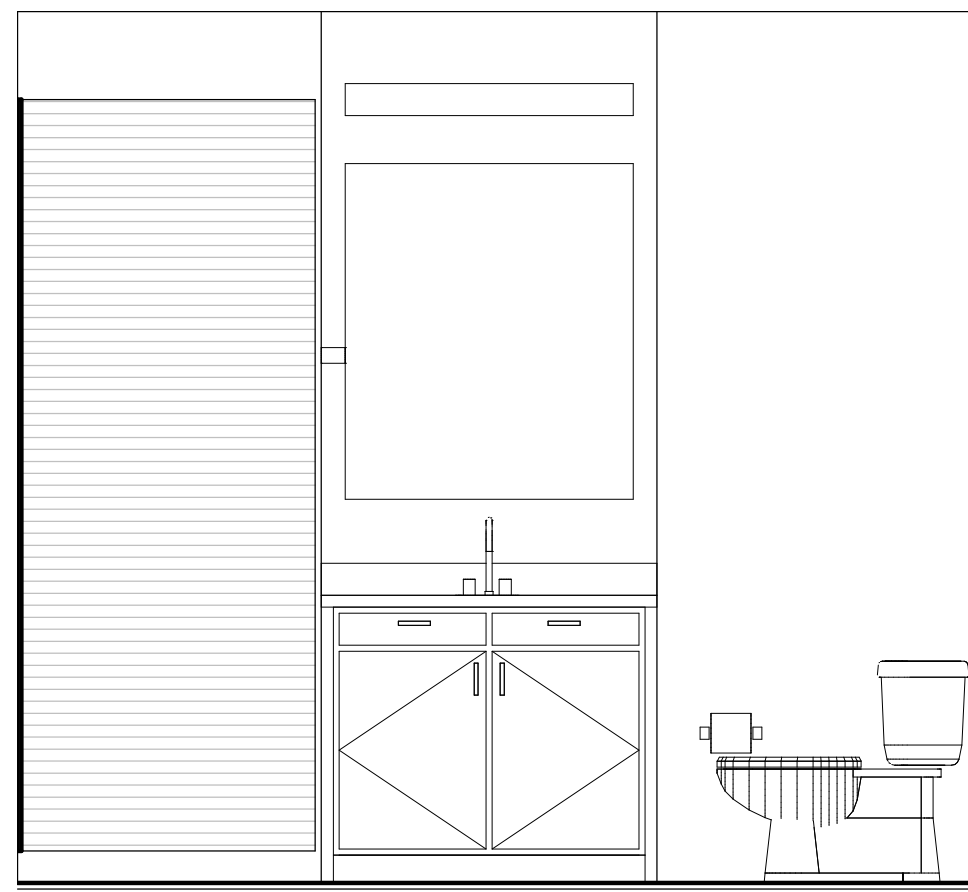
3 ENLARGED ELEV - 3 BATH-2B
1/2" = 1'-0"



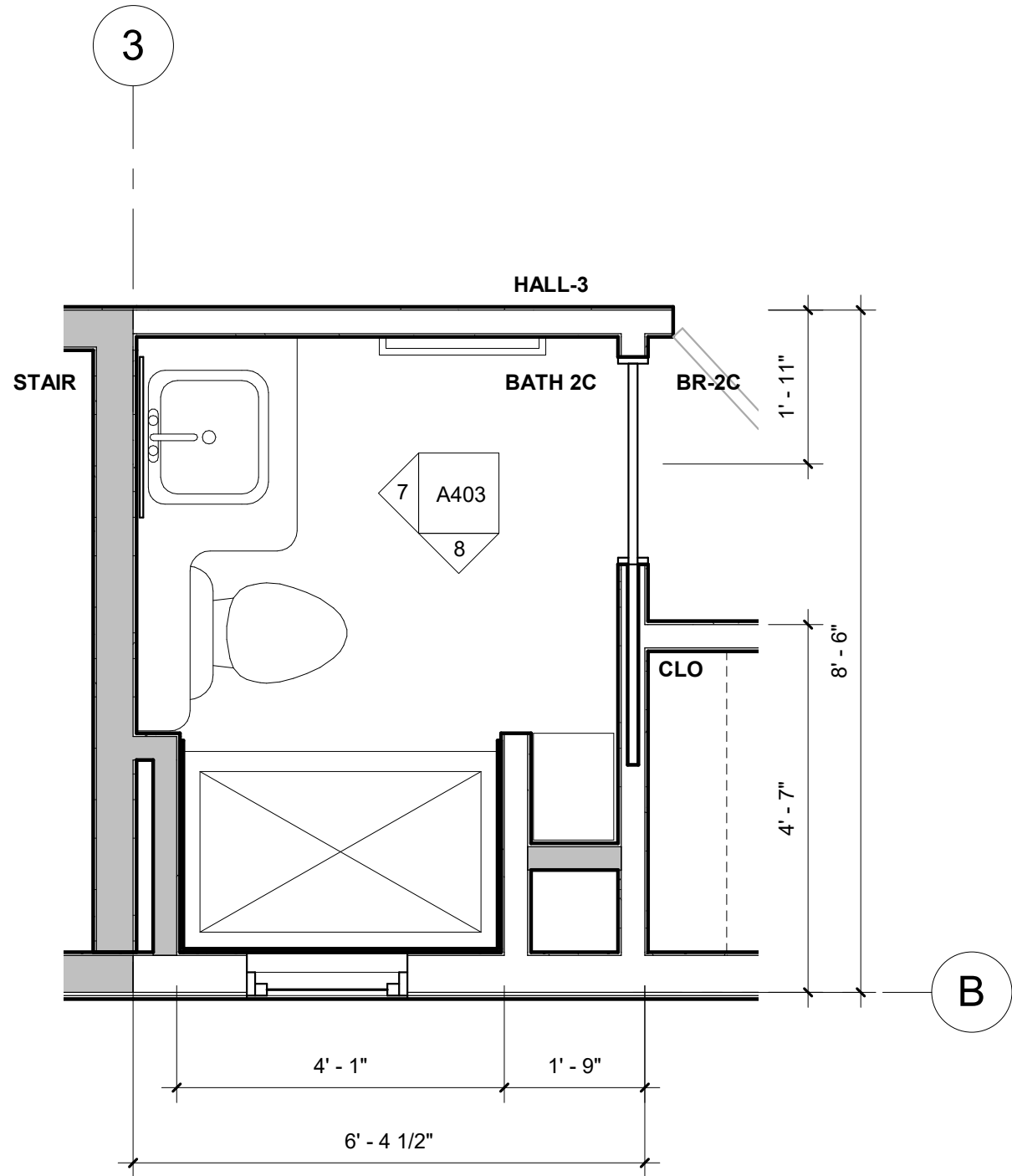
4 ENLARGED ELEV - 4 BATH-2B
1/2" = 1'-0"



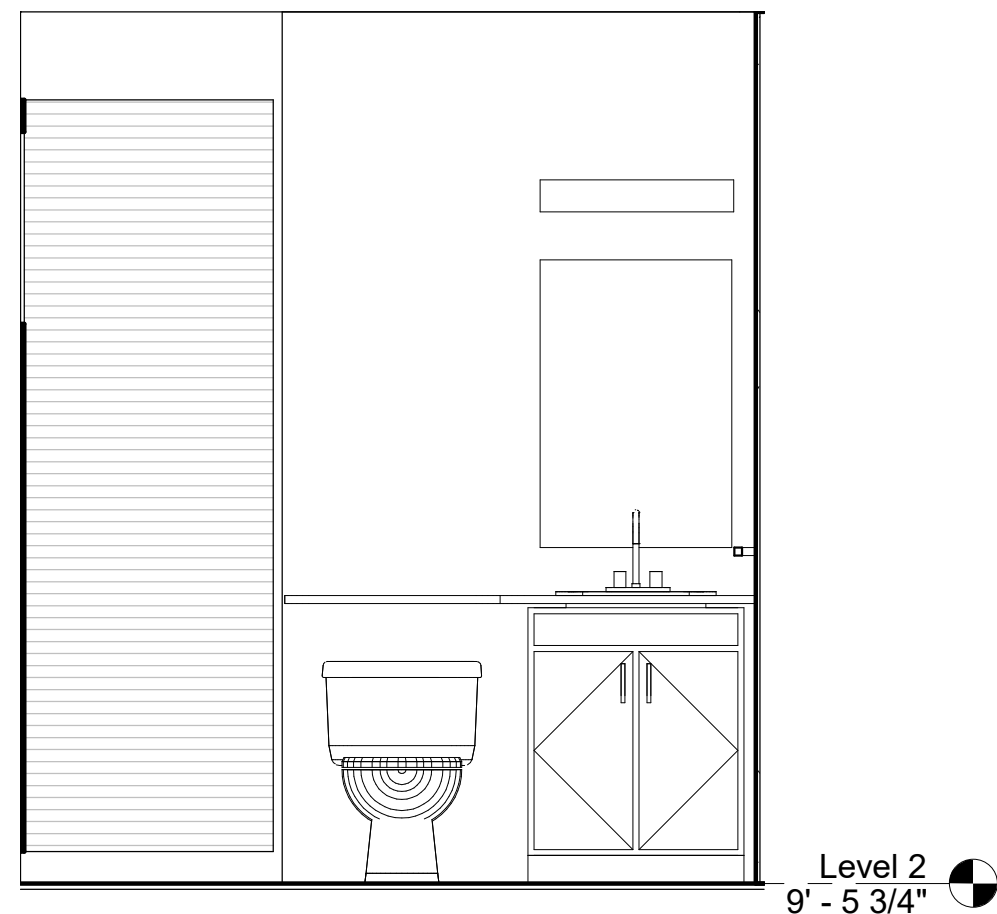
5 ENLARGED ELEV - 5 BATH-2A
1/2" = 1'-0"



