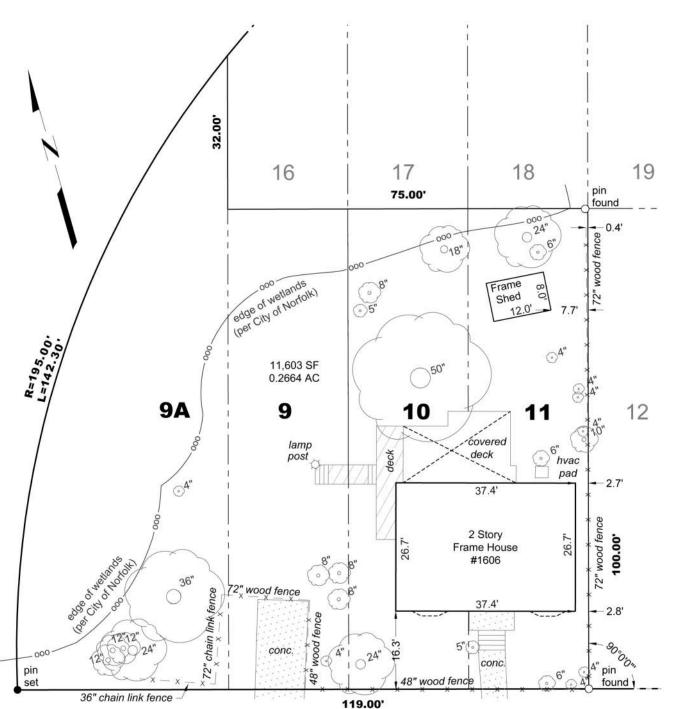
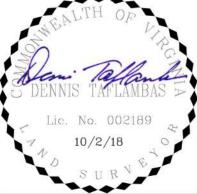
- The land boundary survey shown hereon is based on a current field survey performed on September 27, 2018 and in combination with the plat(s) and/or deed(s) referenced herein. This survey was performed without the benefit of a current title report. The easements appearing on this survey, if any, were depicted and/or noted in the referenced plat(s) and/or deed(s) unless otherwise noted.

  This property appears to fall in flood zone(s) X (Shaded), AE as shown on the NFIP map for the city of Norfolk, map/panel 510104 0019 H,
- effective 2/17/17. Base Flood Elevation = 8.0 Finished Floor Elevation =



LASALLE AVENUE (50' R/W)





#### **Physical Survey of**

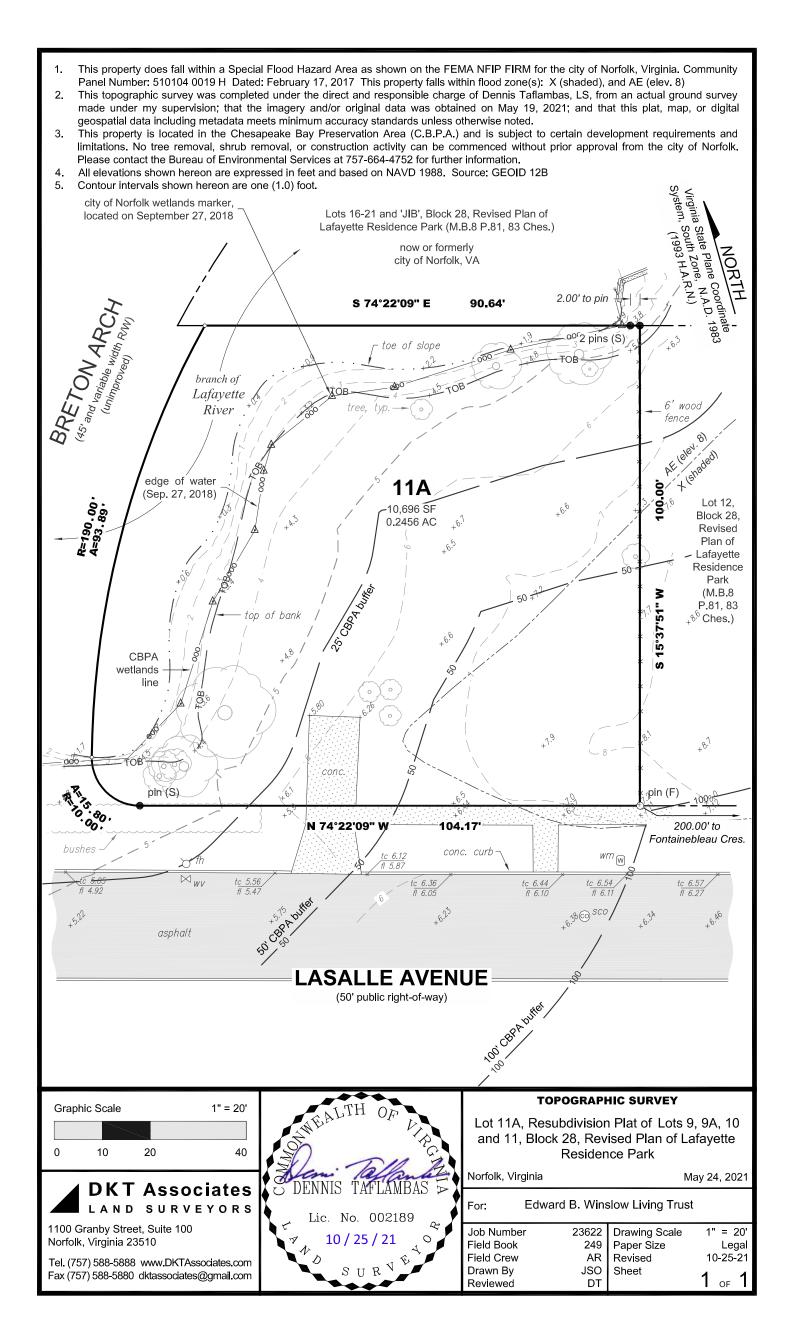
Lots 9A,9,10 & 11 Block 28 Lafayette Residence Park (M.B.17 P.51)

