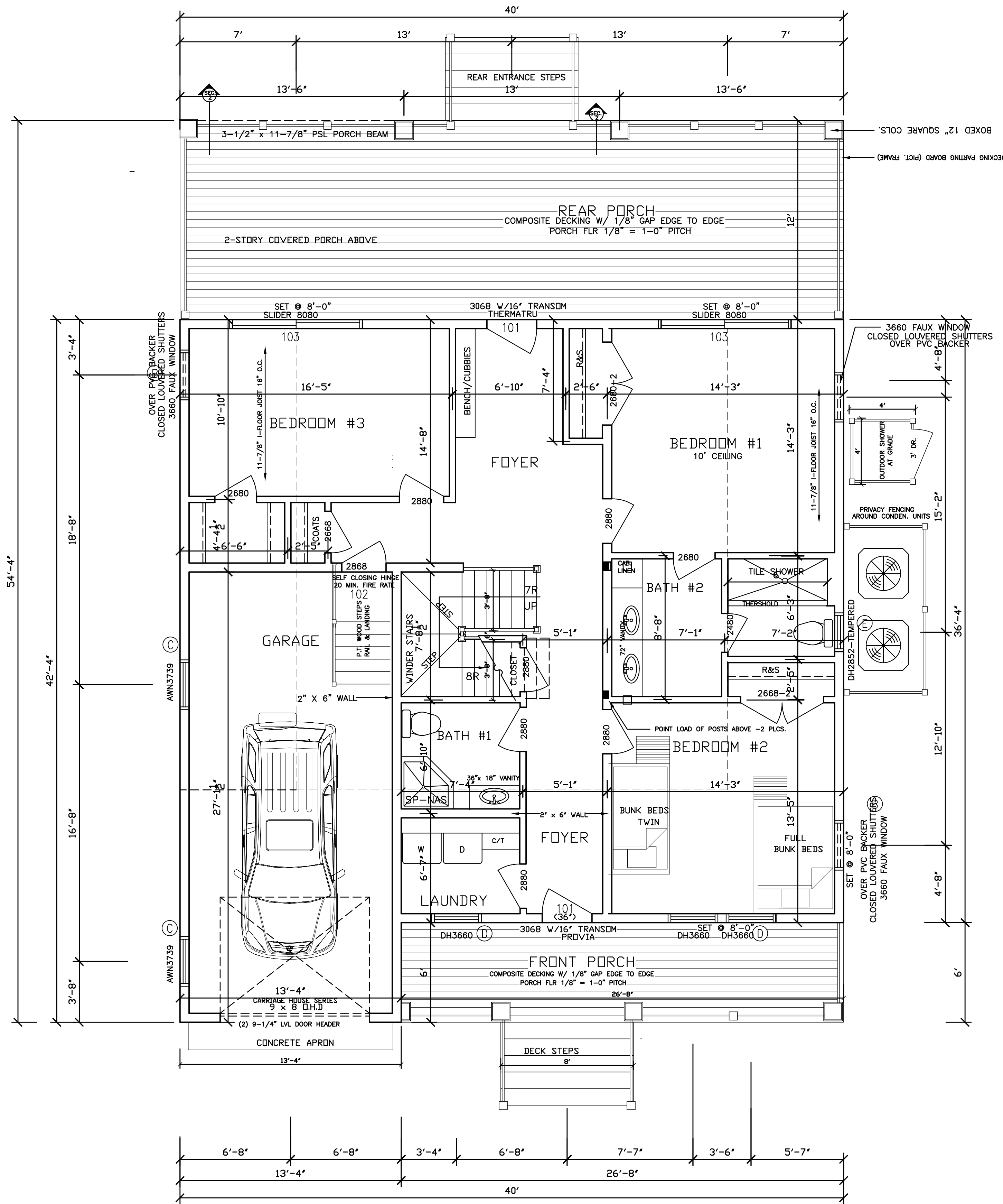
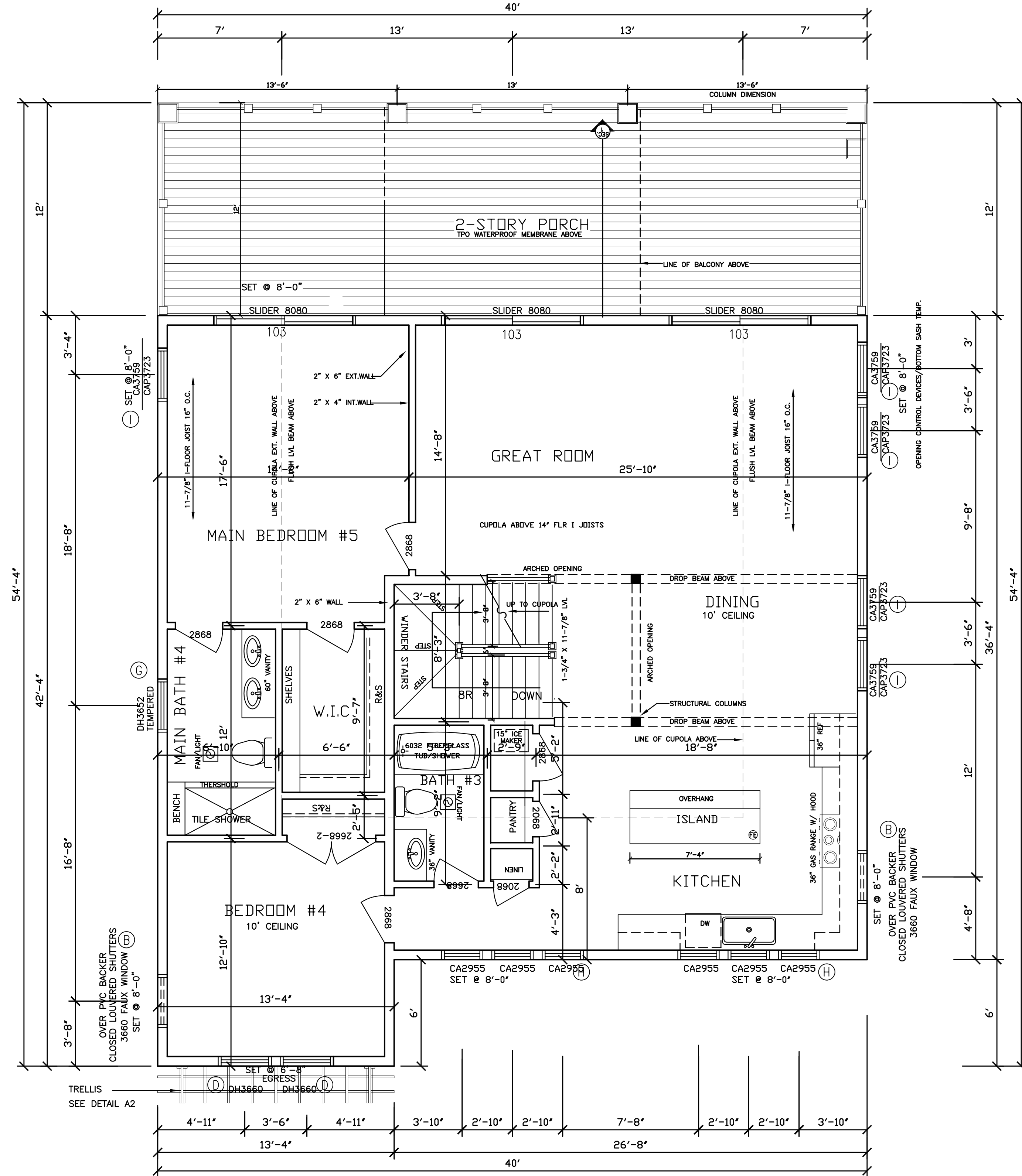




FIRST FLOOR
10' CEILING



SECOND FLOOR
10' CEILING

SQ/FT.