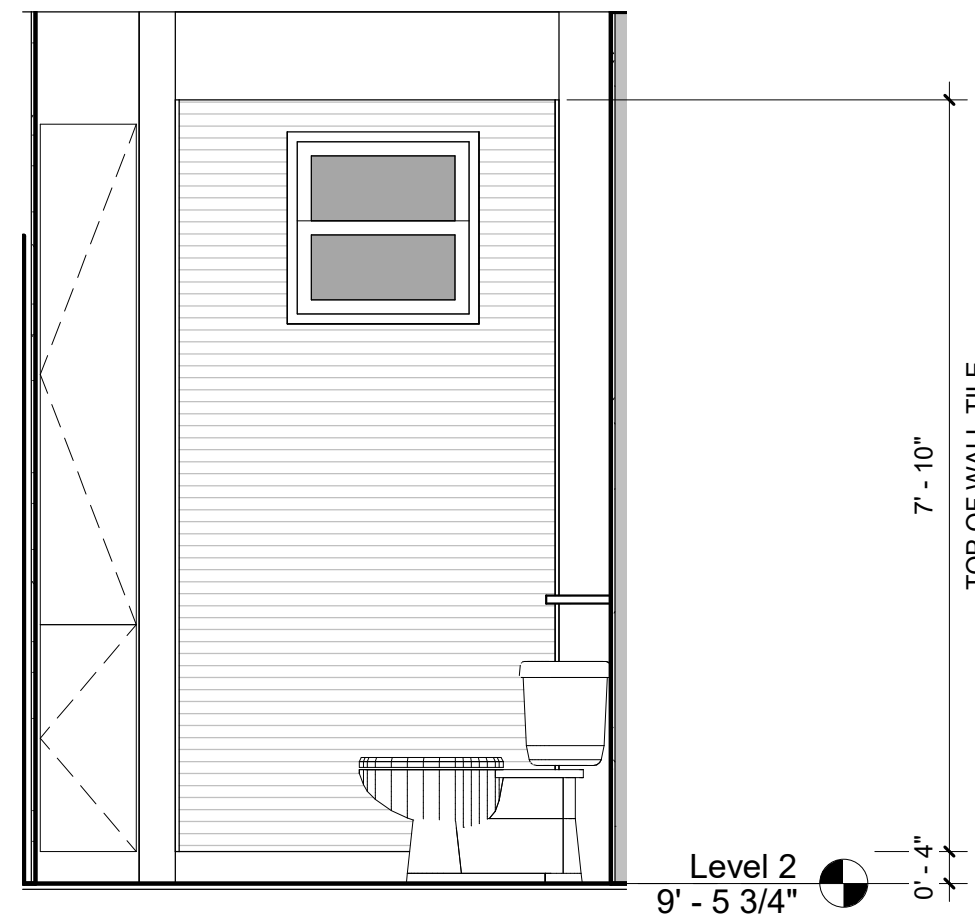
6 ENLARGED ELEV - 6 BATH-2A
1/2" = 1'-0"