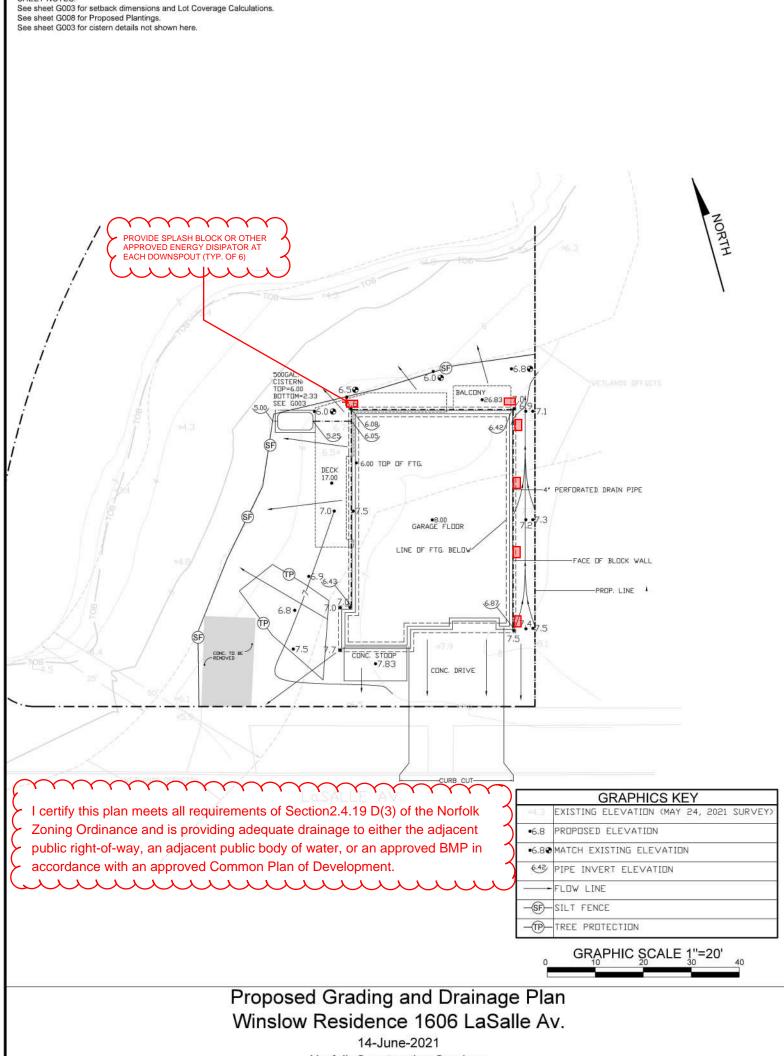
Norfolk, Virginia

October 2, 2018

#### For: EDWARD WINSLOW

Pol. EDWARD WINGLOW							
Job No:	17783	Scale:	1"	= 2	20'		
FB:	249/29	Size:	8.	5 x	14		
Drawn:	JJ	Revised:			-		
Check:	DT	Sheet:	1	of	1		





SHEET NOTES

Norfolk Construction Services
Ed Winslow
757-621-1651

## **ED AND STEPHANIE WINSLOW**

# WINSLOW RESIDENCE

**1606 LASALLE AVENUE NORFOLK, VA, 23509** 

# FOR CONSTRUCTION

**APRIL 6, 2021** 

**NOVEMBER 5, 2021 - CITY COMMENTS** 

# DRAWING INDEX

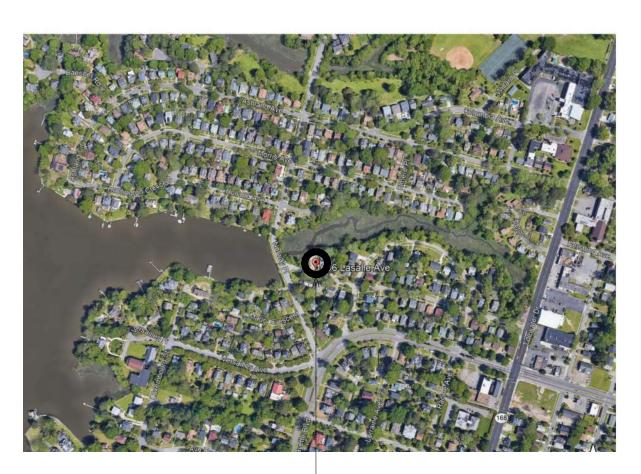
GENERAL DRAWINGS					
NO.	SHEET NAME				
G001	TITLE SHEET				
G002	CODE REVIEW SHEET				
G003	SITE PLAN AND LOT COVERAGE CALCULATIONS				
G004	CODE COMPLIANCE SUMMARY				
G005	SCHEDULES, WINDOW TYPES, AND DOOR TYPES				
G006	MATERIAL INFORMATION				
G007	3-D VIEWS				
G008	PLANTING PLAN				

	ARCHITECTURAL DRAWINGS
NO.	SHEET NAME
A100	FOUNDATION PLAN
A101	FIRST FLOOR PLAN
A120	SECOND FLOOR FRAMING PLAN
A121	SECOND FLOOR PLAN
A130	THIRD FLOOR FRAMING PLAN
A131	THIRD FLOOR PLAN
A140	ROOF PLAN & ROOF FRAMING PLAN
A201	ELEVATIONS
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A301	BUILDING SECTIONS
A302	WALL SECTIONS & DETAILS
A303	WALL SECTIONS & DETAILS
A304	WALL SECTIONS AND DETAILS
A305	WALL SECTIONS & DETAILS
A310	DETAILS
A401	ENLARGED PLANS & ELEVATIONS - KITCHEN
A402	ENLARGED PLANS & ELEVATIONS - BATHROOM AND LAUNDRY
A403	ENLARGED PLANS & ELEVATIONS
A404	ENLARGED PLANS AND ELEVATIONS
A405	ENLARGED STAIR PLANS, SECTIONS, AND DETAILS
A406	ENLARGED PLANS AND ELEVATIONS - MEDIA ROOM
A500	REFLECTED CEILING PLANS
A501	MECHANICAL & ELECTRICAL PLANS
A600	FURNITURE PLANS

#### PROJECT SUMMARY

THIS PROJECT INCLUDES THE CONSTRUCTION OF A SINGLE FAMILY RESIDENCE AT 1606 LASALLE AVE. THE OWNER HAS REMOVED THE EXISTING SINGLE FAMILY RESIDENTIAL STRUCTURE AND PREPARED THE SITE FOR THIS PROJECT. THE PROPERTY LIES WITHIN THE AE AND X-SHADED FLOOD ZONES. THE NEW RESIDENCE WILL BE CONSTRUCTED IN THE X-SHADED PORTION OF THE LOT AND RAISED UP TO AN ELEVATION OF:

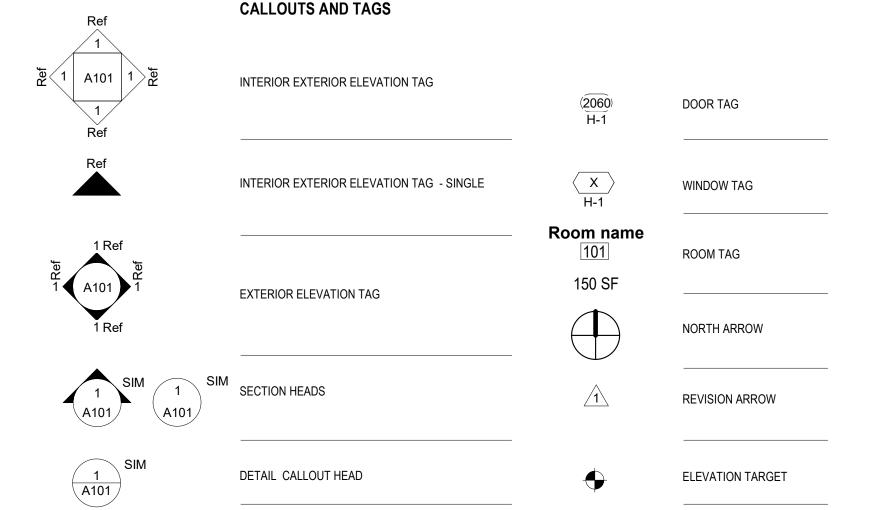
8.0' @ THE GARAGE 17.1' @ THE FIRST FLOOR LIVING LEVEL