1ST FLR. 1183

2ND FLR. 1533

3RD FLR. 737

LIVING TOT. 3453

GARAGE 538

PORCH/BALCONY

-DECK 1293

CONSTRUCTION
DOCUMENTS

DESIGNER:
GRIESER DESIGN LLC
Email: greg@grieserdesign.com
Tel: 443-944-2156

CONTRACTOR:
JB Design & Remodeling

PROJECT:
A NEW HOME FOR:
THE DAWSON RESIDENCE
LOT 27 SUNSET BLVD.
CAPE CHARLES, VA 23310
THE COLONY AT BAY CREEK

DATE: 01/05/23

REVISION: 01/25/23

REVISION: 03/07/23

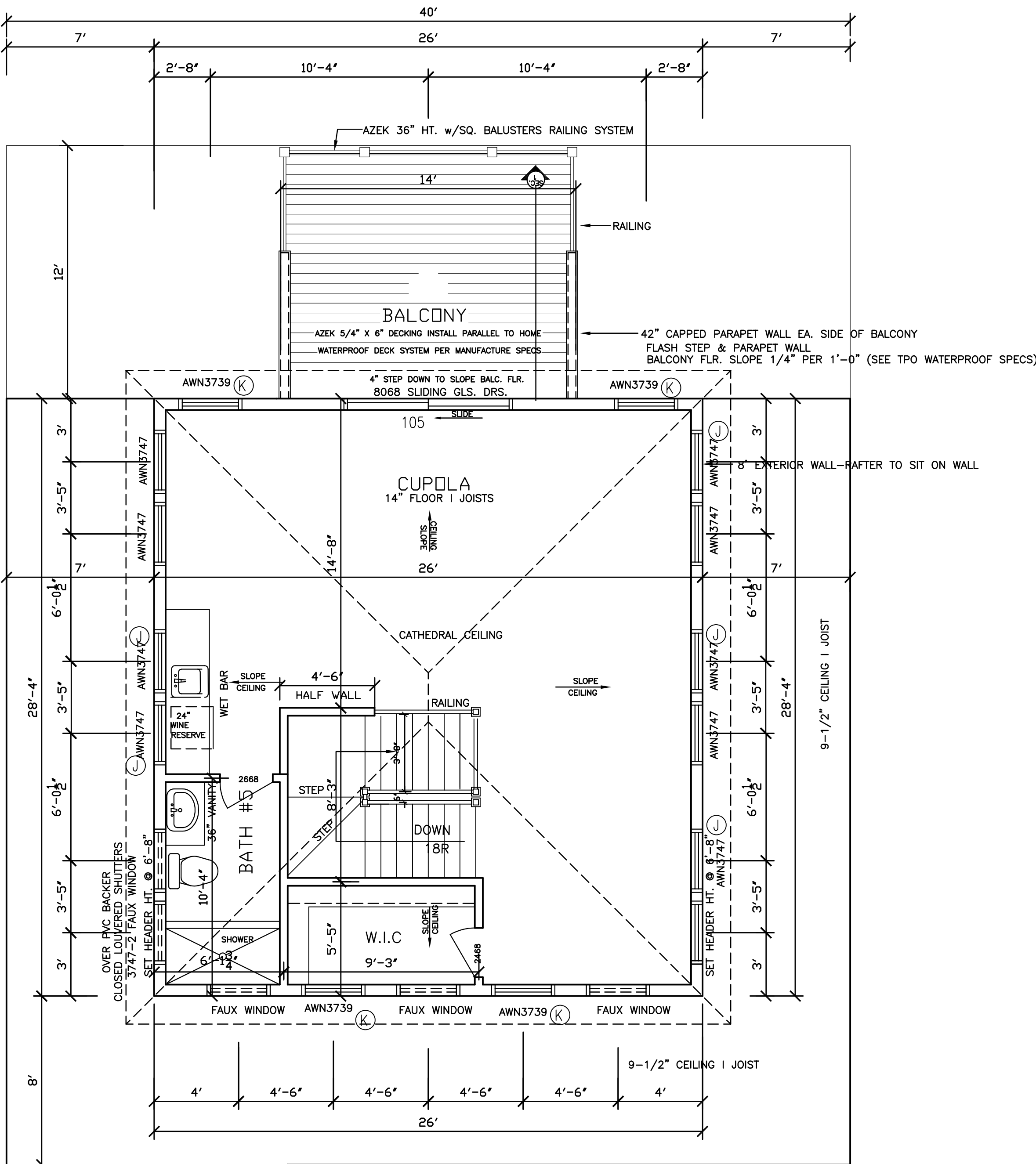
REVISION: 05/11/23

REVISION: 05/11/23

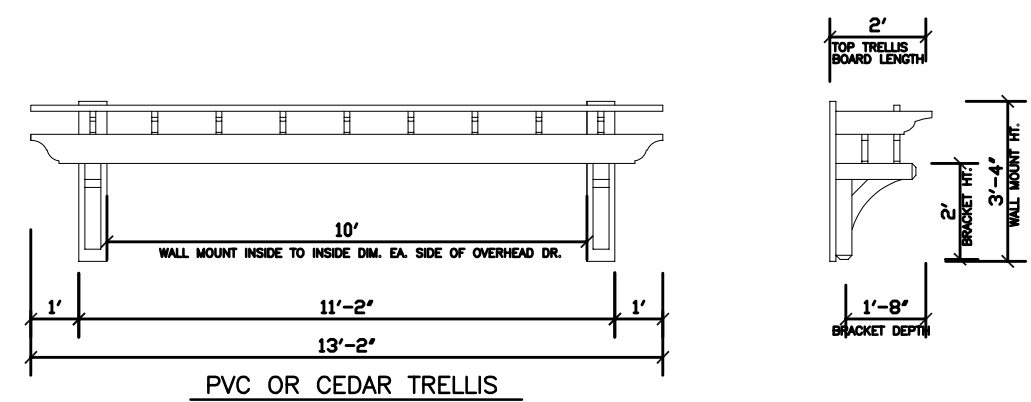
REVISION: 05/11/23

SCALE: 1/4" = 1'-0"

DRAWING NUMBER



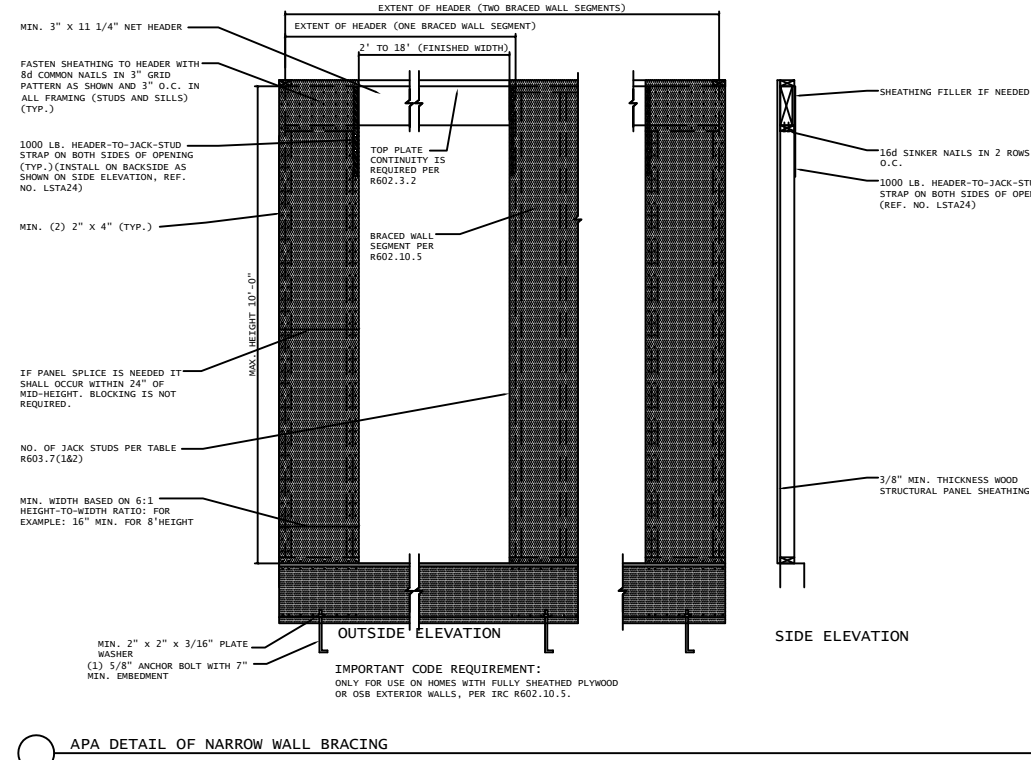
THIRD FLOOR
CATHEDRAL CEILING



THERMATRU DOOR SCHEDULE							
EXTERIOR Door					Remarks		
Number	QTY.	Mat	FRAME Size				
			W	H	Label	Hdw	Note
101	2	FIBERGLASS L.H. HINGED	3'-0"	8'-0"	FOYER MAIN ENTRY		16" TRANSOM
102	1	STEEL L.H. HINGED	2'-8"	6'-8"	GARAGE ENTRY		20 MIN. FIRE RATED SELF CLOSE HINGE
103	5	GLASS SLIDER	8'-0" 96"	8'-0" 96"			
105	1	GLASS SLIDER	8'-0" 96"	6'-8" 80"	CUPOLA		

*VERIFY ALL SIZES AND R.O. WITH MANUFACTURE
ALL DRS. & WINDOWS ALL OVERHEAD DRS. AND
TRANSOMS WITH SIMULATED DIVIDED LITE GRILLS
WELDED DIRECTLY TO BOTH INT./EXT. OF GLASS
MIN. 3" CASED MULL BETWEEN ADJOINING WINDOWS

PERFEXION PLATINUM WINDOW SCHEDULE						
WINDOW					Remarks	
Number	QTY.	TYPE	R.O.		WINDOWS TO HAVE DIVIDED LITE GRILLS 3" CASED MULL BETWEEN ADJOINING WINDOWS	
			W	H	Label	Note
B	5	FAUX WINDOW CLOSED LOUVERD 3660				PVC BACKER SET @ 8'
C	2	AWNING AWN3739			GARAGE	SET @ 8'
D	5	DOUBLE HUNG DH3660			BEDRM 2&3 LAUNDRY	EGRESS SET @ 8'
E	1	DBL. HUNG DH2852			BATH 2	TEMPERED
G	1	DBL. HUNG ELDH3652			BATH 4	TEMPERED SET @ 8'
H	6	CASEMENT CA2955			KITCHEN	SET @ 8'
I	5	CASEMENT CAP3723 CA3759			DINING GREAT ROOM BEDROOM 4	EGRESS OPENING CONTROL DEVICE FALL PROTECTION HARDWARE BOTTOM SASH TEMPERED
J	10	AWNING AWN3747			CUPOLA	SET @ 6'–8"
K	4	AWNING AWN3739			CUPOLA	SET @ 6'–8"



NOTES

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- FIELD VERIFY DIMENSIONS AND EXISTING CONDITIONS
PRIOR TO CONSTRUCTION
- DIMENSIONING IS OUTSIDE TO OUTSIDE OF EXTERIOR WALLS
& EXTERIOR WALLS TO CENTER OF INTERIOR WALLS
WHERE APPLICABLE OUTSIDE DIMENSION CARRIES THROUGH TO THE INTERIOR
- ALL STRUCTURAL COMPONENTS AND CONSTRUCTION SHOULD BE IN
ACCORDANCE WITH IRC 2018 & IECC 2018 AND, ALL LOCAL
& STATE REGULATION AND CODE.
- MINIMUM FASTENING SCHEDULES FOR EXTERIOR WALL & ROOF SHEATHING
8D COMMON NAILS FASTENED NO MORE THAN 4" O.C. ON EDGES
& NO MORE THAN 6" O.C. IN THE FIELD
- EXTERIOR WALL SHEATHING SHALL EITHER BE FASTENED OVER THE BAND JOIST
AND ONTO THE SIDE OF SILL PLATE, OR APPROVED METAL CONNECTIONS PER
MANUFACTURERS FROM EACH WALL STUD TO SILL PLATE AS REQUIRED
- INSTALL ALL FINISHES & FIXTURES ACCORDING TO MANUFACTURES SPECIFICATIONS
- SMOKE/CARBON MONOXIDE ALARM PER CODE
- ELECTRIC PER CODE
- PLUMBING & PIPING PER CODE

- 4-1/2" = INTERIOR WALLS
6-1/2" = EXTERIOR WALLS

SQ/FT.