2 ENLARGED PLAN LEVEL 02 BATH 2C
1/2" = 1'-0"

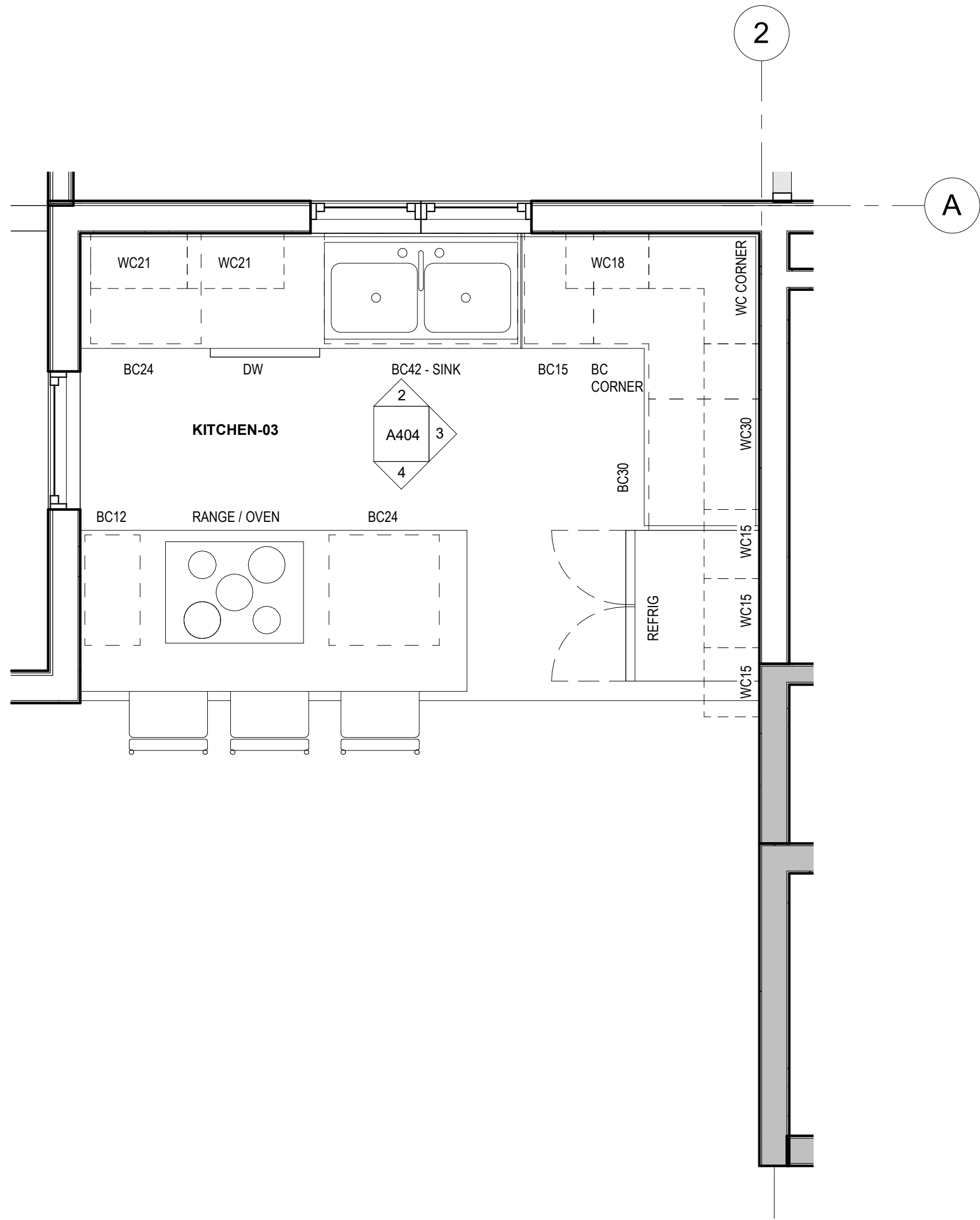


7 ENLARGED ELEV - 7 BATH-2C
1/2" = 1'-0"

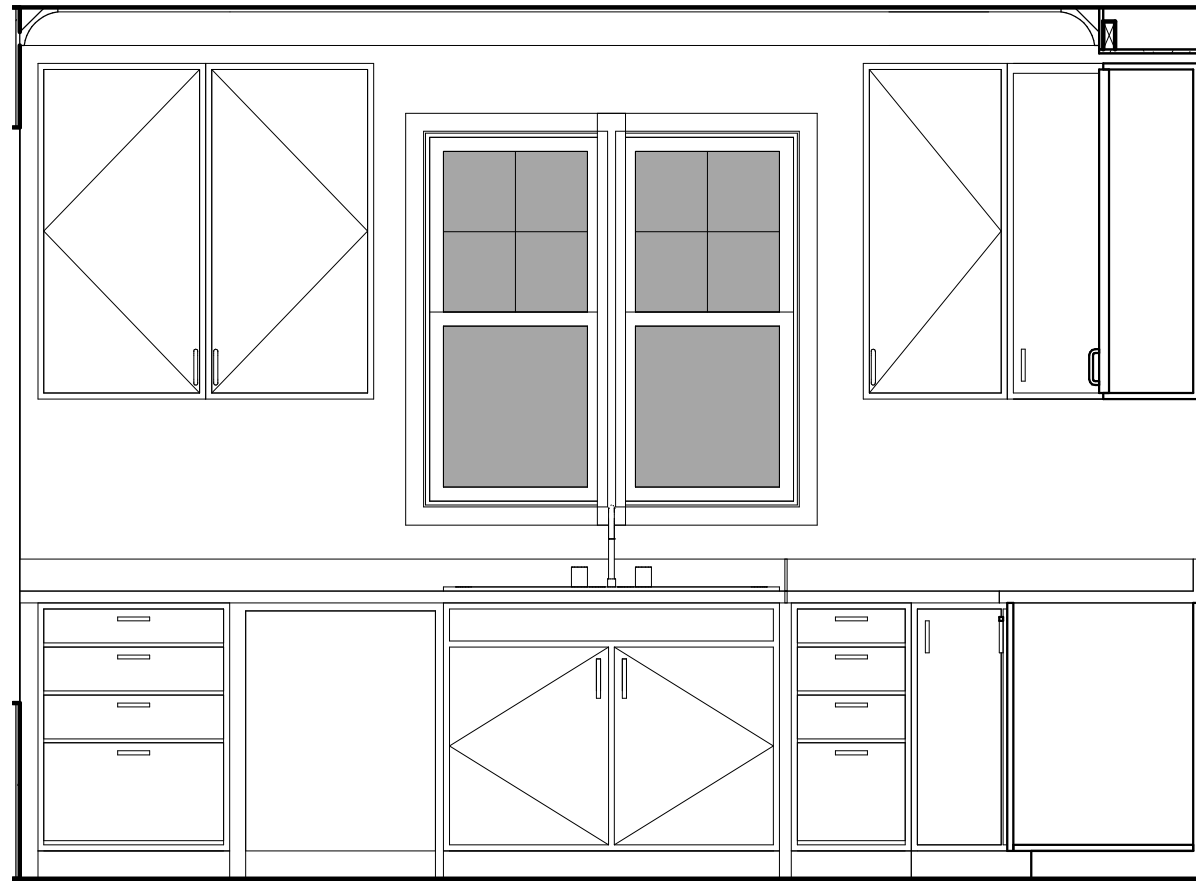


8 ENLARGED ELEV - 8 BATH-2C
1/2" = 1'-0"

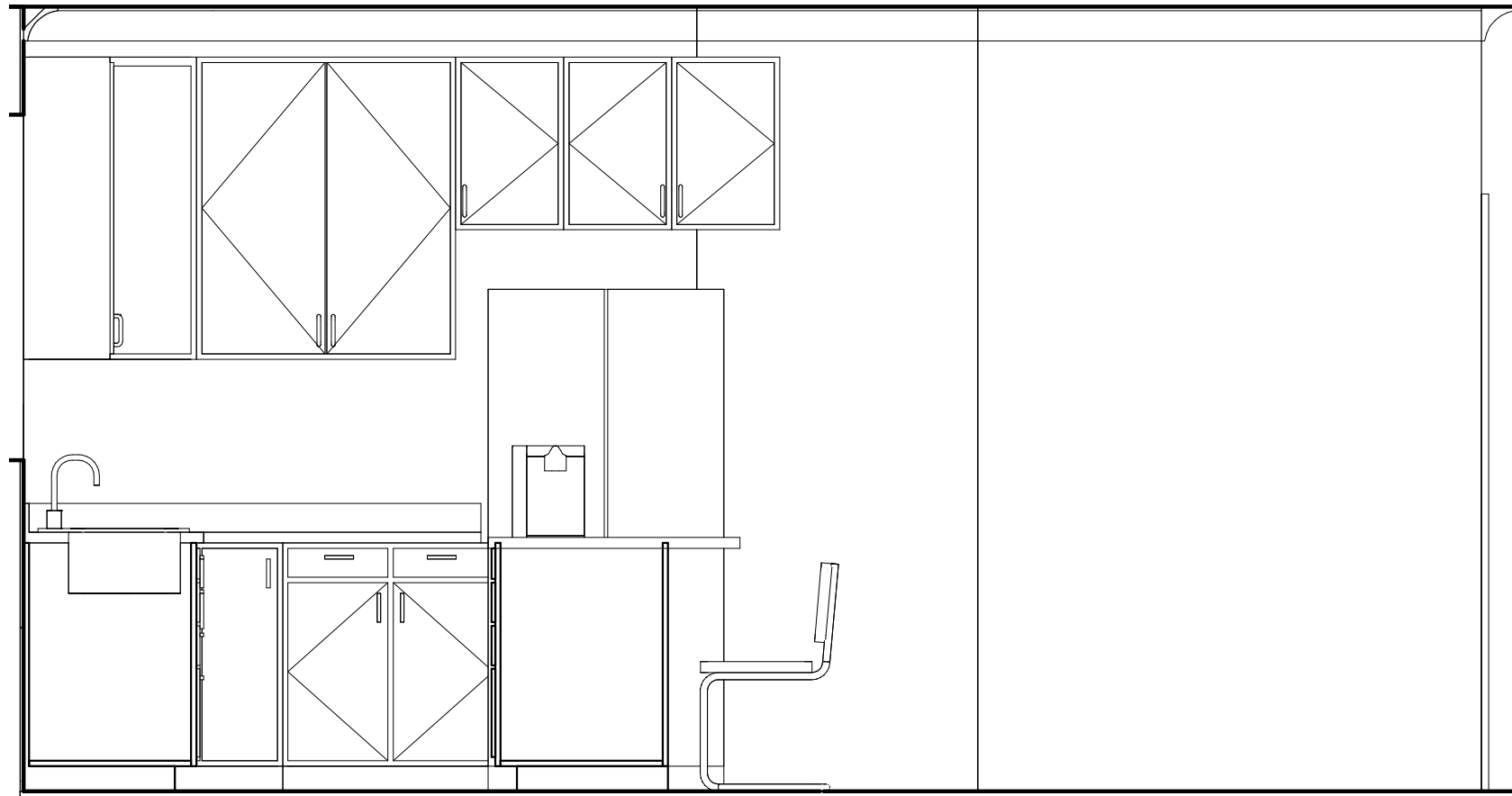




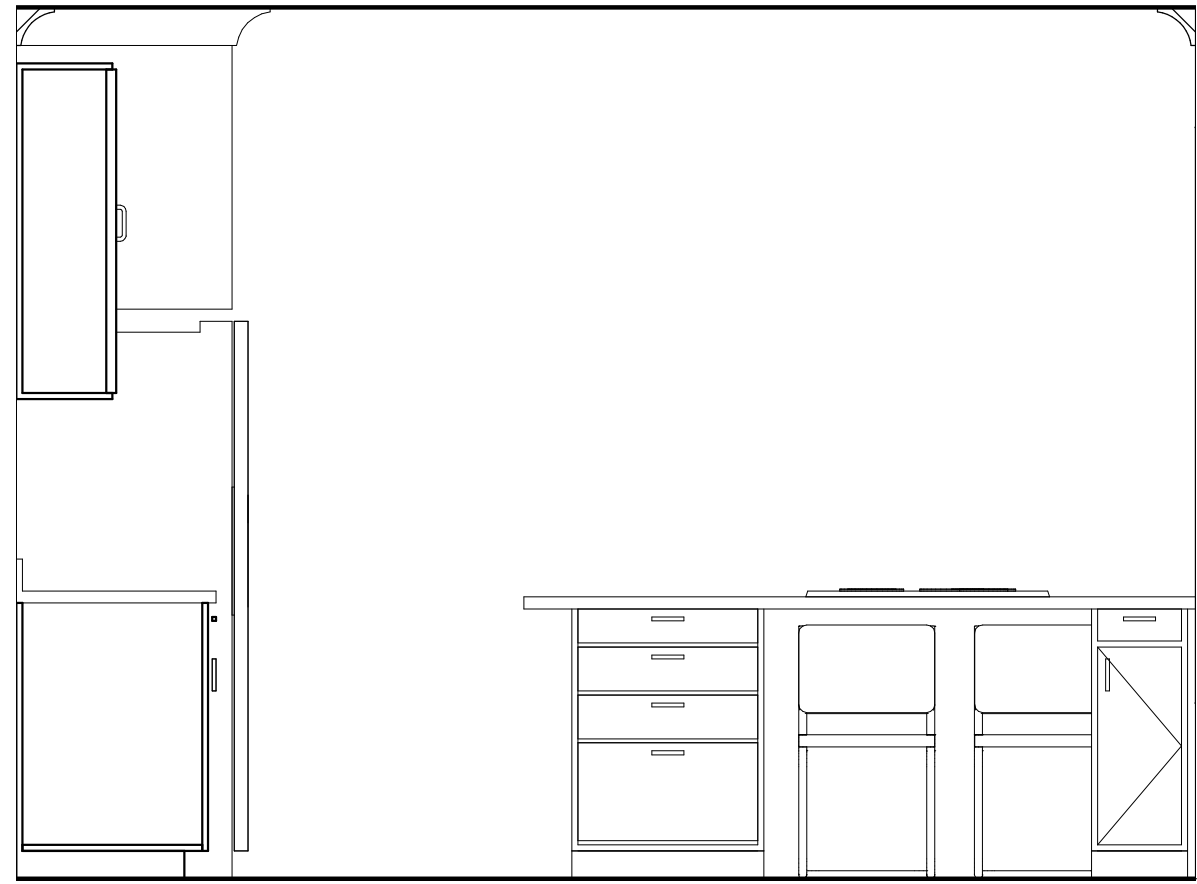
1 ENLARGED PLAN KITCHEN-03
1/2" = 1'-0"