#### **PROJECT SITE**



**VACINITY MAP** 





#### **GENERAL NOTES**

- THE CONTRACTOR SHALL VERIFY ALL GRADES, ELEVATIONS, CLEARANCES, AND DIMENSIONS AND SHALL HAVE ALL

- 5. THE CONTRACTOR SHALL COMPLY WITH CURRENT APPLICABLE CODES, ORDINANCES, LAWS, AND OTHER LEGAL

- 8. JOIST FRAMING INTO THE SIDE OF A WOOD GIRDER / BEAM SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OR ON
- ADHERING BUTYL TAPE FLASHING BETWEEN ALL JOIST HANGERS AND TREATED WOOD MEMBERS DO NOT USE FLASHING ON THE END GRAIN OF ANY MEMBER.
- 10. WALLS SHALL HAVE THE FOLLOWING CONSTRUCTION UNLESS OTHERWISE NOTED: EXTERIOR - 2" X 6" WOOD STUDS @ 16" O.C. WITH 1/2" PLYWD SHEATHING (HUBER ZIP SYSTEM OR EQUAL) TO THE OUTSIDE INTERIOR - 2" X 4" WOOD STUDS @ 16" O.C. WITH 1/2" GWB ON BOTH SIDES UNLESS NOTED OTHERWISE.
- 11. FOR EXTERIOR WD THAT IS WRAPPED IN ALUM, USE UNTREATED LUMBER.
- 12. ALL FOOTINGS SHALL BE A MININUM OF 12" BELOW EXISTING GRADE. (TO BOTTOM OF FOOTING)
- 13. ALL ABUTTING DISSIMILAR MATERIALS AREA TO BE CAUKLED AND SEALED CONTINUOUS. COLOR TO MATCH ADJACENT
- 14. PROVIDE BLOCKING IN PARTITIONS AS REQUIRED FOR MOUNTING OF CABINETS, SHELVING, GRAB BARS, ETC. THE CONTRACTOR SHALL COORDINATE THIS DURING CONSTRUCTION, PRIOR TO 'CLOSING-IN' THE WALLS.
- 15. PROVIDE MOISTURE RESISTANT WALL BOARD AT ALL WET LOCATIONS.
- 16. ALL STAIRS, LANDINGS, HANDRAILS, AND GUARDRAILS SHALL COMPLY WITH THE 2015 IRC. GUARDRAILS MUST BE AT LEAST 36" HIGH (MIN.) WITH 4" MAX CLEAR PICKET SPACING.
- 17. ALL APPLIANCES TO BE OWNER FURNISHED, CONTRACTOR INSTALLED UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROVIDE ROUGH-INS TO ACCOMMODATE APPLIANCE LOCATIONS AS INDICATED.
- 18. CONTRACTOR SHALL ENSURE THAT ALL BUILDING COMPONENTS, INCLUDING BUT NOT LIMITED TO CLADDING, WINDOWS, DOORS, AND ROOF COVERING COMPLY WITH THE WIND LOAD REQUIREMENTS ESTABLISHED BY THE APPLICABLE BUILIDING
- 19. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF SOUND BATTS IN WALLS AROUND SLEEPING ROOMS, BATHROOMS AND ANY OTHER LOCATION AS DIRECTED BY THE OWNER.
- 20. CONTRACTOR SHALL VERITY EXISTING GRADE AT NEW WORK. SLOPE ALL GRADES AWAY FROM NEW CONSTRUCTION AS REQUIRED FOR POSITIVE DRAINAGE.

CITY OF NORFOLK CODE OFFICIAL APPROVAL STAMP	CITY OF NORFOLK CODE OFFICIAL APPROVAL STAMP	CITY OF NORFOLK CODE OFFICIAL APPROVAL STAMP
ENVIRONMENTAL SERVICES	ZONING	PERMITS AND INSPECTIONS
SIGNATURE	SIGNATURE	SIGNATURE
DATE:	DATE:	DATE:
	I	

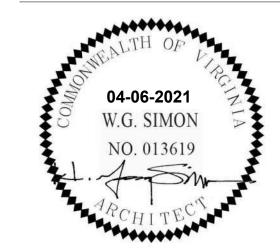


1230 PROSPERITY ROAD VIRGINIA BEACH, VA. 23451 757.663.9800 gsimon1230@cox.net



3324 Virginia Beach Blvd. Suite 106 Virginia Beach, VA. 23452 757. 382. 7266

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**DATE** 04-01-2021

**REVISIONS** 

1 11-05-2021 City comments

ED & **STEPHANIE WINSLOW** 

**CLIENT PHONE NUMBER** 

## **WINSLOW RESIDENCE**

1606 LASALLE AVE **NORFOLK, VA. 23509** 

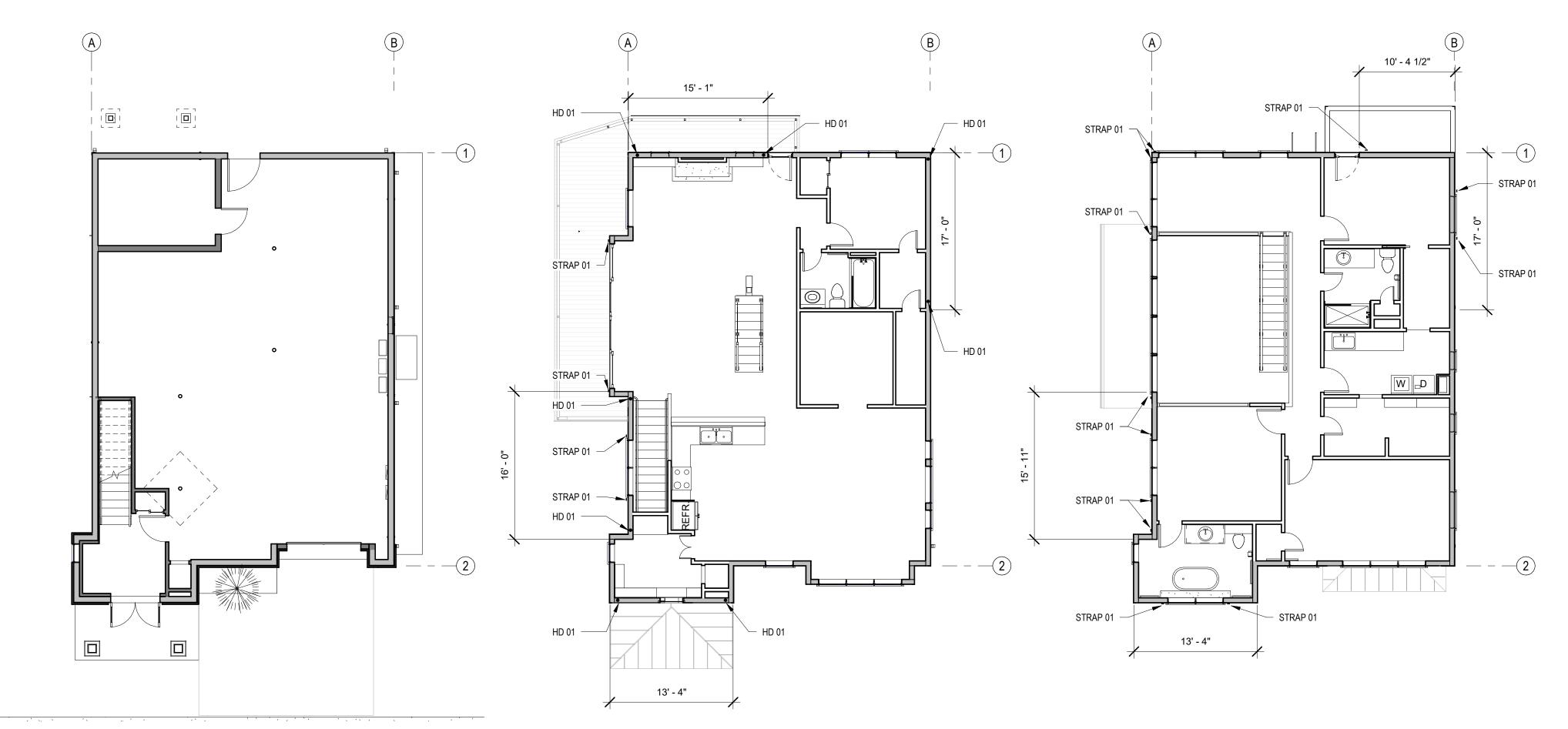
TITLE SHEET

**G001** 

SHEET NO. G001 PROJECT NO.