1ST FLR. 1183
2ND FLR. 1533
3RD FLR. 737

LIVING TOT. 3453

GARAGE 538

PORCH/BALCONY
-DECK 1293

CONSTRUCTION
DOCUMENTS

DESIGNER:
GRIESER DESIGN LLC
Email: greg@grieserdesign.com
Tel: 443-944-2156

CONTRACTOR:
JB Design&Remodeling

A NEW HOME FOR:
THE DAWSON RESIDENCE
LOT 27 SUNSET BLVD.
CAPE CHARLES, VA 23310
THE COLONY AT BAY CREEK

PROJECT:
DATE: 01/05/23
REVISED: 01/25/23
REVISED: 03/07/23
REVISED: 05/11/23
SCALE: 1/4" = 1'-0"
DRAWING NUMBER



SQ/FT.

1ST FLR. 1183
2ND FLR. 1533
3RD FLR. 737

LIVING TOT. 3453
GARAGE 538

PORCH/BALCONY
-DECK 1293

CONSTRUCTION
DOCUMENTS

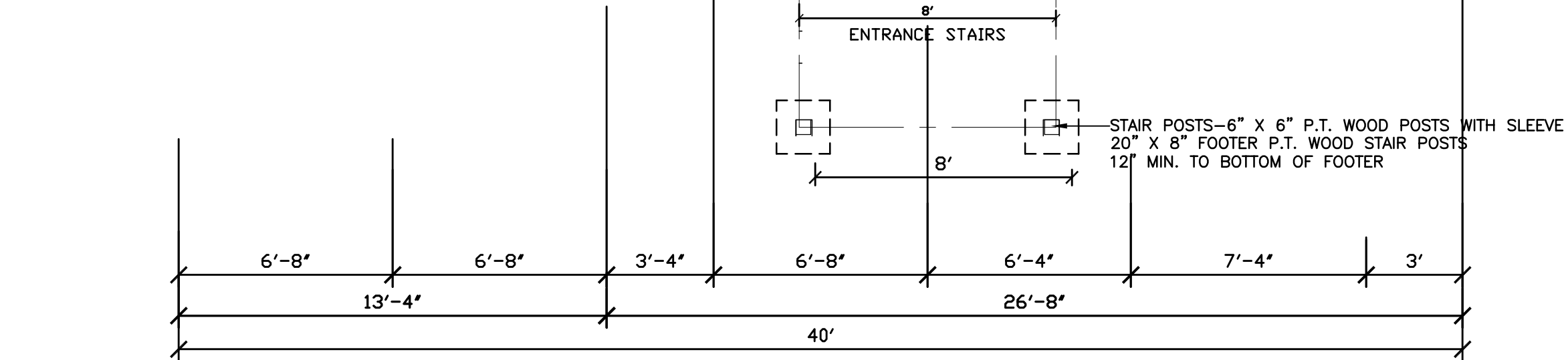
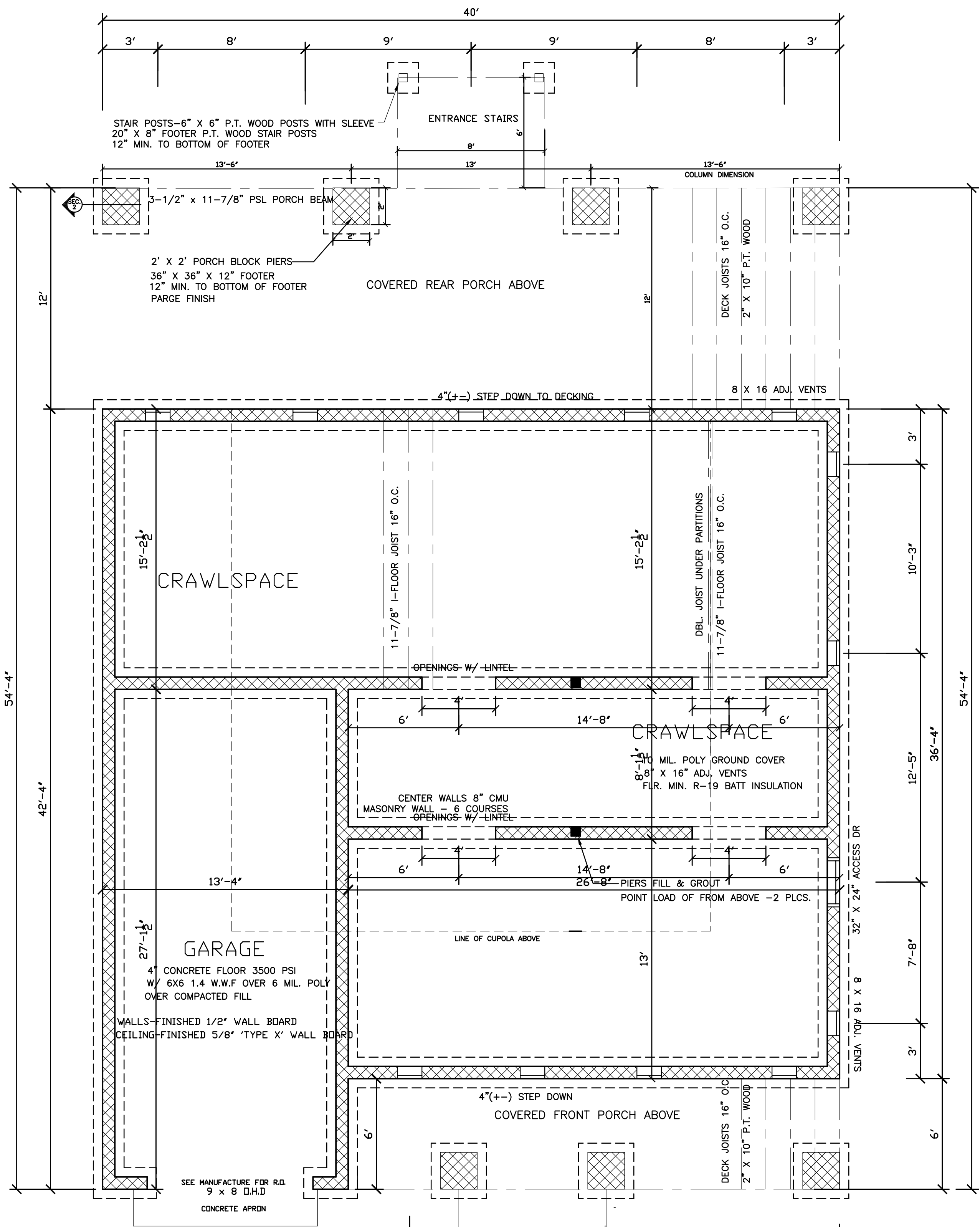
DESIGNER:
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Tel: 443-944-2156

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A NEW HOME FOR:
THE DAWSON RESIDENCE
LOT 27 SUNSET BLVD.
CAPE CHARLES, VA 23310
THE COLONY AT BAY CREEK

DATE: 01/05/23
REVISED: 01/25/23
REVISED: 03/07/23
REVISED: 03/22/23
REVISED: 05/11/23
SCALE: 1/4" = 1'-0"