2 ENLARGED ELEV - 2 KITCHEN-03
1/2" = 1'-0"



3 ENLARGED ELEV - 3 KITCHEN-03
1/2" = 1'-0"



4 ENLARGED ELEV - 4 KITCHEN-03
1/2" = 1'-0"

Level 3
19' - 11 1/2"



PROGRESS SET 08-22-2023

DATE	08-22-23
REVISIONS	
#	DATE.

106 85TH STREET LLC

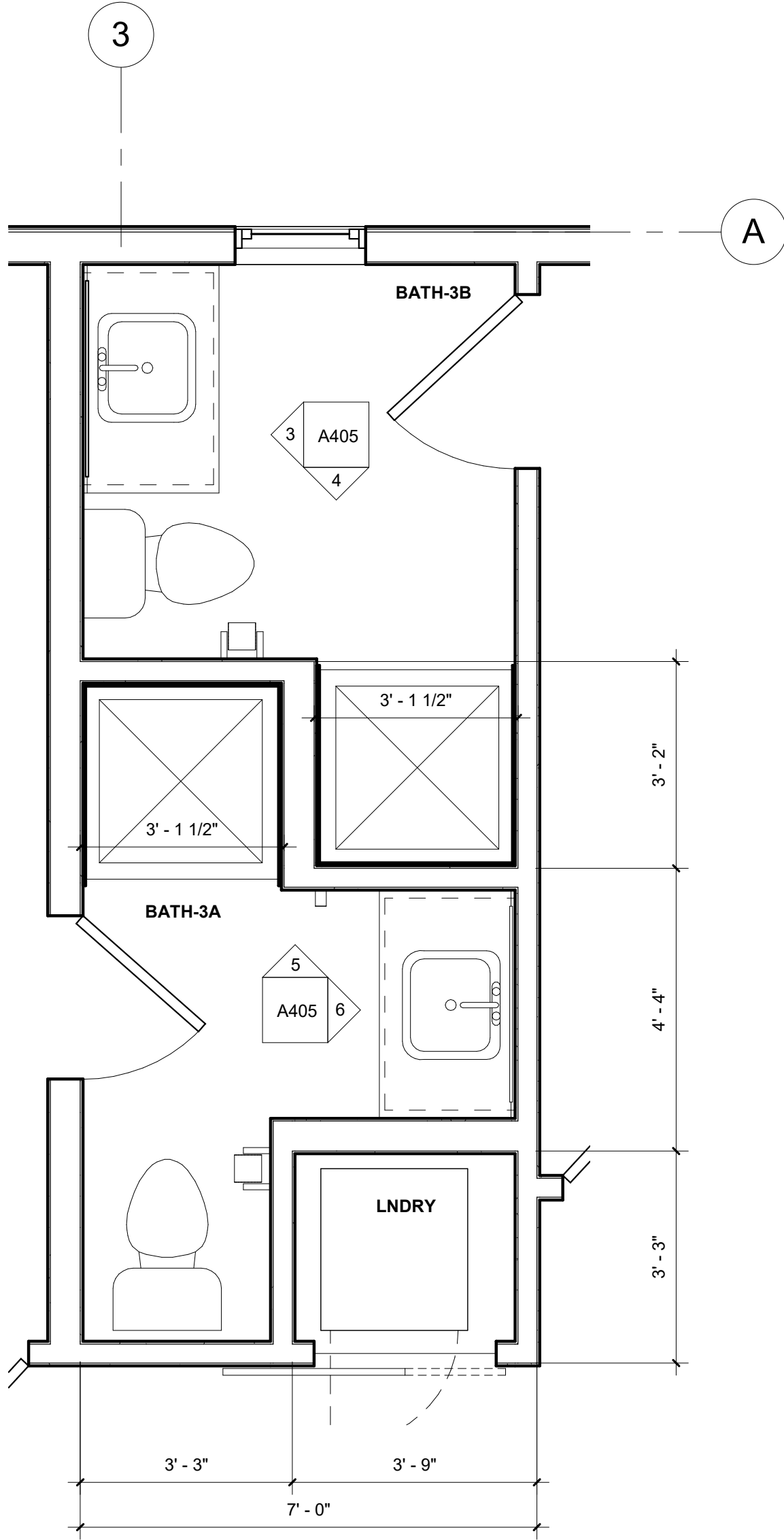
CLIENT PHONE NUMBER

106 85TH STREET

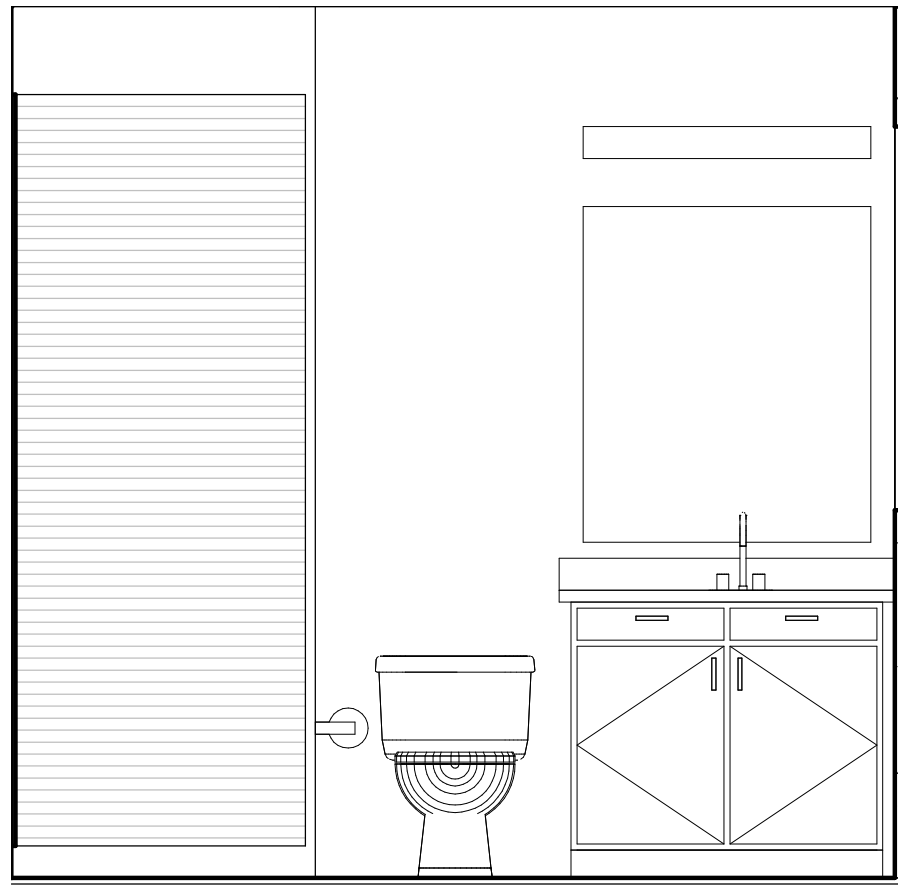
106 85TH STREET
VIRGINIA BEACH, VA. 23451