OF XX

1 01-FIRST FLOOR PLAN - BRACED WALL



BRACE	WALL PANEL SC	E				Wind sp	eed =	100-	110 mph		
BRACED	WALL LINE GRID		1		2		4	E	3		
Story Lev	/el				1200	SECON	D FLOOR		1200		
Average	BWL spacing										
Table R6	02 Rq'd. Lgth of Br	acing	12	2.5	12	2.5	15	5.5	15	5.5	
2000	Exposure Factor	7.5	1	.0	1	.0	1	.0	1	.0	
		t (Roof	Roof - 1.0 1.0 1.0		.0	1.0					
nt f	Wall Height - 9'-0"		1.0		1.0		1.0		1.0		
Adjustment factors	# BWL's Factor (X2 BWL's each direction)		1.0		1.0		1.0		1.0		
Adji	Factor for no GWI	Factor for no GWB		NA		NA		NA		NA	
	GWB nailed 4" o/c		1.0		1.0		1.0		1.0		
Required	BWP Length	E)	12	2.5	12.5 1		15	5.5	15.5		
-		BWP	Method	Length	Method	Length	Method	Length	Method	Length	
NP or Plan	Contributing	1	PBS	15	PBS	13.3	PBS	16	PBS	17	
BWP on Plan	Length	2									
В		3									
BWP Ler	ngth Provided		15	5.0	13	3.3	16	5.0	17	7.0	

02-SECOND FLOOR PLAN - BRACED WALL

BRACE	WALL PANEL SC	HEDUL	E				Wind sp	eed =	100-	110 mpł
BRACE	WALL LINE GRID			1		2	9	A		В
Story Le	vel					THIRD	FLOOR			
Average	BWL spacing							i		
Table R6	602 Rq'd. Lgth of Br	racing	6	5.5	6	.5		8		8
	Exposure Factor		1	.0	1	.0	1	.0	1	.0
actors	Eave Ridge Height (Roof eave: 10'-0")		1.0		1.0		1.0		1.0	
nt fe	Wall Height - 8'-0"		1.0		1.0		1.0		1.0	
Adjustment factors	# BWL's Factor (X2 BWL's each direction)		1.0		1.0		1.0		1.0	
Ådji	Factor for no GWB		NA		NA		NA		NA	
	GWB nailed 4" o/c		1.0		1.0		1.0		1.0	
Required	BWP Length		6	.5	6	.5	55	8	1	8
<u> </u>		BWP	Method	Length	Method	Length	Method	Length	Method	Length
NP or Plan	Contributing	1	PBS	10.3	PBS	13.3	PBS	16	PBS	17
BWP on Plan	Length	2								
ш		3			T					
BWP Length Provided			10	0.3	13	3.3	16	6.0	17	7.0

3 03-THIRD FLOOR PLAN - BRACED WALL

#### **CODE REVIEW**

THESE DRAWINGS ARE INTENDED TO COMPLY WITH THE VIRGINIA RESIDENTIAL BUILDING CODE (2015 EDITION). REFERENCING THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC) FOR ONE AND TWO FAMILY DWELLINGS

BUILDING DATA	
USE GROUP: TYPE OF CONSTRUCTION:	SF-T (SINGLE FAMILY TRADITIONAL)
MAXIMUM BUILDING HEIGHT: CLIMATE ZONE	35 FEET 4A

GROSS SQUARE FOOTAGE 1,519 FIRST FLOOR (120 SF CONDITIONED) 1,580 SECOND FLOOR (1,580 SF CONDITIONED) OF NEW WORK 1,525 THIRD FLOOR (1,525 SF CONDITIONED)

4,624 TOTAL SQUARE FOOTAGE

**DESIGN LOADS** LIVE LOADS DEAD LOADS UNINHABITABLE ATTICS - NO STORAGE UNINHABITABLE ATTICS - LIMITED STORAGE 20 PSF 10 PSF HABITABLE ATTICS - W/ FIXED STAIRS 10 PSF SLEEPING AREAS 10 PSF LIVING AREAS OTHER THAN SLEEPING 15 PSF EXTERIOR BALCONIES AND DECKS 10 PSF 15 PSF 10 PSF 40 PSF CEILING JOISTS 20 PSF **ROOF AREA** 20 PSF 15 PSF WIND LOAD 100 MPH EXPOSURE C (IRC 2015)

(PER MODIFICATION)

BASE FLOOD ELEVATION 8'-0"

<u>SECTION</u>

R602.3.1

R602.10.0.1

T401.4.1

R602.8

THIS PROPERTY LIES IN THE COASTAL RESILIENCE OVERLAY DISTRICT my manurement

**DESCRIPTION** 

T302.1	ALL EXTERIOR WALLS HAVE A MINIMUM SEPARATION DISTANCE OF 5 FEET.
R602	LUMBER GRADE AND SPECIES SHALL BE #2 SYP FOR BEAMS (UNLESS NOTED OTHERWISE.) ALL STUDS SHALL BE #3 OR STANDARD STUD GRADE LUMBER. ALL FASTENERS SHALL COMPLY WITH TABLE 602.3. STUD SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
T502.5(1)+(2)	WOOD GIRDER FLOOR SPANS COMPLY WITH TABLE 502
T602.3(1)	WOOD FASTENERS FOR STRUCTURAL FLOOR MEMBERS SHALL COMPLY WITH TABLE 602.3
R502.4	DOUBLE JOISTS SHALL BE USED UNDER BEARING PARTITIONS AND SHALL COMPLY WITH THIS SECTION.
R502.6	MINIMUM BEARING FOR FLOOR JOISTS SHALL BE 3".
T1102.1	INSULATION SHALL BE AS FOLLOWS: WALLS R-19 FLOORS R-19 CEILINGS R-38
R302.6	PROVIDE REQUIRED DWELLING UNIT - STORAGE ROOM SEPARATION PER TABLE R302.6

PROVIDE NUMBER AND TYPE OF FASTENER FOR ALL STRUCTURAL MEMBERS PER THIS

INCLUDING WALLS AND CEILINGS.

BRACED WALL NOTES DESCRIPTION HD 01 PROVIDE HOLD DOWN ANCHOR @ EACH END OF SHEAR WALL. CONNECT TO MASONRY WALL BELOW WITH 5/8" ANCHOR EMBEDDED 1'-0" INTO FULLY GROUTED CMU CELL. (PROVIDE SIMPSON HDU SERIES HOLD DOWN, GALVANIZED OR EQUAL)

PROVIDE REQUIRED BLOCKING ALONG ALL BRACED WALL PANELS

FIREBLOCKING SHALL BE INSTALLED PER R602.8 AND R302.11

ASSUMED SOIL BEARING PRESSURE - 1500 LBS/SF

STRAP 01 1-1/2" X 16 GA. GALVANIZED STRAPPING. EXTEND 24" ABOVE AND BELOW FLOOR FRAMING AND FASTEN TO WOOD FRAMING WITH 16D SINKER IN EACH HOLE. (PROVIDE SIMPSON CS16 COIL STRAPPING OR EQUAL.)

#### **HEADER NOTES:**

PROVIDE 2X BLOCKING AT ALL JOINTS IN SHEATHING PANELS ALONG SHEAR WALLS.