DRAWING NUMBER
A3



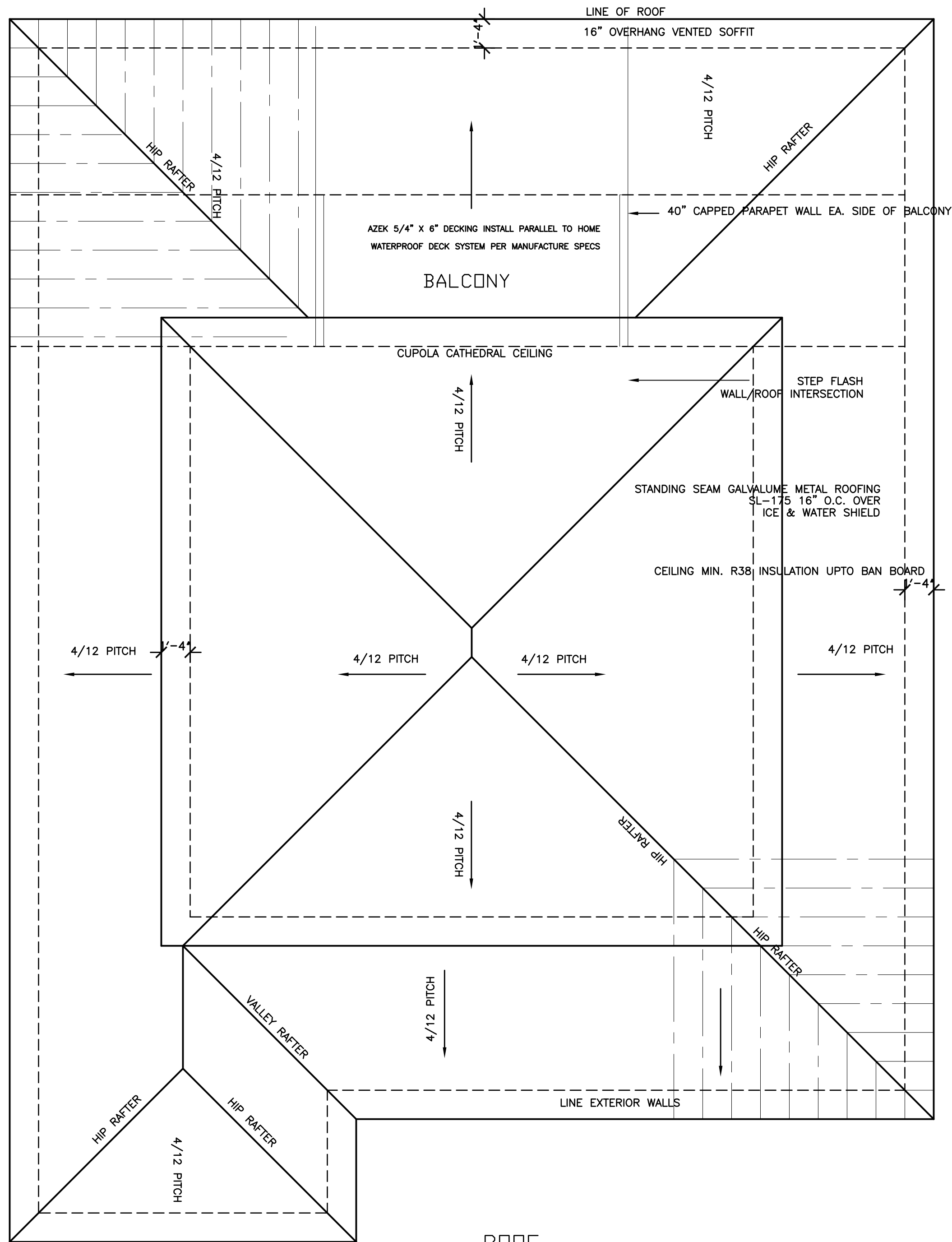
FOUNDATION

8" CMU MASONRY WALL - 7 COURSES
1ST COURSE BELOW GRADE
GROUT & FILL BLOCK CAVITY PER CODE
1/2" X 18" FOUNDATION BOLTS WITH 3" WASHER 6'-0" O.C.
12" OR LESS FROM SIDES OF CORNERS & SPLICES
2" X 8" P.T. SILL PLATE WITH TERMITE SHIELD
8 X 16 ADJ. VENTS
24" X 12" CONTINUOUS FOOTING
2 ROWS 1/2" REBAR W/ 3" CAPSULATION ON ALL SIDES
12" MIN. TO BOTTOM OF FOOTER - DRAWN AT 22" TO BOTTOM OF FOOTER (SEE SECTION 1)

NOTES

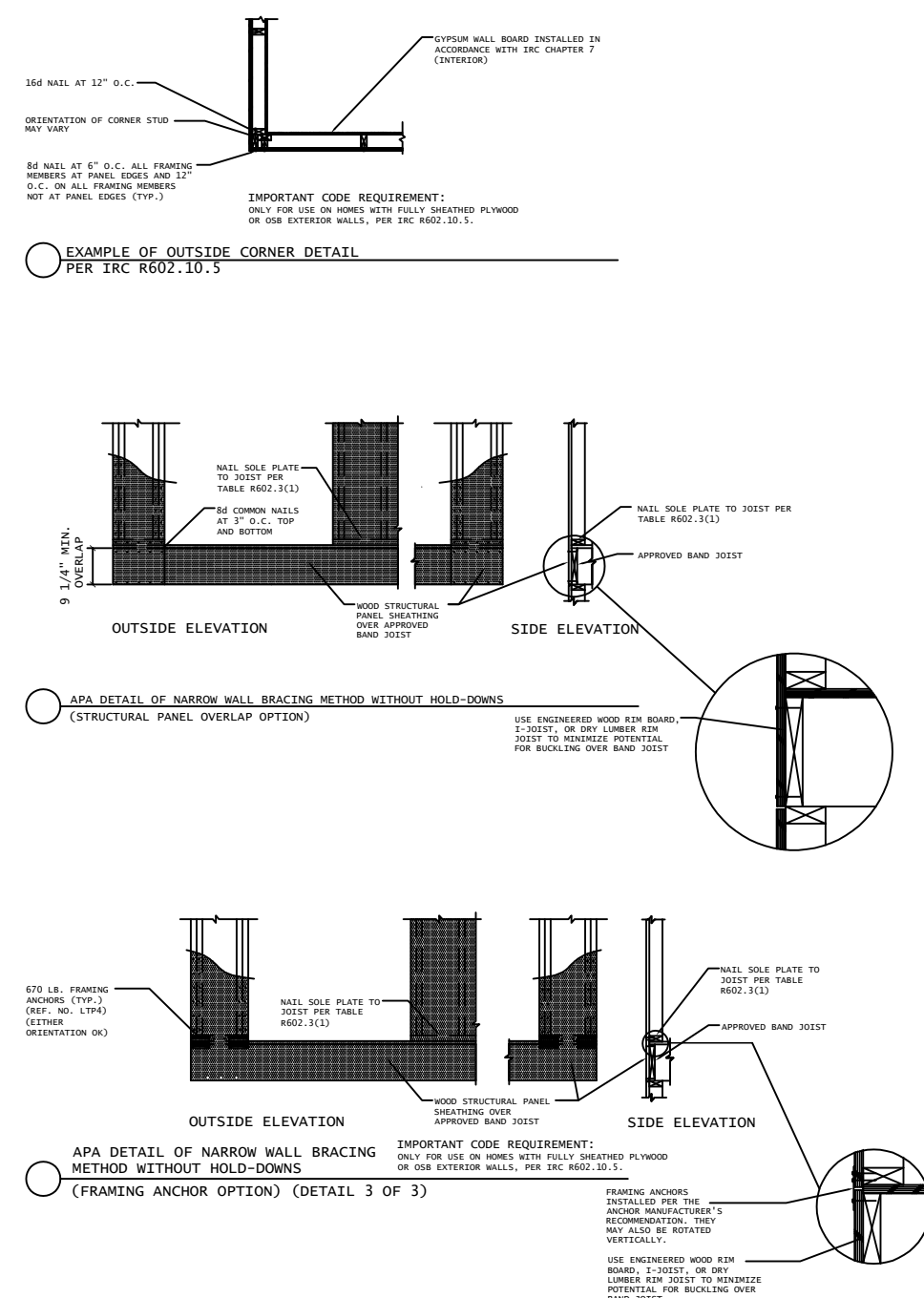
- DESIGN BASED ON OWNER'S REQUESTS & REQUIRMENTS
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- INSTALL ALL FINISHES & FIXTURES ACCORDING TO MANUFACTURES SPECIFICATIONS
- SMOKE/CARBON MONOXIDE ALARM PER CODE
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- PLUMBING & PIPING PER CODE

4-1/2" = INTERIOR WALLS
6-1/2" = EXTERIOR WALLS



ROOF

5/8" OSB ROOF SHEATHING
MINIMUM FASTENING SCHEDULES FOR EXTERIOR WALL & ROOF SHEATHING
8D COMMON NAILS FASTENED NO MORE THAN 4" O.C. ON EDGES
& NO MORE THAN 6" O.C. IN THE FIELD
2" X 8" SPF RAFTERS 16" O.C. ON STEP PLATE
SIMPSON H2.5 HURRICANE CLIPS
STANDING SEAM GALVALUME METAL ROOFING
SL-175 16" O.C. OVER
ICE & WATER SHIELD



SQ/FT.