ENLARGED PLANS & ELEV KITCHEN 3RD FLOOR

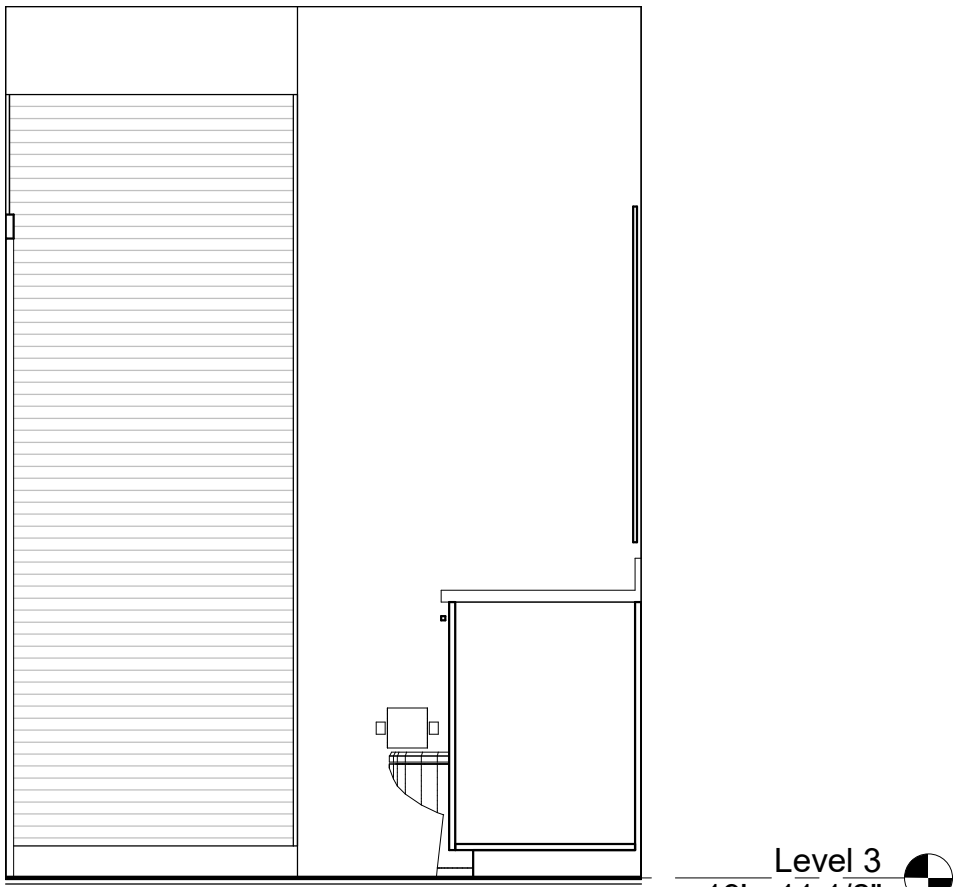
A404



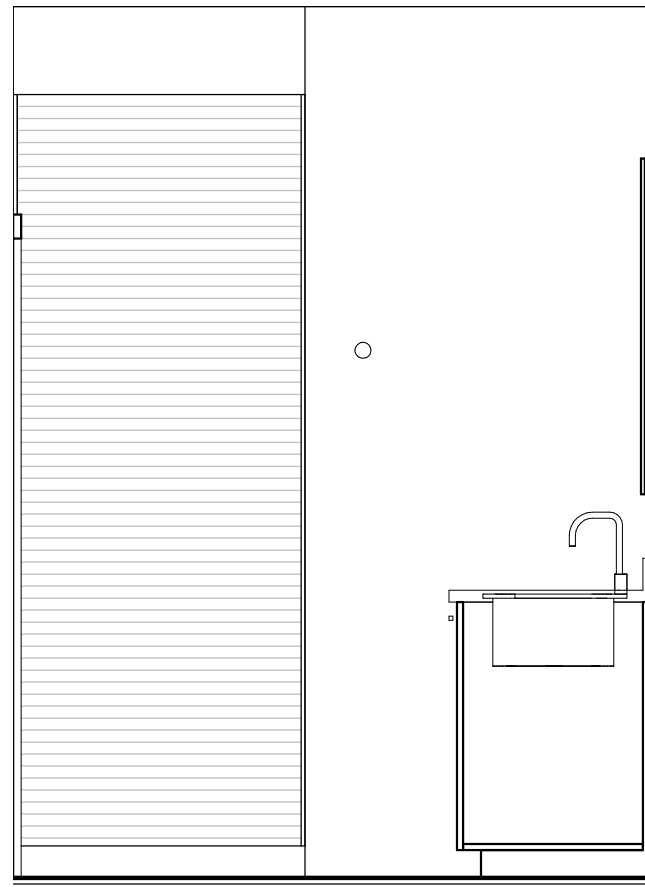
1 ENLARGED PLAN LEVEL 03 BATH 3A-3B
1/2" = 1'-0"



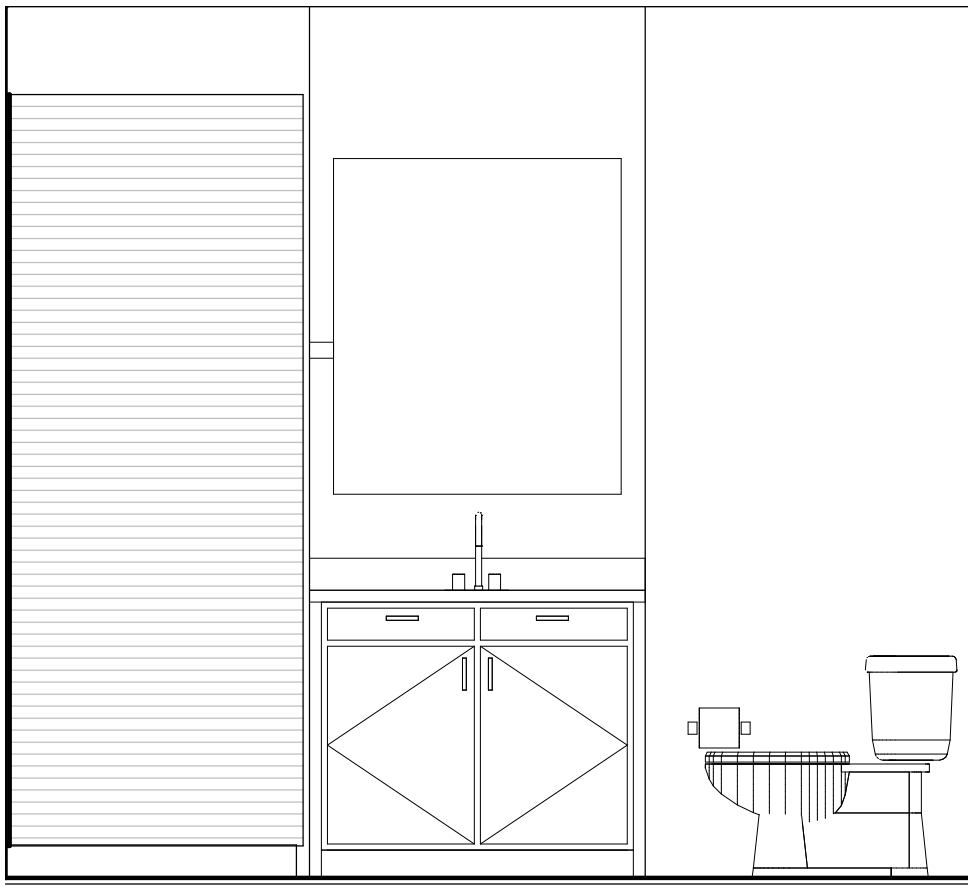
3 ENLARGED ELEV - 3 BATH-3B
1/2" = 1'-0"



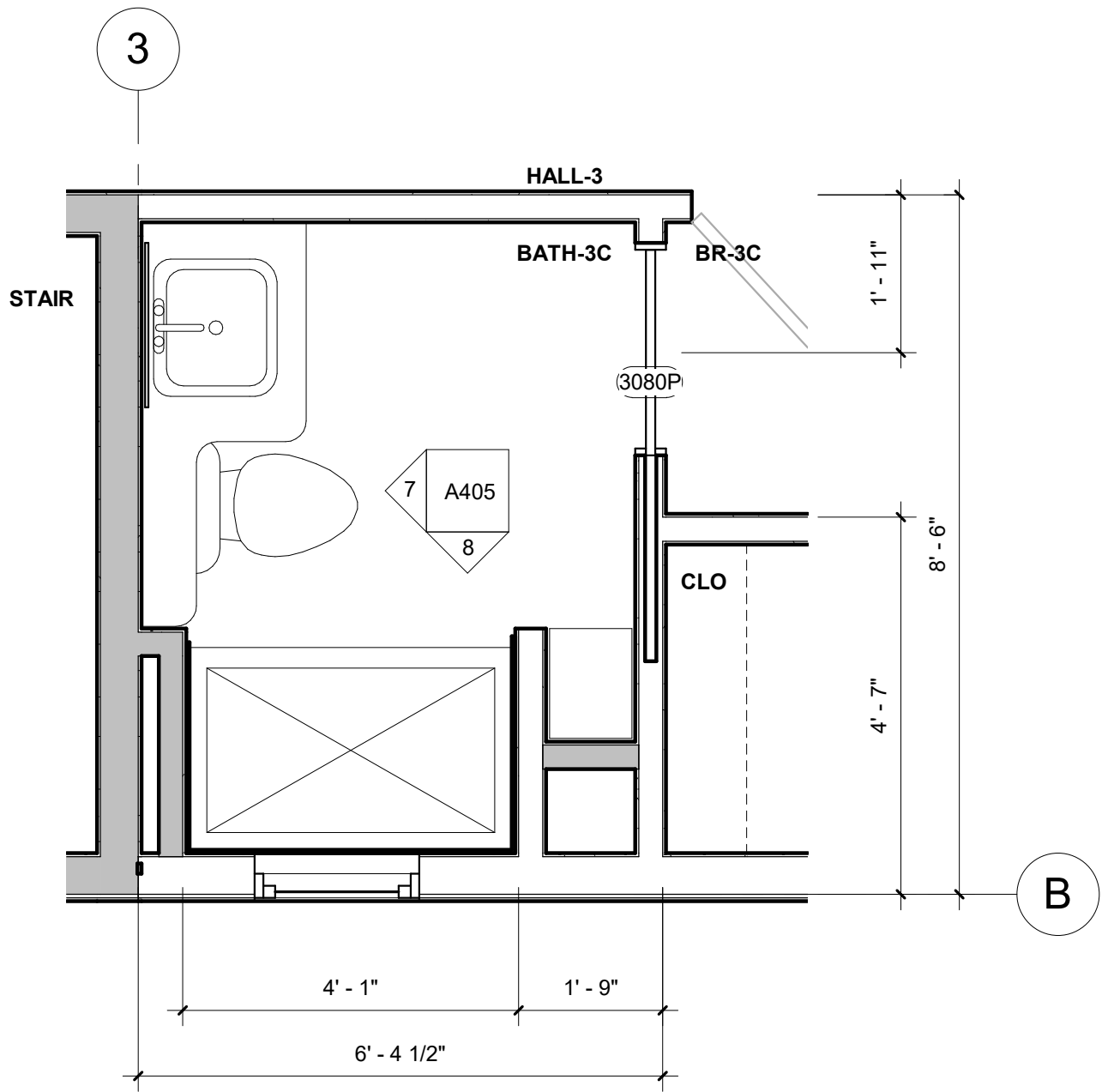
4 ENLARGED ELEV - 4 BATH-3B
1/2" = 1'-0"