ARCHITECTS

1230 PROSPERITY ROAD VIRGINIA BEACH, VA. 23451 757.663.9800 gsimon1230@cox.net



3324 Virginia Beach Blvd. Suite 106 Virginia Beach, VA. 23452 757. 382. 7266

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DATE 04-01-2021

# DATE.

**REVISIONS** 

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ED & **STEPHANIE WINSLOW** 

**CLIENT PHONE NUMBER** 

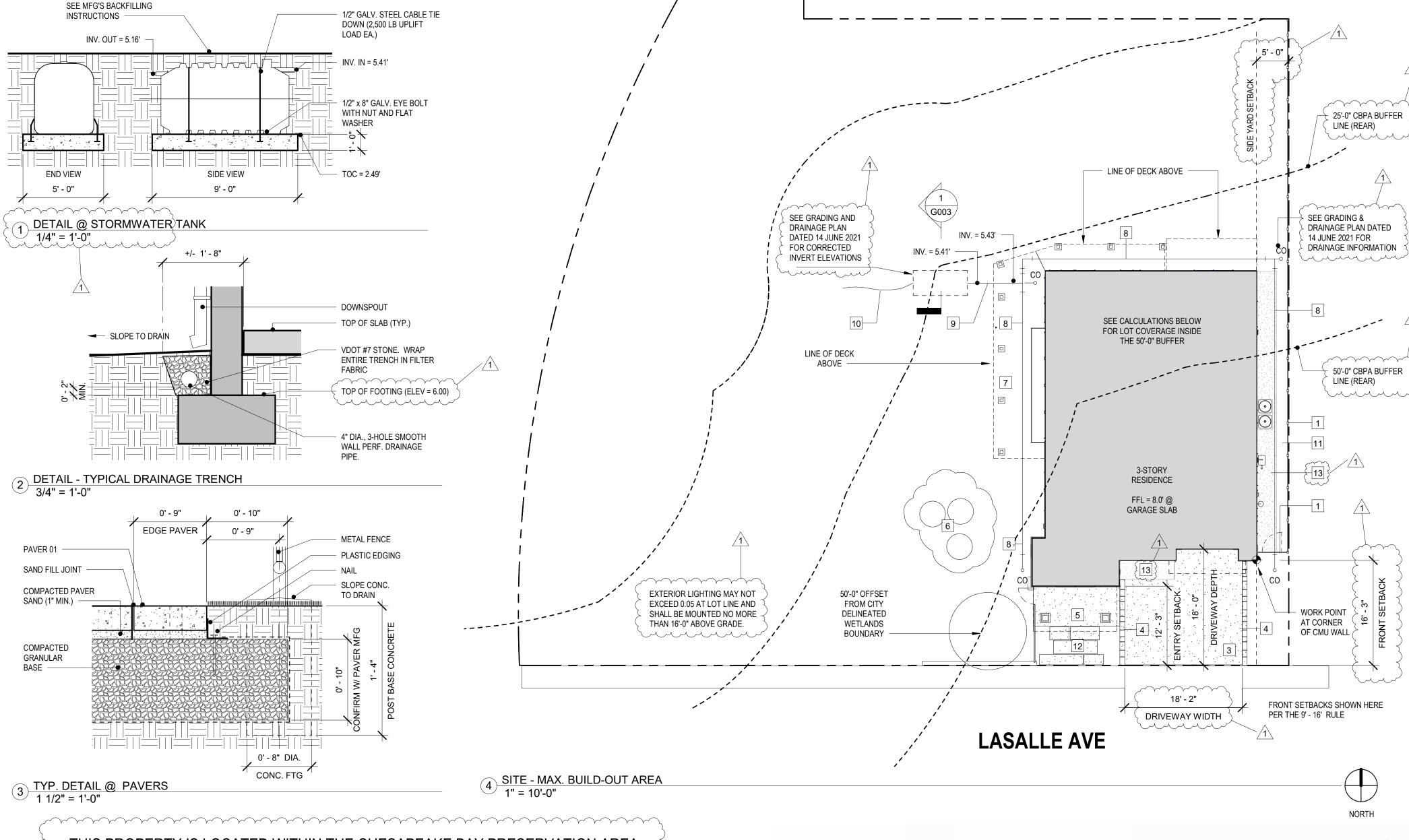
## **WINSLOW** RESIDENCE

1606 LASALLE AVE NORFOLK, VA. 23509

## **CODE REVIEW** SHEET

G002

OF XX SHEET NO. G002 PROJECT NO.

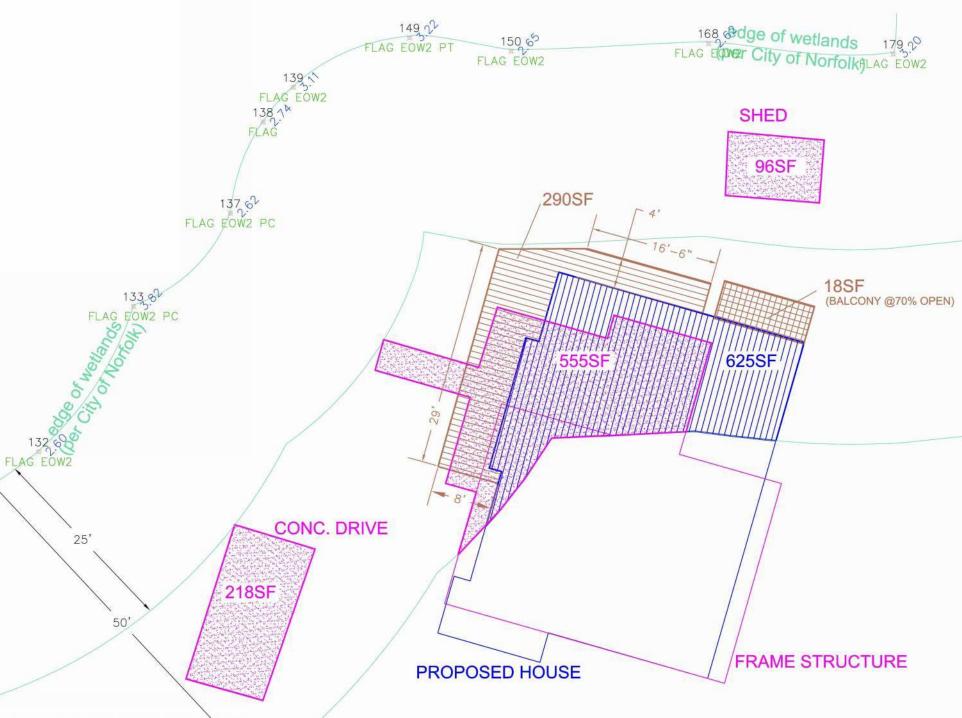


THIS PROPERTY IS LOCATED WITHIN THE CHESAPEAKE BAY PRESERVATION AREA (C.B.P.A.) AND IS SUBJECT TO CERTAIN DEVELOPMENT REQUIREMENTS AND LIMITATIONS. NO TREE REMOVAL, SHRUB REMOVAL, OR CONSTRUCTION ACTIVITY CAN BE COMMENCED WITHOUT PRIOR APPROVAL FROM THE CITY OF NORFOLK. PLEASE CONTACT THE BUREAU OF ENVIRONMENTAL SERVICES AT 757-664-4752 FOR FURTHER INFORMATION.

#### PRE- DEVELOPMENT VS. POST DEVELOPMENT COVERAGE CALCULATIONS RELATED TO LOT COVERAGE WITHIN THE 50'-0" SETBACK

	Pre-develor	oment
Item	SF in 50' Buffer	
House and deck	555	
Concrete drive	218	
Shed	96	
TOTAL	869	-
	Post-Develo	pment
Item	SF in 50' Buffer	
House	625	
Deck	290	
Balcony	18	70% open grating
TOTAL	933	
Delta	64	Additional in the 50' buffer

KEY: PRE-DEVELOPMENT PROPOSED HOUSE PROPOSED DECK



#### **LOT COVERAGE CALCULATIONS**

TOTAL LOT AREA 11,588 SF BUILDABLE AREA WITHIN THE SETBACKS 1,826 SF **NEW HOUSE COVERAGE AREA** 1,519 SF

EXTERIOR COVERAGE

WOOD DECK 290 SF DRIVEWAY (NEW) 324 SF 84 SF FRONT PORCH FRONT PORCH WALKWAY \*\*EAST SIDE WALK PAVERS

860 SF **EXTERIOR COVERAGE** 

**TOTAL LOT COVERAGE** 2,379 SF

\*SEE PRE AND POST DEVELOPMENT SITE COVERAGE CALCULATIONS BELOW FOR ADDITIONAL DEVELOPMENT AREA INFORMATION.