1ST FLR. 1183
2ND FLR. 1533
3RD FLR. 737

LIVING TOT. 3453

GARAGE 538

PORCH/BALCONY
-DECK 1293

CONSTRUCTION DOCUMENTS

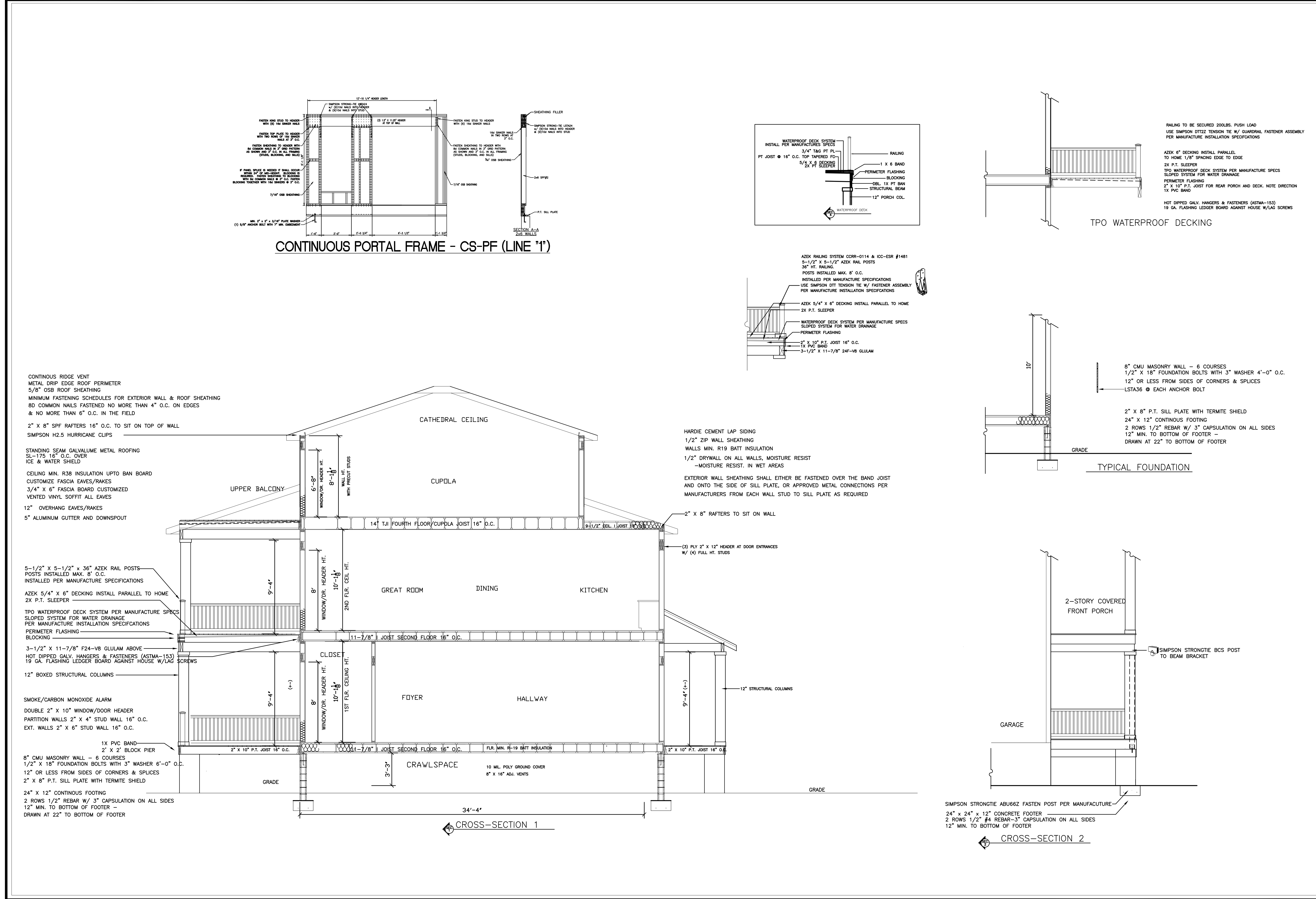
DESIGNER:
GRIESER DESIGN LLC
Email: greg@grieserdesign.com
Tel: 443-944-2156