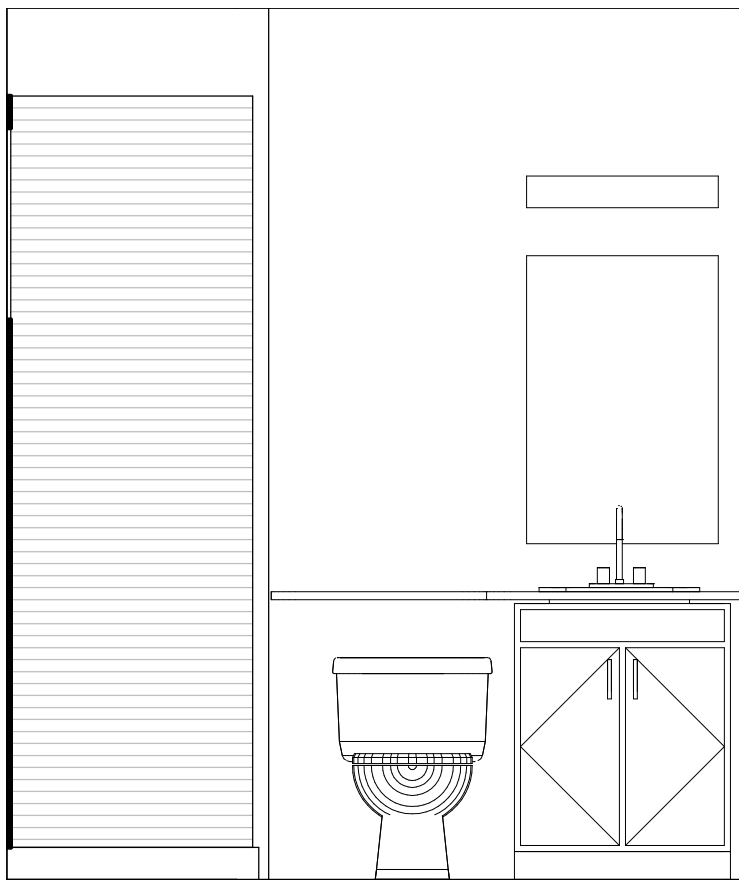
5 ENLARGED ELEV - 5 BATH-3A
1/2" = 1'-0"



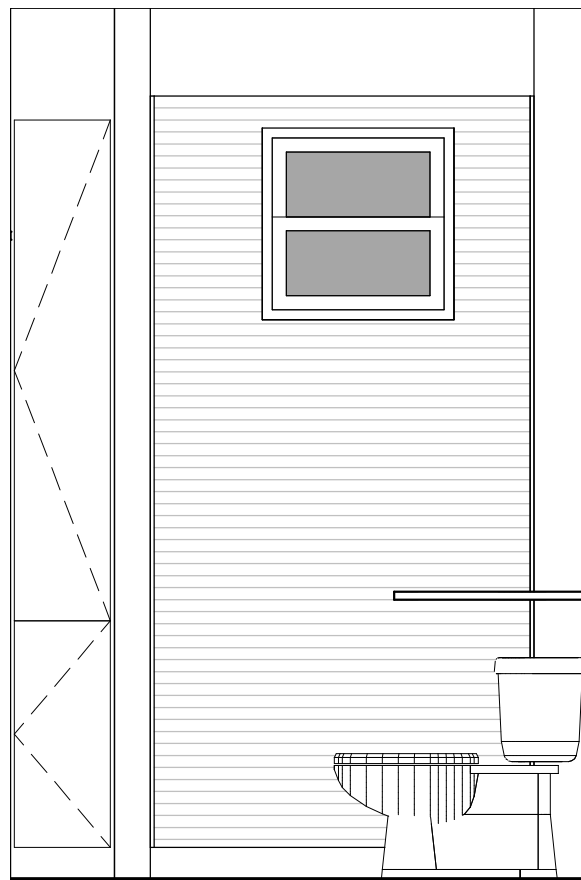
6 ENLARGED ELEV - 6 BATH-3A
1/2" = 1'-0"



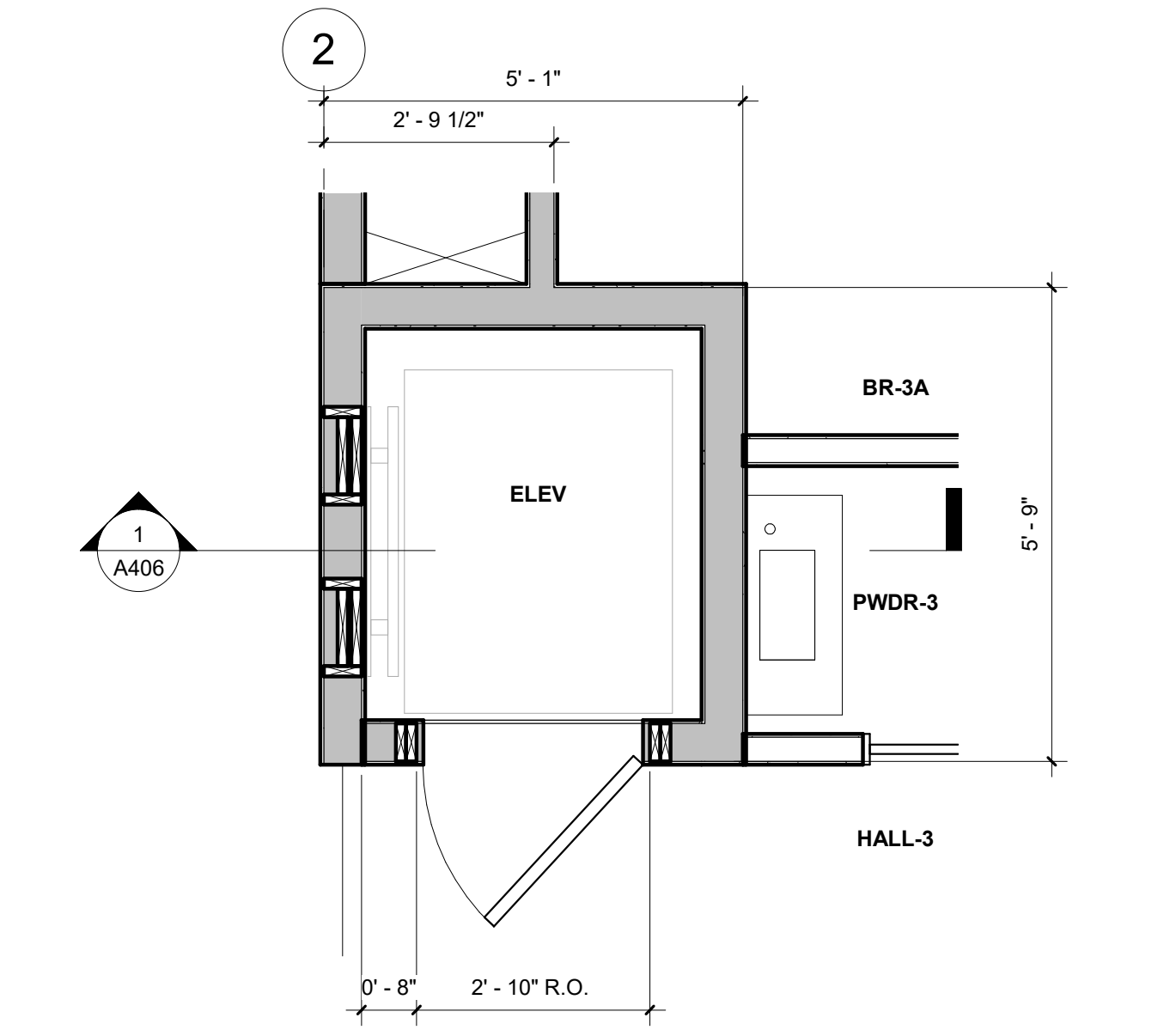
2 ENLARGED PLAN LEVEL 03 BATH 3
1/2" = 1'-0"