\*\*NOTE: THIS INCLUDES A 3'-0" SETBACK REQUIRING FIRE RATED CONSTRUCTION.

#### **GENERAL NOTES - SITE WORK**

- 1. PRIOR TO CONSTRUCTION OR EXCAVATION, THE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC AND PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE AREA OF CONSTRUCTION. "MISS UTILITY" OF VIRGINIA (1-800-552-7001) MUST BE CONTACTED A MINIMUM OF 72 HOURS PRIOR TO EXCAVATING. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY EXISTING UTILITIES THAT ARE DAMAGED DURING CONSTRUCTION. AT HIS OWN
- 2. IN ACCORDANCE WITH MS-2, ALL EXCAVATED MATERIAL SHALL BE DISPOSED OF IN A LAWFUL MANNER AT A LEGALLY PERMITTED SITE.
- 3. EXISTING TREE MANAGEMENT: THERE 2 TREES IN THE GENERAL AREA OF CONSTRUCTION.
- ANY AND ALL MATERIAL OR DEBRIS TRACKED ONTO A PUBLIC OR PRIVATE ROAD SURFACE WILL BE REMOVED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM ROADS BY SHOVELING OR SWEEPING AND BE TRANSPORTED BACK TO THE PROPERTY
- 5. IMMEDIATELY FOLLOWING CONSTRUCTION, PROVIDE TEMPORARY SEEDING WILL BE INSTALLED BY THE OWNER IN ALL DISTURBED AREAS OF THE SITE, EXCEPT UNDER DECK.
- ERODED AND PLACED ON EXISTING STREETS, DRAINAGE SYSTEMS, AND WATER COURSES. DEVICES WILL BE CLEAR OF MUD, DEBRIS, AND ERODED MATERIAL DURING ALL STAGES OF CONSTRUCTION. DEVICES ARE SUBJECT TO INSPECTIONS AFTER A STORM EVENT AND/OR AS REQUIRED BY A PLANNING CIVIL INSPECTOR.
- ALL LAND DISTURBING ACTIVITIES MUST CONFIRM WITH THE APPLICABLE REGULATIONS OF THE CITY OF NORFOLK CODES, ORDINANCES, AND PUBLIC WORKS SPECIFICATIONS AND STANDARDS OTHER MEASURES NOT SPECIFICALLY DESCRIBED HEREIN TO CORRECT ANY EROSION OR
- 8. A. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, AND AS REQUIRED BY THE CITY'S

SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN-DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 30 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE LEFT DORMANT FOR MORE THAN ONE-YEAR.

#### **NEW WORK NOTES - SITE PLAN**

1 FENCE TYPE 01

2 FENCE TYPE 02 (NOT USED)

3 CONCRETE DRIVEWAY (SLOPE MIN. 2% AWAY FROM HOUSE)

4 CONCRETE PAVER ALONG EDGE OF DRIVEWAY (CP-01)

5 STAINED CONCRETE SLAB @ ENTRY/ WALK

6 EXISTING TREES TO REMAIN

7 NO SEED UNDER DECK

8 DRAINAGE PIPE LOCATED IN TYPICAL DRAINAGE TRENCH. (SEE DETAIL THIS SHEET)

9 (x1 PIECE @ 10'-0") 4" DIA. SMOOTH WALL PIPE. DIRECT BURY

10 (x1 PIECE @ 10'-0") 4" DIA. FLEX DRAIN PIPE

11 WALKWAY PAVERS @ UTILITY AND EQUIPMENT LOCATIONS (PROVIDE 120 SF OF PAVERS. FINAL LOCATION TBD BY OWNER.)

12 FUTURE SITE CAST CONCRETE PAVERS - NOT IN CONTRACT - TO BE INSTALLED BY OWNER

13 36" WIDE PLANTING STRIP

1230 PROSPERITY ROAD VIRGINIA BEACH, VA. 23451 757.663.9800 gsimon1230@cox.net



3324 Virginia Beach Blvd. Suite 106 Virginia Beach, VA. 23452 757. 382. 7266

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DATE

**REVISIONS** 

1 11-05-2021 City comments

04-01-2021

ED & **STEPHANIE WINSLOW** 

**CLIENT PHONE NUMBER** 

## **WINSLOW RESIDENCE**

**1606 LASALLE AVE NORFOLK, VA. 23509** 

**SITE PLAN AND LOT COVERAGE CALCULATIONS** 

G003

OF XX SHEET NO. G003

SECTION	REQUIREMENT			SHEET			
301.2	DESIGN FLOOD ELEVATION			G002			
301.3	MAX. STUD WALL HEIGHT = 9'-0" (11'-7" /	ALLOWED)		A302			
	MAX. CMU WALL HEIGHT = 8'-0" (13'-7" A	ALLOWED)		A302			
302.1	FIRE SEPARATION DISTANCE	SEPARATION PROVIDED	G003 & A303				
	EXTERIOR WALLS	5'-0"	0 HOURS	A303			
	PROJECTIONS	3'-6" WITH FIRE BLOCKING	0 HOURS				
	OPENINGS	5'-0"	0 HOURS				
302.1	1/2" GWB ON UNDERSIDE OF FLOOR AS	SEMBLY ( 1/2" GWB REQUIRED). ALL PE	NETRATIONS CAULKED AND	A500			
	SEALED FIREBLOCKING - TOP PLATES PROVIDE	O AT ALL WALLS: MAXIMUM 9'-0" ABOVE	FLOOR. (MAX. ALLOWED = 10'-0")	A302 & A304			
	DRAFTSTOPPING - TOP PLATES PROVID	ED AT ALL FLOOR CEILING ASSEMBLIE	S AND MECH. DUCTWORK	A302 & A303			
302.5	CHASES.  DOORS FROM GARAGE TO HOUSE MUS	T BE SELF CLOSING		G005			
	DOOR FROM GARAGE TO HOUSE = SOL	ID WOOD 1 3/8" THICK		G005			
302.6	5/8" TYPE X GWB CEILINGS IN GARAGE	BELOW COMMON 'HOUSE' SPACES		G005			
	5/8" TYPE X GWB CEILINGS IN GARAGE	(SAFE ROOM) BELOW COMMON 'HABIT.	ABLE'	G005			
302.9	SPACES.  CEILING AND WALL FINISHES	MAX. FLAME SPREAD INDEX	200	ALL			
	PER ASTM 84/ UL 723 MAX. SMOKE DEVELOPED INDEX 450						
303.1 NATURAL LIGHT IN HABITABLE ROOMS: 8% OR GREATER PROVIDED							
	HABITABLE ROOMS HAVE MINIMUM 4% NATURAL VENTILATION OPENINGS						
303.7	ILLUMINATION PROVIDED FOR STAIRS AND LANDINGS						
304.1	MINIMUM HABITABLE ROOM AREA PROVIDED: 100 SF (MIN. REQ'D = 70 SF)						
305.1	MINIMUM CEILING HEIGHT PROVIDED: 7	·		A101 - A131 A302			
307.1	MINIMUM CLEAR SPACE IN FRONT OF TO	, , , , , , , , , , , , , , , , , , ,	EQ'D = 21")	A402 & A403			
	MINIMUM CLEAR AREA ON EACH SIDE O	·	, 	G004			
309.1	15")  GARAGE FLOOR SLOPES TO DRAIN TOV			A100 & A310			
310.1	EMERGENCY ESCAPE & RESCUE OPENI		ABLE ROOMS	G005			
310.1				G005			
311.1	WINDOW NET CLEAR OPENING = 5 SF @  EGRESS DOOR PROVIDED = 1 (MIN. REC		TVELO.	A101			
311.3	FLOOR LANDING PROVIDED ON EA. SIDI	<u> </u>	REO'D = 36" Y 36"\	FLOOR PLAN			
311.7	HANDRAIL PROVIDED @ STAIR. (MIN. RI	,	11EQD - 00 A 00 J	A405			
311.7	HANDRAIL FROVIDED @ STAIR. (MIIN. RI	EQD - ONE SIDE ONLT)		A405			
211 7 5	MAY OTAID DIGED LISIOUT, A 4/41/DED 1/4 DECIDENTIAL COST 1/2 1/2 1/2						
311.7.5	MAX. STAIR RISER HEIGHT: 8 1/4" (PER VA. RESIDENTIAL CODE, NOT IRC.)  MIN. STAIR TREAD DEPTH: 9" (PER VA. RESIDENTIAL CODE, NOT IRC.)						
244 7 0	· · · · · · · · · · · · · · · · · · ·	NEOIDENTIAL CODE, NOT IKC.)		A 405			
311.7.8	HANDRAILS: 34" - 38" FROM NOSING  STAIR AND RAIL OPENINGS PREVENT PA	ASSAGE OF 4" SPHERE ON OPEN SIDE (	OF STAIRS, AND 6" SPHERE @	A405			
312.1	TRIANGLE OF TREAD, RISER, AND BOTT	OM RAIL.		A405			
312.1.2	GUARDRAILS = 36" HEIGHT FROM WALK	ING SURFACE		A121 & A302			
244	CMOKE ALADMO AND CARDON CONTROL	DE ALADMO					
314	SMOKE ALARMS AND CARBON MONOXII	JE ALAKMS		A501			
317.1	CRAWLSPACE FRAMING						