CONTRACTOR:
JB Design & Remodeling

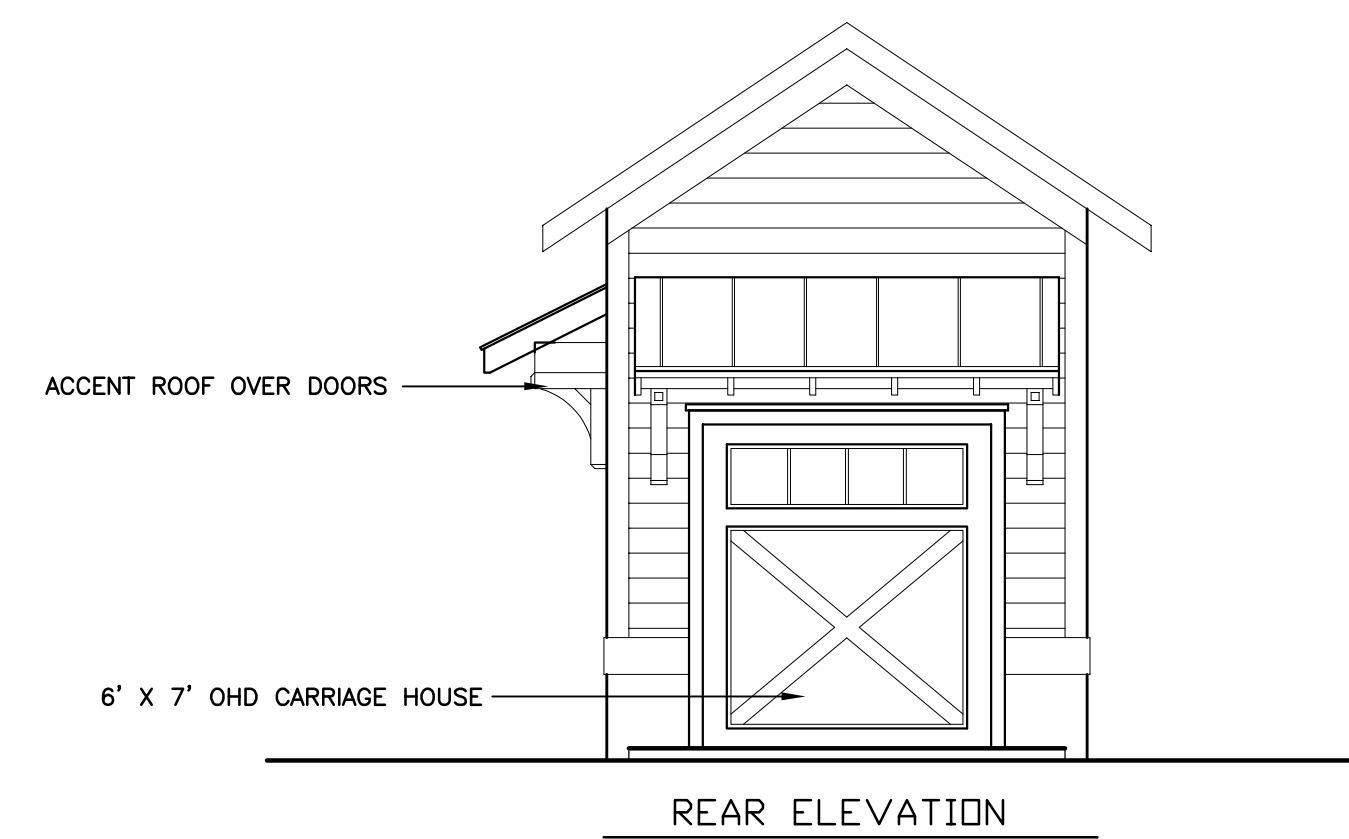
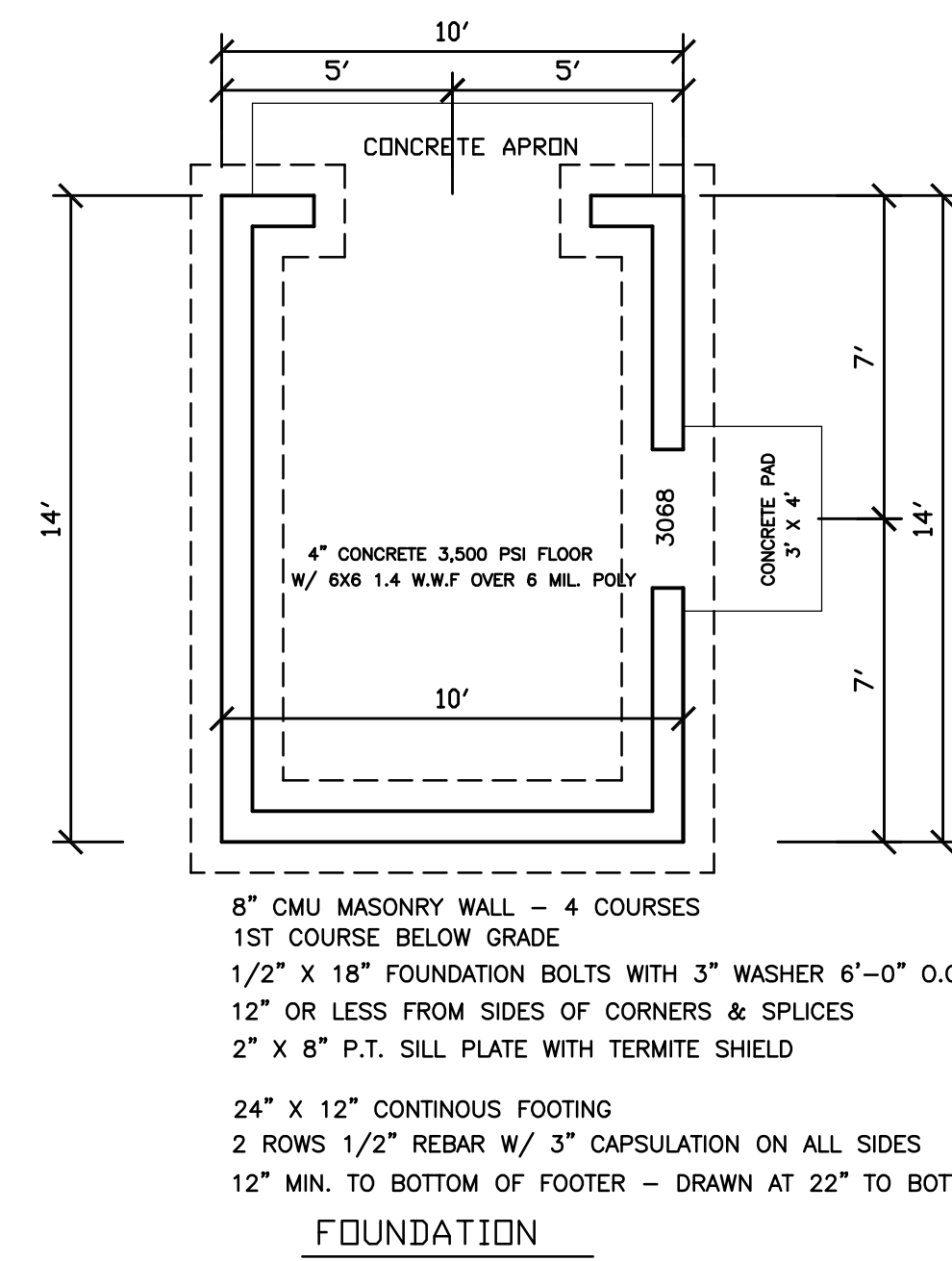
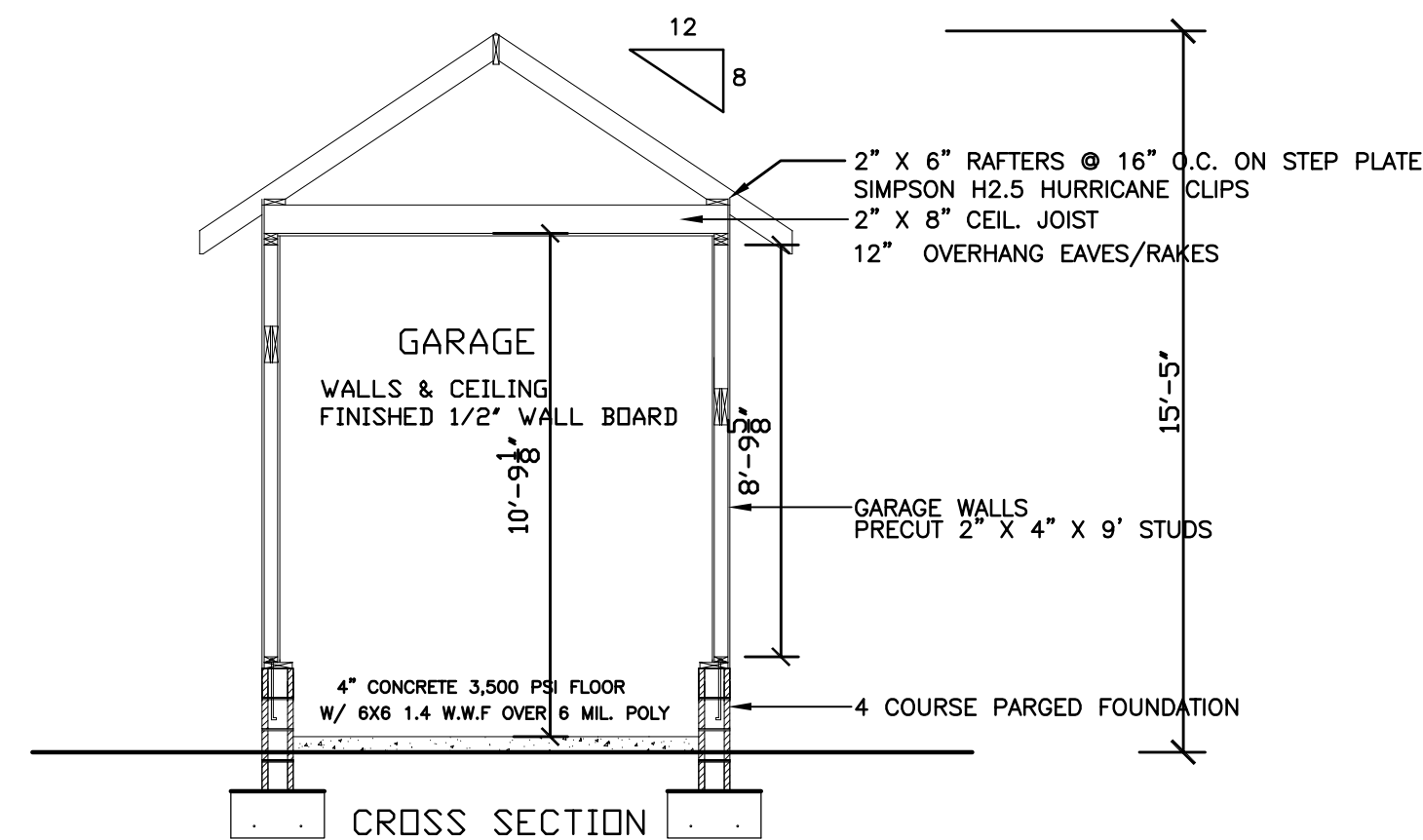
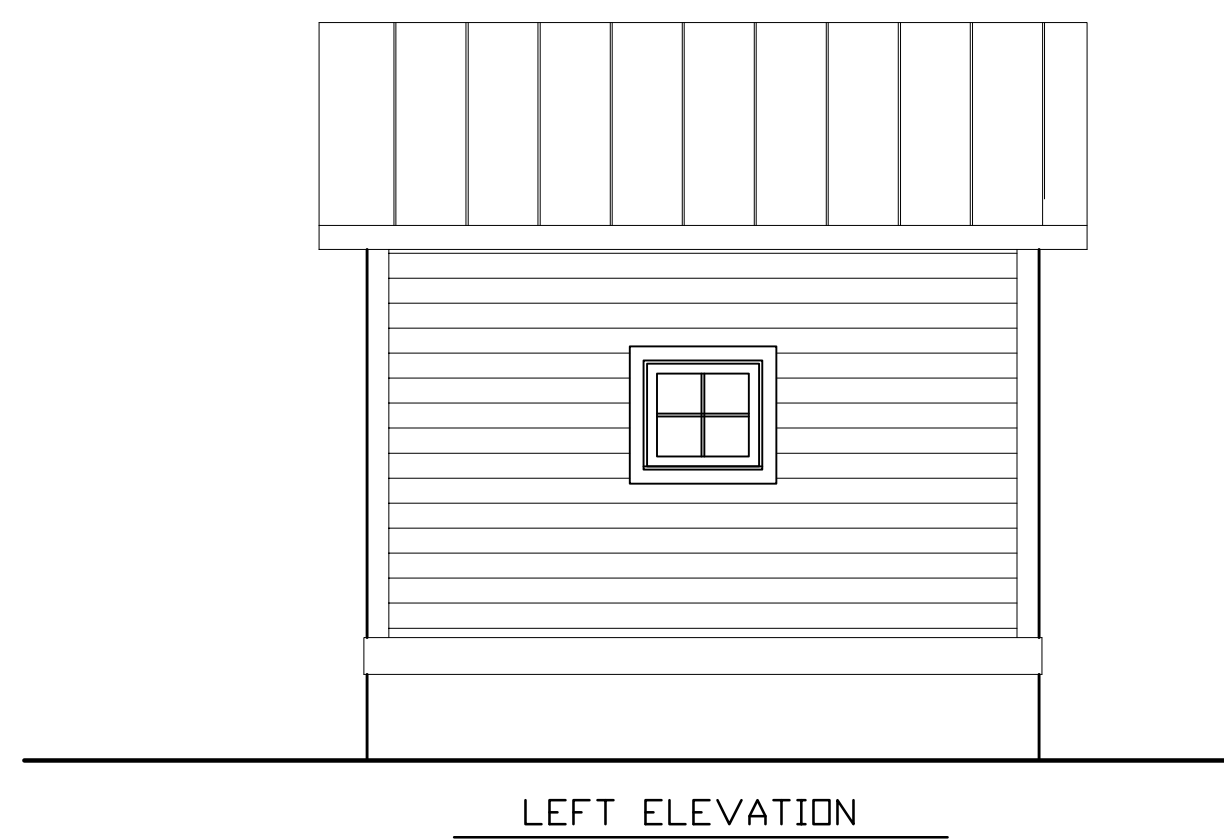