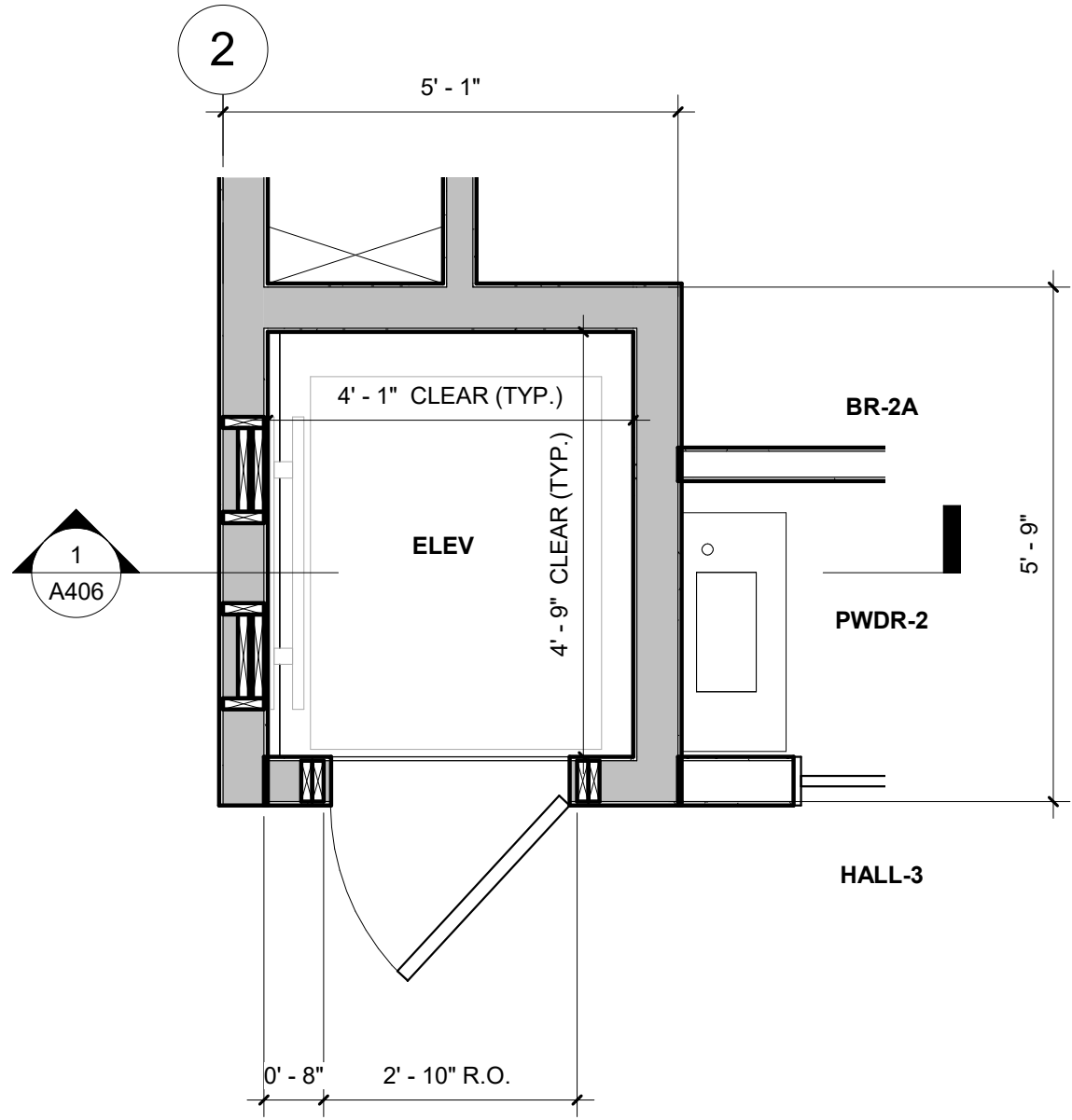
7 ENLARGED ELEV - 7 BATH-3C
1/2" = 1'-0"



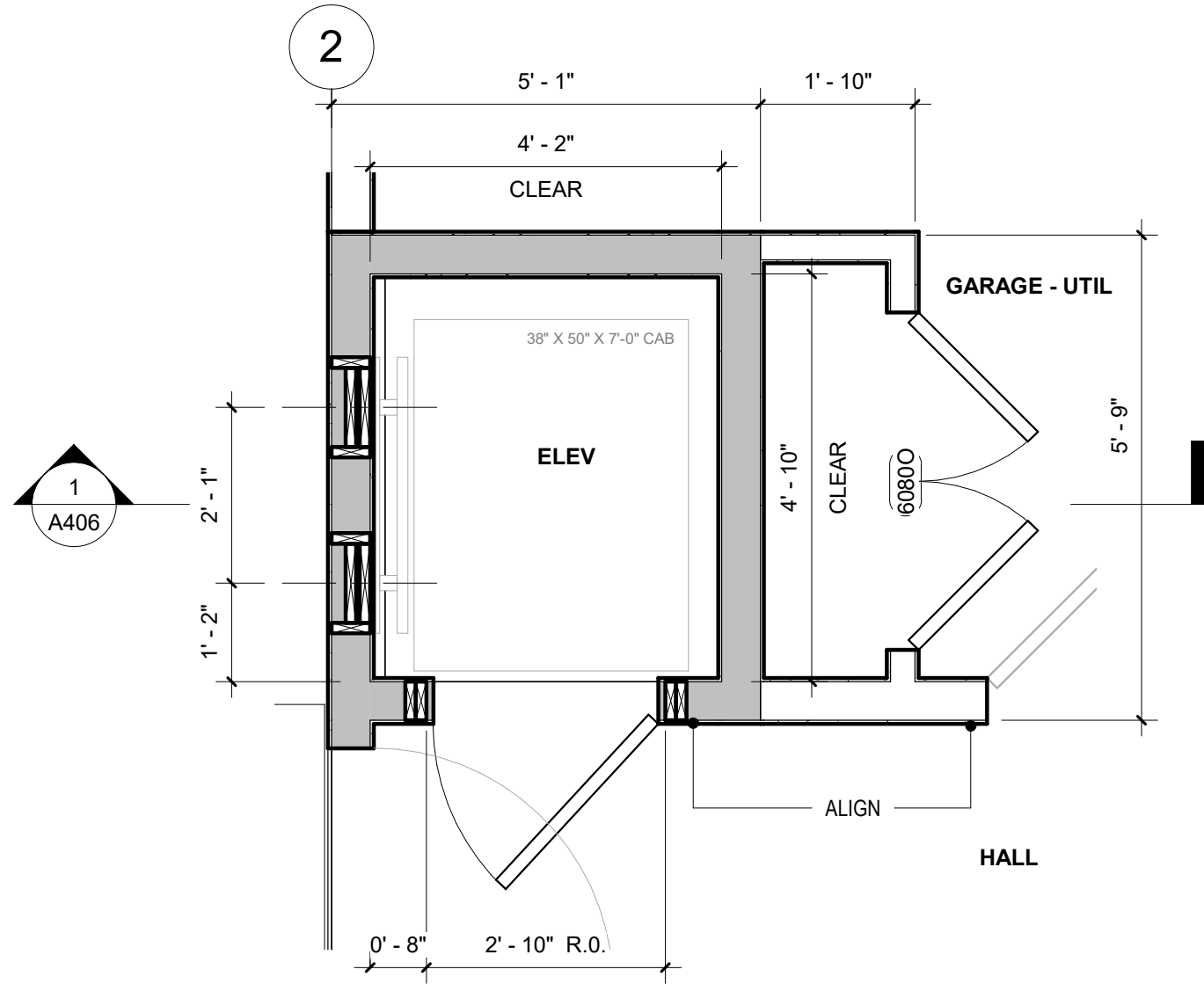
8 ENLARGED ELEV - 8 BATH-3C
1/2" = 1'-0"