SECTION	REQUIREMENT			SHEET		
401.3	STORM WATER GRADED AWAY FROM FOL	JNDATION MIN. 6" IN 1ST 10'-0"	OF SITE.	G003		
403.1	HARDSCAPING MATERIALS WITHIN 10'-0" C	OF BUILDING IS SLOPED MIN. 2	% GRADE.	G003		
	STORMWATER RETENTION PROVIDED					
	FOOTINGS EXTEND BELOW GRADE 12". (N	MIN. REQ'D = 12")		A310		
402.2	CAST-IN-PLACE CONCRETE STRENGTH	PROVIDED	REQUIRED			
	BASEMENT/ FOUNDATIONS NOT EXPOSED TO WEATHER NA 2500 PSI					
	BASEMENT AND INTERIOR SLABS 3500 PSI 2500 PSI					
	BASEMENT/ FOUNDATIONS EXPOSED TO WEATHER	NA	3000 PSI			
	GARAGE FLOOR SLABS	3500 PSI	3000 PSI			
403.1	FOUNDATION ANCHORAGE AND REINFOR	CING PROVIDED IN CMU WALL	S	A310		
406.1	DAMPROOFING PROVIDED ON CMU WALLS	8		A310		
407.3	STEEL COLUMNS = 4" DIA. (MIN. REQ'D =	3" DIA.)		A101		
	WOOD COLUMNS = 8" AND 4" SQUARE. (M	IIN. REQ'D = 4" SQUARE)				
408.5	CRAWLSPACE ACCESS AND VENTILATION			NOT APPLICA		
502	JOIST & GIRDER SPANS, INCLUDING BEARING LENGTH, DOUBLE JOISTS, AND CANTILEVERS. SIZES PER SPAN TABLES OR AS DESIGNED.  WALL SHEATHING					
503	WALL SHEATHING					
506.1	CONCRETE SLAB-ON-GRADE FOUNDATION	NS		NOT APPLICA		
507	EXTERIOR DECK FRAMING, SPANS, LEDGE	ER ATTACHEMENT, AND MATE	RIALS	A302 & A30		
602	BRACED WALL PANELS, METHODS, AND C.	ALCUI ATIONS		G002		
602.3	ALL FASTENERS SHALL BE PER TABLE 20					
	WALL FRAMING, INCLUDING HEIGHTS, SPA		LOCATIONS,	GEN NOTE		
602 - 603	AND HEADERS.	DEINEODOEMENT		4040		
606.1	CMU WALL SUPPORTS, ANCHORAGE, AND WINDOWS & EXTERIOR DOORS, SKYLIGH		IIDEMENTO	A310		
009	WINDOWS & EXTERIOR DOORS, SKILIGH	13, AND SAFETT GLASS REQU	INCIMENTS	G005		
703	EXTERIOR WALL COVERS, WRB, INSULATION	ON, AND MASONRY/ STONE VE	ENEER PRODUCTS	A302 - A30		
702	INTERIOR WALL SURFACES, TILE, AND WA	TER RESISTANT GWB		A401 - A403		
802	ROOF FRAMING AND CEILING JOISTS			A140		
806	ATTIC VENTILATION PROVIDED IN UPPER PORTION OF ATTIC = 1/300TH AREA (MIN. REQ'D = 1/300TH AREA.)					
807	ATTIC ACCESS LADDER			A131		
903 - 904	ROOFING MATERIALS, FLASHINGS AND BARRIER SHEETS					

FLOOD VENTS SHALL BE 'CRAWL SPACE SYSTEMS' (MODEL # CSB8A16) OR APPROVED EQUAL MEETING THE FOLLOWING REQUIREMENTS: ENCLOSED PROTECTED AREA (Ae) OF 305 SF OR MORE.
 NET AREA (Ao) OF 105 SQUARE INCHES OR MORE.
 (SEE SHEET A101 FOR VENT LOCATIONS)

#### FLOOD VENT CALCULATION

}	LOCATION	AREA	REQUIREMENT	TOTAL REQUIRED	TOTAL PROVIDED	
}	FIRST FLOOR (GARAGE)	1,525 SF	(1 PER 305 SF)	5	5	
				mmm	mmm	

#### **TABLE R301.2(1)**

GROUND	WIND DESIGN		SEISMIC	SUBJECT TO DAMAGE FROM		VVII		ICE BARRIER	FLOOD	AIR	MEAN
SNOW LOAD	SPEED	TOPO EFFECTS	DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	DESIGN TEMP	UNDERLAYMENT	HAZARDS	FREEZING INDEX	ANNUAL TEMP
10 LBS	110 MPH	NOTE-A	Α	MODERATE	12"	YES	37 DEG	PROVIDED	NOTE-A	1500 OR LESS	58 DEG

NOTE-A: JURISDICTION HAVING AUTHORITY SHALL PROVIDE THIS INFORMATION

1230 PROSPERITY ROAD VIRGINIA BEACH, VA. 23451 ph: 757.663.9800 gsimon1230@cox.net



3324 Virginia Beach Blvd. Suite 106 Virginia Beach, VA. 23452 757. 382. 7266

**1230 ARCHITECTS © 2021** 



DATE 04-01-2021 **REVISIONS** 

# DATE.

1 11-05-2021 City comments

ED & **STEPHANIE WINSLOW** 

**CLIENT PHONE NUMBER** 

## **WINSLOW** RESIDENCE

1606 LASALLE AVE NORFOLK, VA. 23509

## CODE COMPLIANCE SUMMARY

G004

OF XX SHEET NO. G004

1804 PROJECT NO.

TYPICAL WATER CLOSET CLEARANCES (TARGET AND MIN. PER CODE)