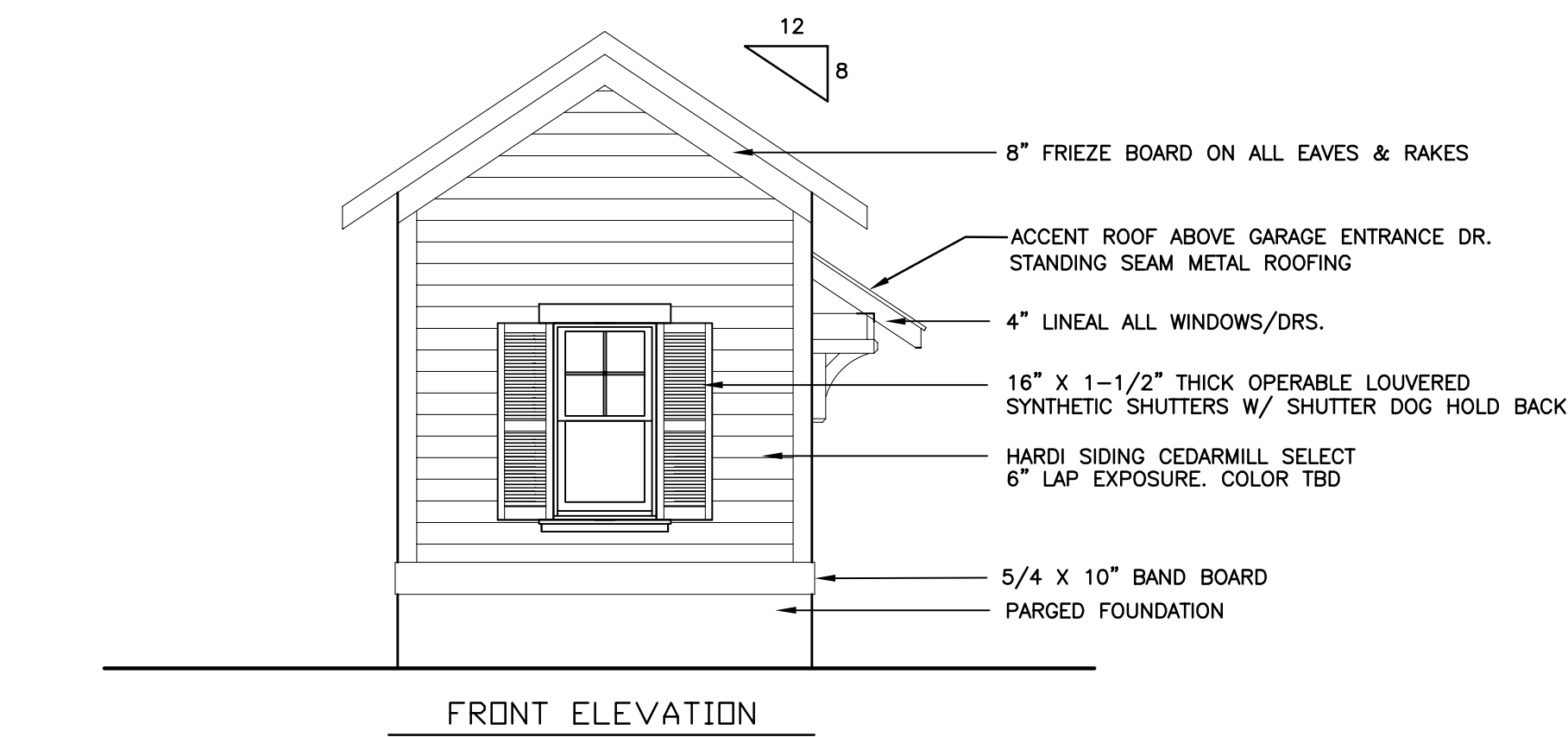
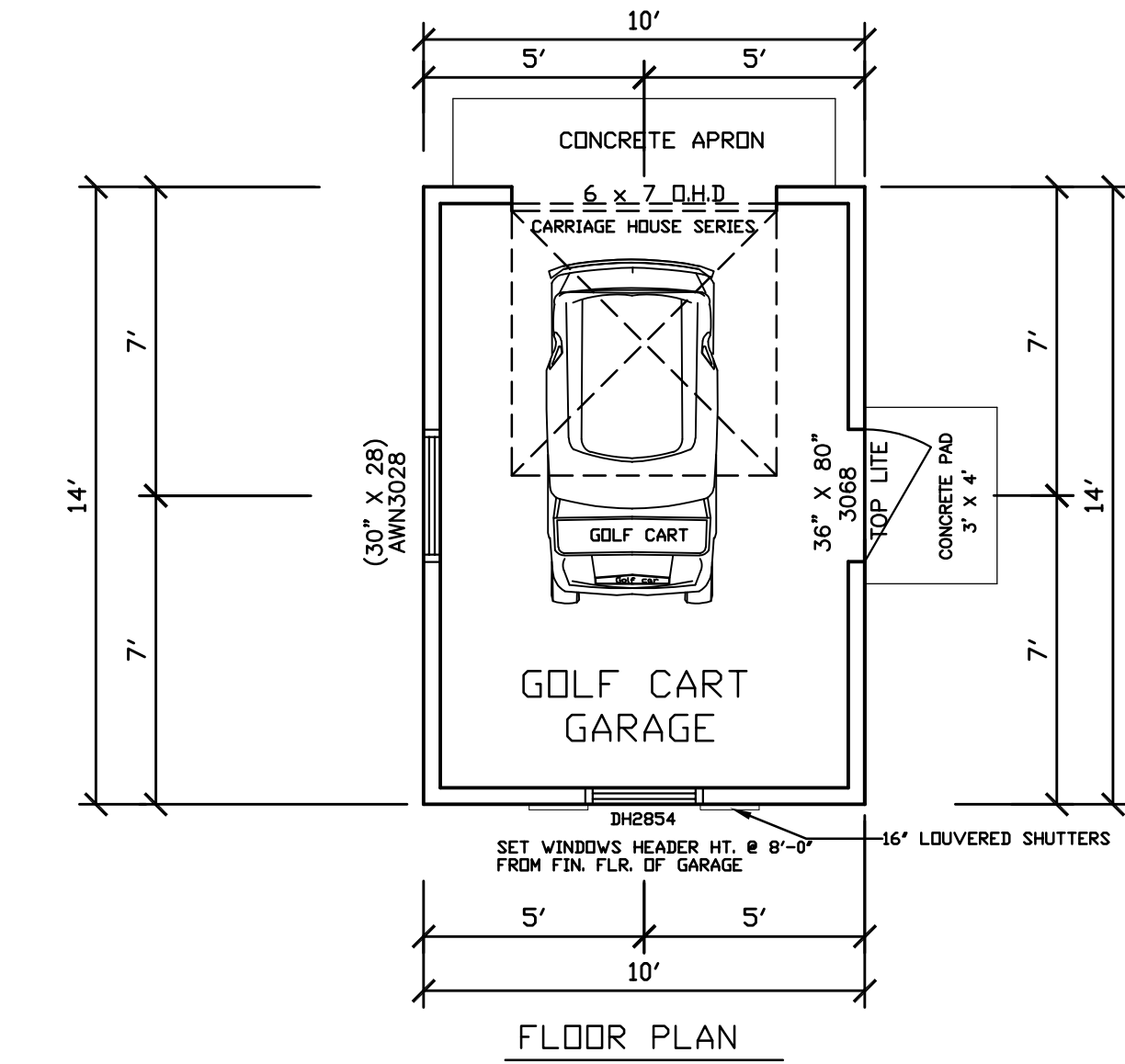
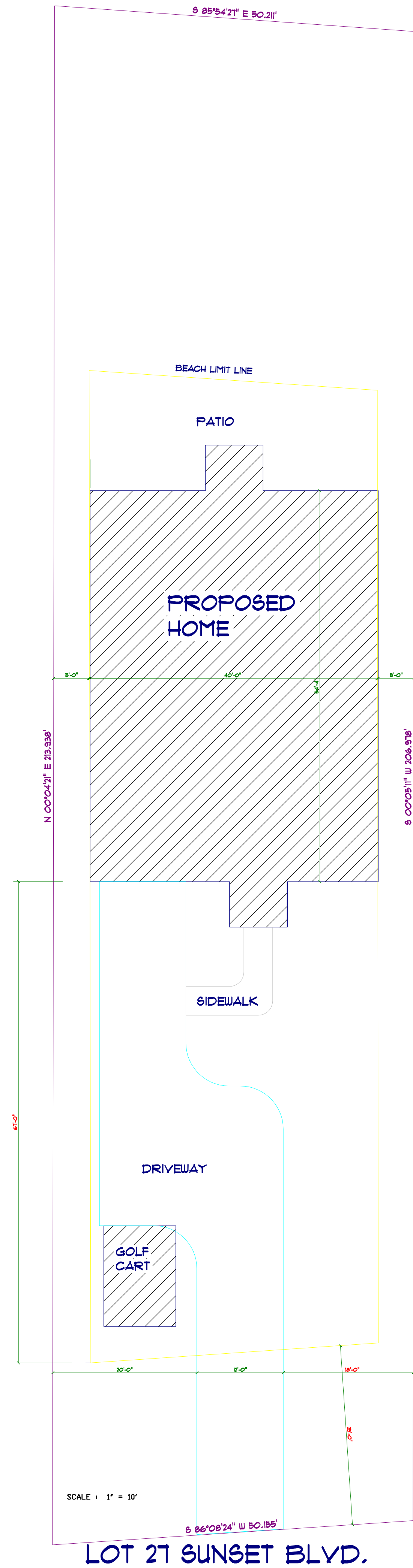
PROJECT:
A NEW HOME FOR:
THE DAWSON RESIDENCE
LOT 27 SUNSET BLVD.
CAPE CHARLES, VA 23310
THE COLONY AT BAY CREEK