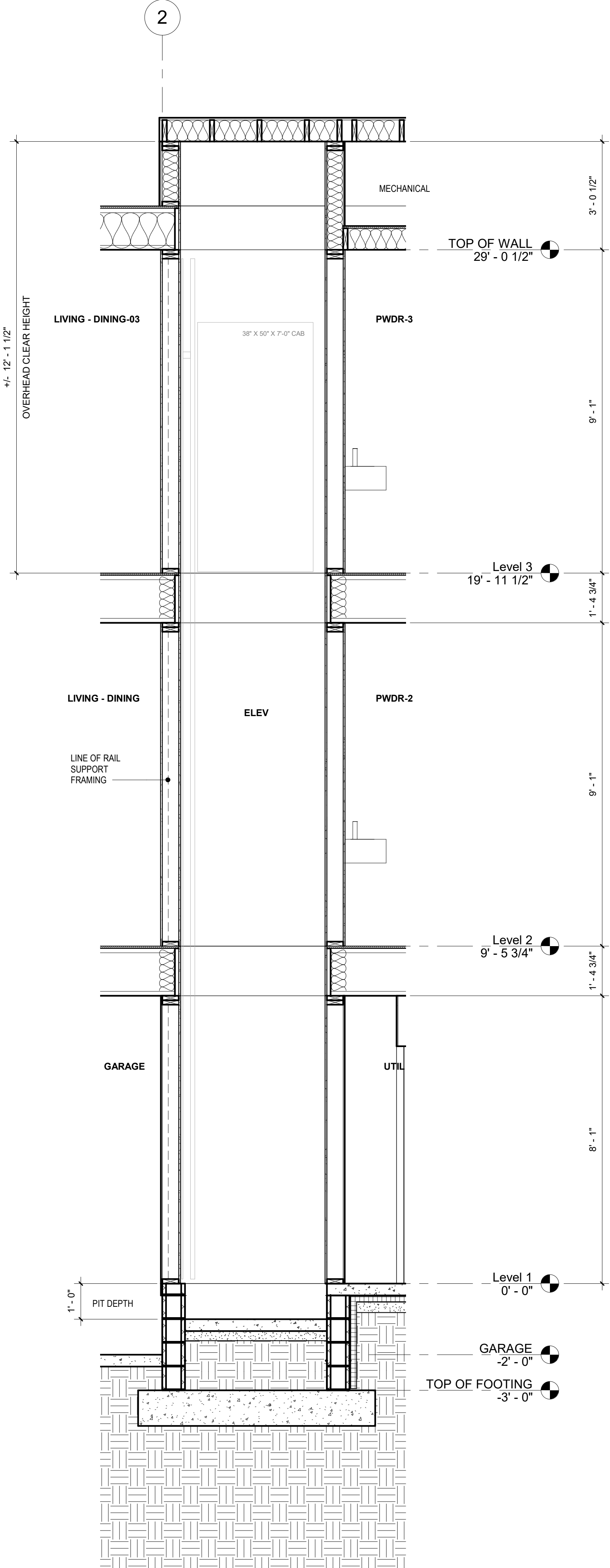
9 ENLARGED PLAN ELEV - LEVEL 03
1/2" = 1'-0"



13 ENLARGED PLAN ELEV - LEVEL 02
1/2" = 1'-0"



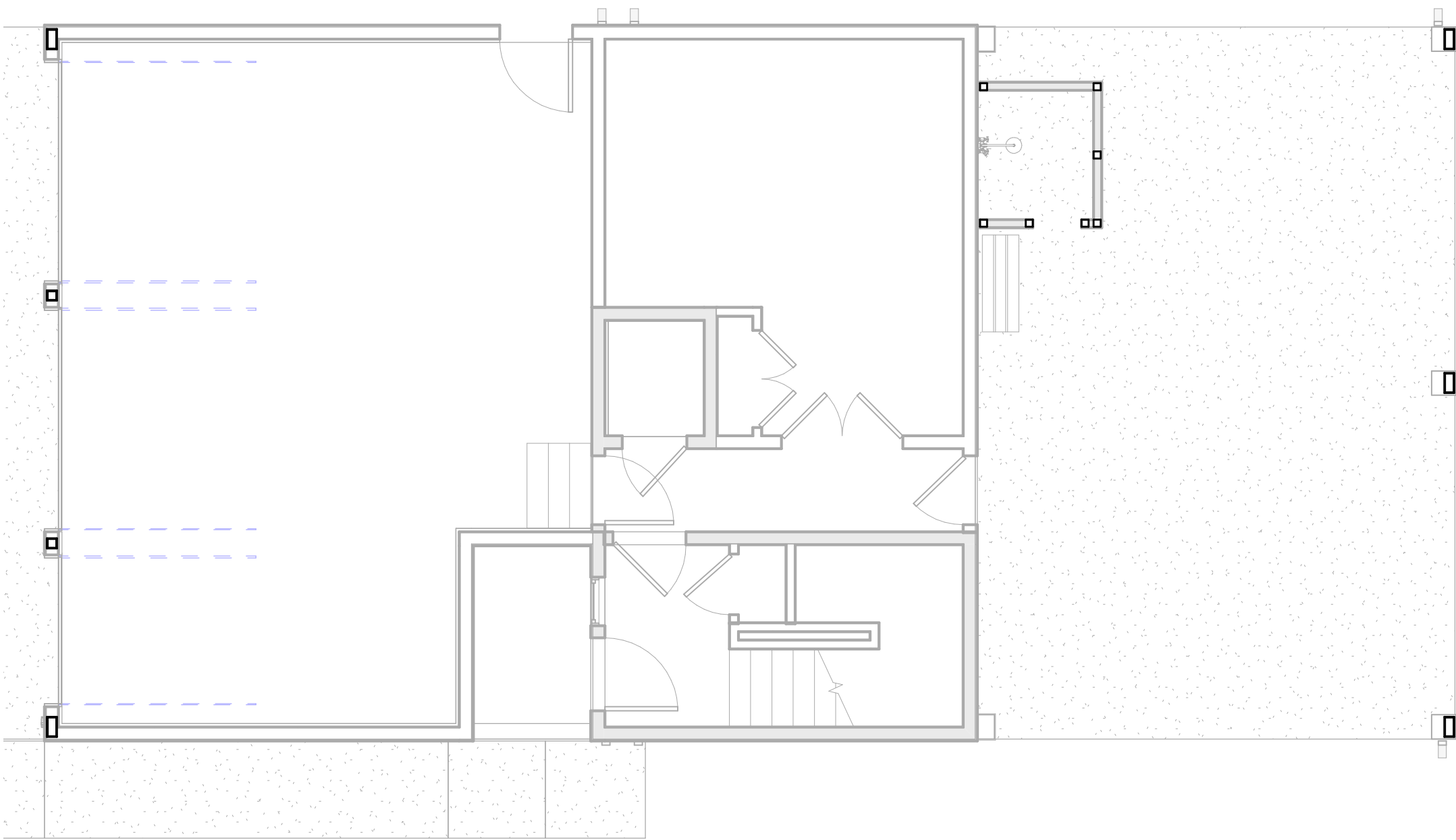
14 ENLARGED PLAN ELEV - LEVEL 01
1/2" = 1'-0"



1 BUILDING SECTION @ ELEVATOR
1/2" = 1'-0"



8/22/2023 12:51:55 AM



LEVEL 1 MECH - ELECT PLAN
3/16" = 1'-0"



LEVEL 2 MECH - ELECT PLAN
3/16" = 1'-0"



Level 3 MECH - ELECT PLAN
3/16" = 1'-0"

NEW WORK NOTES - MECH & ELECT WORK

1 XXXXXXXXXXXXXXXXXXXXXXXXXXXX

EXHAUST REQUIREMENTS:	
KITCHEN	100 CFM INTERMITTENT OR 25 CFM CONTINUOUS
BATHROOM	50 CFM INTERMITTENT OR 20 CFM CONTINUOUS

- G

S

6

X

⊕

⊕ GFI

S

S₃

▼

GARBAGE DISPOSAL
SMOKE DETECTOR W/ CO2 SENSOR
WALL LAMP - EXTERIOR
6" RECESSED CAN
DOWNLIGHT - OVER SINK
SURFACE MOUNTED UTILITY LIGHT (TYP. IN CLOSETS)
CEILING FAN WITH LIGHT
RECEPTACLE - SINGLE
RECEPTACLE - SINGLE GROUND FAULT INTERRUPT
SWITCH - SINGLE
SWITCH - THREE WAY
EXHAUST FAN
SUPPLY REGISTER
RETURN REGISTER
CONTROL WALL FOR PLUMBING FIXTURE



PROGRESS SET 08-22-2023

DATE	08-22-23
REVISIONS	
#	DATE.

106 85TH STREET LLC

CLIENT PHONE NUMBER

106 85TH STREET

106 85TH STREET
VIRGINIA BEACH, VA. 23451

MECHANICAL & ELECTRICAL PLANS

A501