DATE: 01/05/23
REVISED: 02/02/23
REVISED: 03/07/23
REVISED: 05/11/23

SCALE:
1/4" = 1'-0"
DRAWING NUMBER



SQ/FT.
1ST FLR. 1183
2ND FLR. 1533
3RD FLR. 737
LIVING TOT. 3453
GARAGE 538
PORCH/BALCONY -DECK 1293
CONSTRUCTION DOCUMENTS
DESIGNER: GRIESER DESIGN LLC Email: greg@grieserdesign.com Tel: 443-944-2156
CONTRACTOR: JB Design&Remodeling
PROJECT: A NEW HOME FOR: THE DAWSON RESIDENCE LOT 27 SUNSET BLVD. CAPE CHARLES, VA 23310 THE COLONY AT BAY CREEK
DATE: 01/05/23
REVISED: 01/25/23
REVISED: 03/07/23
REVISED: 05/11/23
SCALE: 1/4" = 1'-0"
DRAWING NUMBER A5



NOTES

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SQ/FT.

1ST FLR. 1183
2ND FLR. 1533
3RD FLR. 408

LIVING TOT. 3124

GARAGE 538

PORCH/BALCONY
-DECK 1293

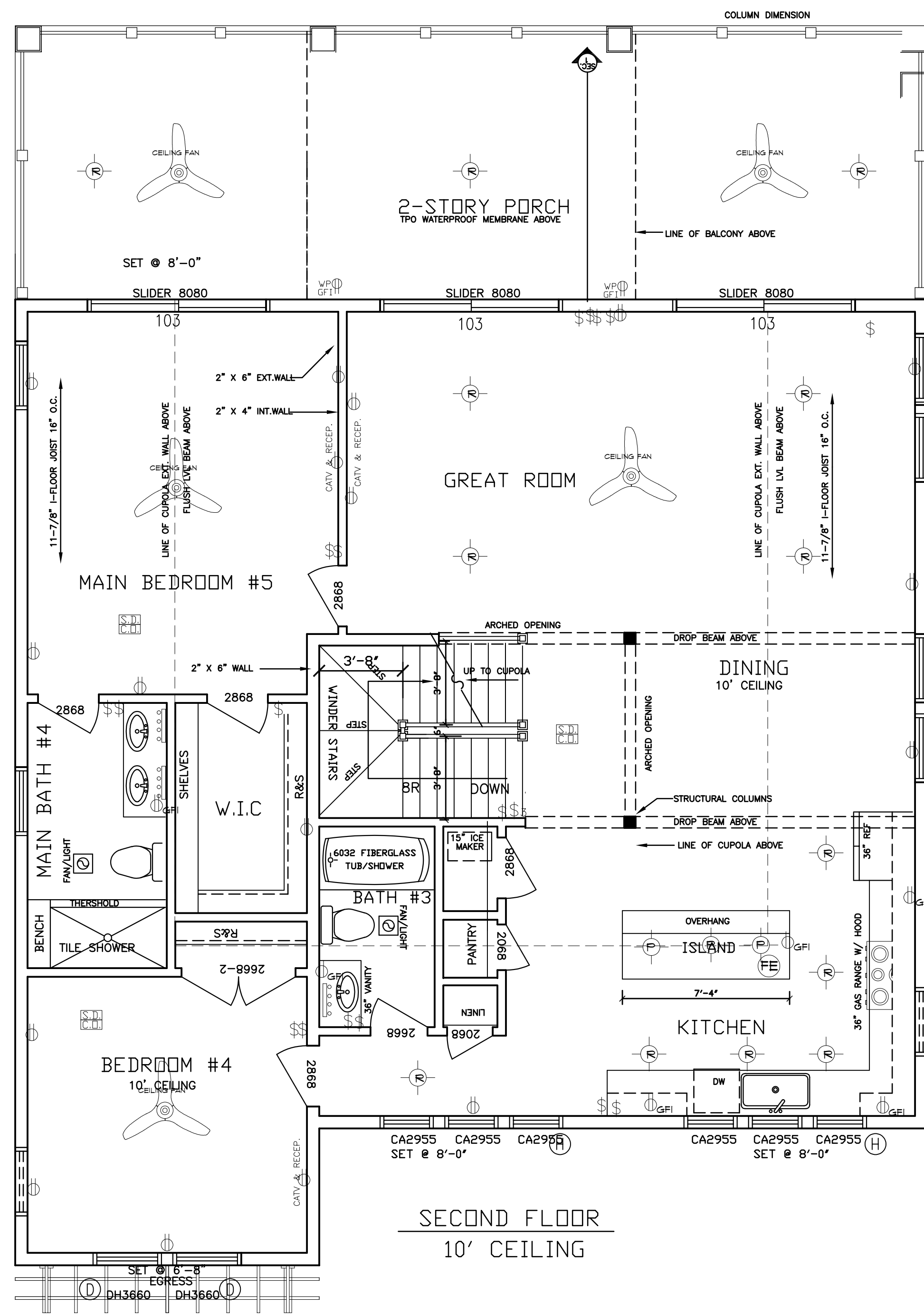
CONSTRUCTION DOCUMENTS

DESIGNER:
GRIESER DESIGN LLC
Email: greg@grieserdesign.com
Tel: 443-944-2156

CONTRACTOR:
JB Design & Remodeling

A NEW HOME FOR:
THE DAWSON RESIDENCE
LOT 27 SUNSET BLVD.
CAPE CHARLES, VA 23310
THE COLONY AT BAY CREEK

PROJECT:
DATE: 01/05/23
REVISED: 02/02/23
REVISED: 03/07/23
REVISED:
SCALE: 1/4" = 1'-0"
DRAWING NUMBER

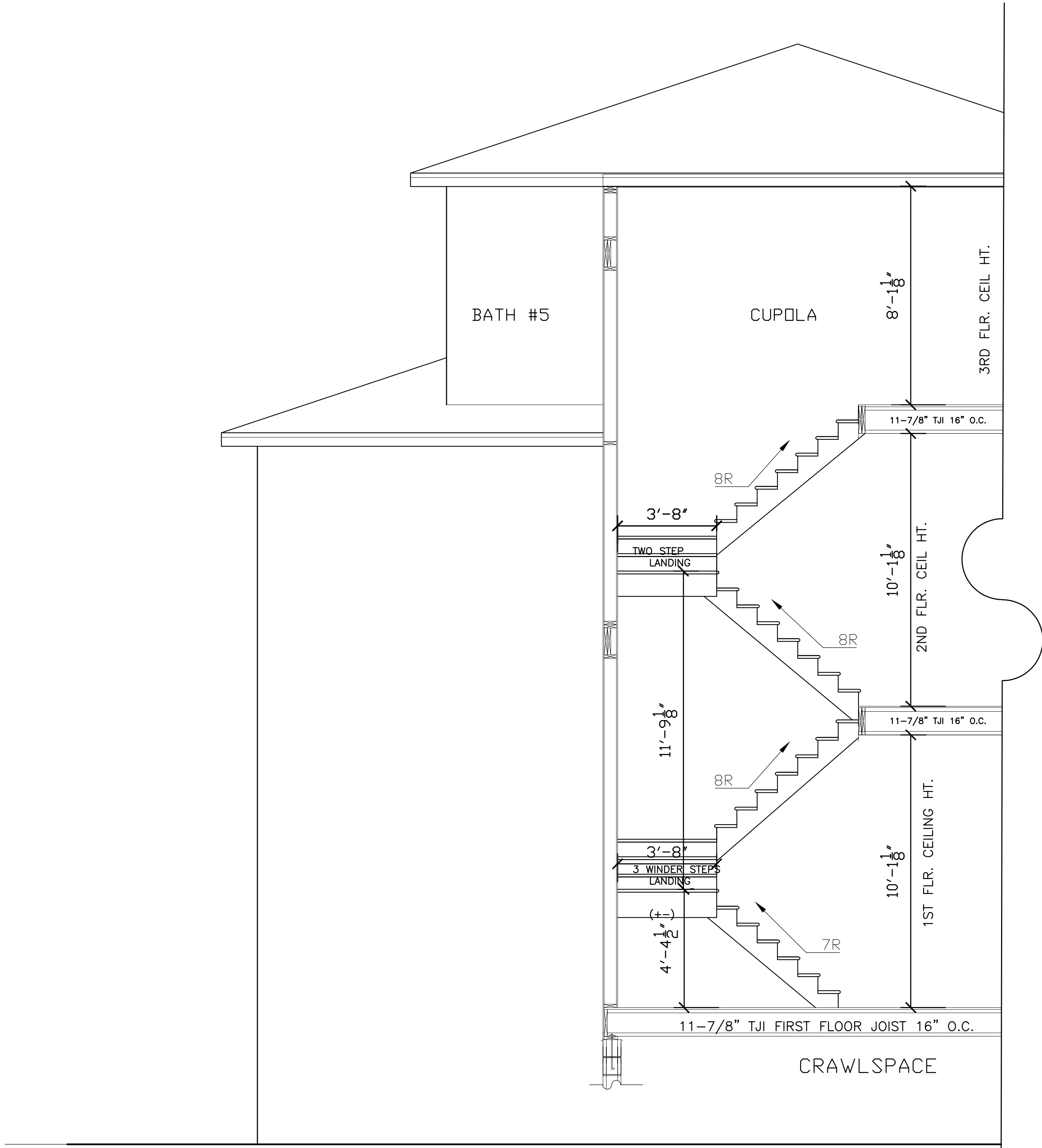


SECOND FLOOR
10' CEILING



- | | |
|---|-------------------------------|
|  | WATERPROOF RECEPT. w/GFI |
|  | RECESSED LIGHT |
|  | EXTERIOR LIGHT |
|  | RECEPTACLE |
|  | G.F.C.I. PROTECTED RECEPTACLE |
|  | SWITCH |
|  | THREE WAY SWITCH |
|  | FIRE EXTINGUISHER |
|  | SPOT LITES |
|  | SMOKE DETECTOR/ C.O. DETECTOR |
|  | LIGHT BAR |
|  | PENDANT LIGHT |

A NEW HOME FOR: THE DAWSON RESIDENCE LOT 27 SUNSET BLVD. CAPE CHARLES, VA 23310 THE COI ONLY AT RAY CREEK	CONTRACTOR: 	DESIGNER: GRIESER DESIGN LLC Email: grieg@grieserdesign.com Tel: 443-944-2156	CONSTRUCTION DOCUMENTS	SQ./FT.
				1ST FLR. 1183 2ND FLR. 1533 3RD FLR. 737 LIVING TOT. 3453 GARAGE 538 PORCH/BALCONY -DECK 1293
PROJECT: DATE: 01/05/23 REVISED: 01/25/23 REVISED: 03/07/23 REVISED: 05/11/23 REVISED: SCALE: 1/4" = 1'-0" DRAWING NUMBER ELECTRICAL A7				

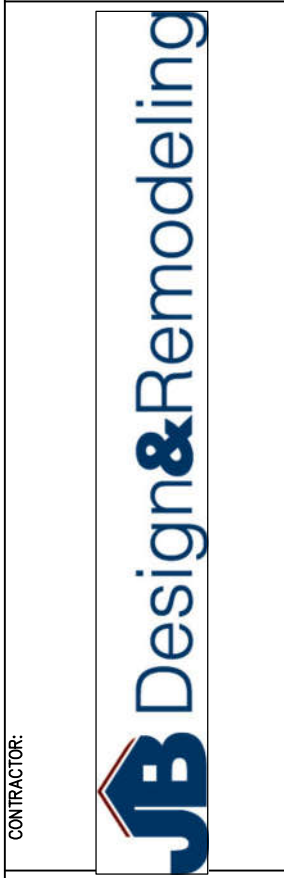


STAIR SECTION

SQ/FT.	
1ST FLR.	1183
2ND FLR.	1533
3RD FLR.	737
LIVING TOT. 3453	
GARAGE	538
PORCH/BALCONY -DECK	1293

CONSTRUCTION
DOCUMENTS

DESIGNER:
GRIESER DESIGN LLC
Email: greg@grieserdesign.com
Tel: 443-944-2156



A NEW HOME FOR:
THE DAWSON RESIDENCE
LOT 27 SUNSET BLVD.
CAPE CHARLES, VA 23310
THE COLONY AT BAY CREEK

PROJECT:	
DATE:	01/05/23
REVISION:	01/25/23
REVISION:	03/07/23
REVISION:	05/11/23
REVISION:	
SCALE:	3/8" = 1'-0"
DRAWING NUMBER	STAIRS A8