● MIN. = 21" TO ANY

OBSTRUCTION

**TARGET** 

CLEAR FLOOR

MIN. PER CODE

MIN. = 2'-6" TO ANY
SIDE OBSTRUCTION
AND 30" TO CL OF
FIXTURES

				NTERIOR FINISH	SCHEDULE				
						ALLS			
NO.	NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	CEILING	COMMENTS
1	ENTRY	S-CONC 01	WD	PNT 01		PNT 01	PNT 01	PNT	
2	CLO	S-CONC 01	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
3	GARAGE	S-CONC 02		PNT 01		PNT 01		PNT	5/8" TYPE X GWB - CEIL
4	SAFE	S-CONC 02		PNT 01	PNT 01	PNT 01	PNT 01	PNT	5/8" TYPE X GWB - CEIL
4	SAFE								
5	LIVING	WD 01	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
6	BEDROOM	CPT 02	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
7	CLO	CPT 02	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
8	WIC	CPT 02	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
9	BATH	PT 01	PT 01	PNT 01 / CT 02	PNT 01 / CT 02	PNT 01 / CT 02	PNT 01	PNT	
10	MEDIA	CPT 01	WD	PNT 03	PNT 03	PNT 03	PNT 03	PNT	
11	DINING	WD 01	WD	PNT	PNT	PNT		PNT	
12	KITCHEN	WD 01/ PT 01	WD / PT 01	CT 01		PNT 01	PNT 01/CT 01	PNT	
13	PANTRY	PT 01	PT 01	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
14	MEZZANINE	WD 01	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	FLOOR TILE AT EDGE
15	ED'S OFFICE	CPT 04	WD	PNT 02	PNT 02	PNT 02	PNT 02	PNT	
16	BATH	PT 01	PT 01	PNT 01	PNT 01 / CT 02	PNT 01 / CT 02	PNT 01 / CT 02	PNT	
17	CLO	CPT 04	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
18	LAUNDRY	PT 01	PT 01	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
19	WIC	CPT 03	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
20	STEPHANIE'S STUDIO	LVT	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
21	CLO	LVT	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
22	BATH	PT 02	PT 02	PNT 02	PNT 02	PNT 02 / CT 03	PNT 02	PNT	
23	MASTER BEDROOM	CPT 03	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	
24	CLO	PT 01	WD	PNT 01	PNT 01	PNT 01	PNT 01	PNT	

WINDOW SCHEDULE -A							
MARK	Count	Family and Type	WIDTH	HEIGHT	Comments		
2015	1	Window-Fixed-Pella-Clad-Rectangular: Rectangular 2' X 1'-5'	2' - 0"	1' - 5"			
2020	2	Window-Fixed-Pella-Clad-Rectangular: Rectangular 2' X 2' FIXED	2' - 0"	2' - 0"			
2020A	5	Window-Fixed-Pella-Clad-Rectangular: Rectangular 2' X 2' AWNING	2' - 0"	2' - 0"			
2040	1	Window-Fixed-Pella-Clad-Rectangular: Rectangular 2' X 4' FIXED	2' - 0"	4' - 0"			
2040C	2	Window-Fixed-Pella-Clad-Rectangular: Rectangular 2' X 4' - CASEMENT	2' - 0"	4' - 0"			
2041	7	FOUND VENT 8X16: 16" x 48"	1' - 4"	0' - 8"			
2042	1	EXHAUST VENT 24X24: 24" X 24"	2' - 0"	2' - 0"			
2043	1	CMU WALL ROUGH OPEN_1230: 32" X 16"	1' - 4"	2' - 8"			
2049	2	Window-skylight-VELUX_FS-deck_mounted-fixed (1): C08	1' - 10 3/8"	4' - 7 15/16"			
3012	6	Window-Fixed-Pella-Clad-Rectangular: Rectangular 3' X 1'-2"	3' - 0"	1' - 2"			
3015	2	Window-Fixed-Pella-Clad-Rectangular: Rectangular 3' X 1'-5" - FIXED	3' - 0"	1' - 5"			
3015A	5	Window-Fixed-Pella-Clad-Rectangular: Rectangular 3' X 1'-5" - AWNING	3' - 0"	1' - 5"			
3020	3	Window-Fixed-Pella-Clad-Rectangular: Rectangular 3' X 2'-0" - FIXED	3' - 0"	2' - 0"			
3020A	3	Window-Fixed-Pella-Clad-Rectangular: Rectangular 3' X 2'-0" - AWNING	3' - 0"	2' - 0"			
3030H	1	WINSLOW - hex window - Fixed: 36" x 36"	3' - 0"	3' - 0"			
3040	5	Window-Fixed-Pella-Clad-Rectangular: Rectangular 3' X 4' - FIXED	3' - 0"	4' - 0"			
3040C	12	Window-Fixed-Pella-Clad-Rectangular: Rectangular 3' X 4' - CASEMENT	3' - 0"	4' - 0"			
4015	4	Window-Fixed-Pella-Clad-Rectangular: Rectangular 4' X 1'-5" FIXED	4' - 0"	1' - 5"			
4015A	2	Window-Fixed-Pella-Clad-Rectangular: Rectangular 4' X 1'-5" AWNING	4' - 0"	1' - 5"			
4020	1	Window-Fixed-Pella-Clad-Rectangular: Rectangular 4' X 2' FIXED	4' - 0"	2' - 0"			
4020A	3	Window-Fixed-Pella-Clad-Rectangular: Rectangular 4' X 2' AWNING	4' - 0"	2' - 0"			
4040	5	Window-Fixed-Pella-Clad-Rectangular: Rectangular 4' X 4' - FIXED	4' - 0"	4' - 0"			
7040	2	Window-Fixed-Pella-Clad-Rectangular: Rectangular Traditional Grille 7' X 4'	7' - 0"	4' - 0"			

DOOR SCHEDULE - EXTERIOR						
MARK	Count	TYPE	WIDTH	HEIGHT	NOTES	
3-6 70E	1	FLUSH DOOR - SWING - EXTERIOR	3' - 6"	7' - 0"	ENTRY - GARAGE (INSULATED, HOLLOW METAL DOOR AND FRAME)	
15-8 X 6-8E	1	MULTI PANEL - SLIDING GLASS - EXTERIOR	15' - 8 3/4"	6' - 9 1/2"	ENTRY - DECK (WEST)	
2868E	1	One Panel; Vent	2' - 8"	6' - 8"	EXTERIOR - 3 LITE	
2868HE	1	One Panel; Vent	2' - 8"	6' - 8"	EXTERIOR - 2 LITE	
5468E	1	TWO PANEL - SWING - EXTERIOR	5' - 4"	6' - 8"	ENTRY DOOR - 3 LITE	

DOOR SCHEDULE - INTERIOR							
MARK	Count	TYPE	WIDTH	HEIGHT	NOTES		
2-10 68	1	Flush door - Swing	2' - 10"	6' - 8"	ENTRY - GARAGE (SELF CLOSING, INSULATED, W/ DOG DOOR)		
2-10 70	1	Flush door - Swing	2' - 10"	7' - 0"			
2-1268	1		2' - 6"	6' - 8"	TYPICAL INTERIOR DOOR		
1668	1	Flush door - Swing	1' - 6"	6' - 8"	BATH - LINEN DOOR		
2468	6	Flush door - Swing	2' - 0"	6' - 8"	TYPICAL INTERIOR DOOR		
2668	2	Flush door - Swing	2' - 6"	6' - 8"	TYPICAL INTERIOR DOOR		
2668P	1	Flush door - Pocket	2' - 6"	6' - 8"	CLOSET DOOR		
2868	4	Flush door - Swing	2' - 8"	6' - 8"	MEDIA ROOM DOOR		
3068S	2	Single panel - sliding - Double	3' - 0"	6' - 8"	CLOSET		
8070G	1	Sectional overhead	8' - 0"	7' - 0 1/2"	GARAGE DOORS		

CPT	CARPET TILE
CT	CERAMIC TILE
PT	PORCELAIN TILE
PNT	PAINT
S-CONC	SEALED CONCRETE
WD	WOOD

SCHEDULED WALL FINISH

SOLID PINE BASE MOLDING (WM 713, 9/16" X 3 1/4")

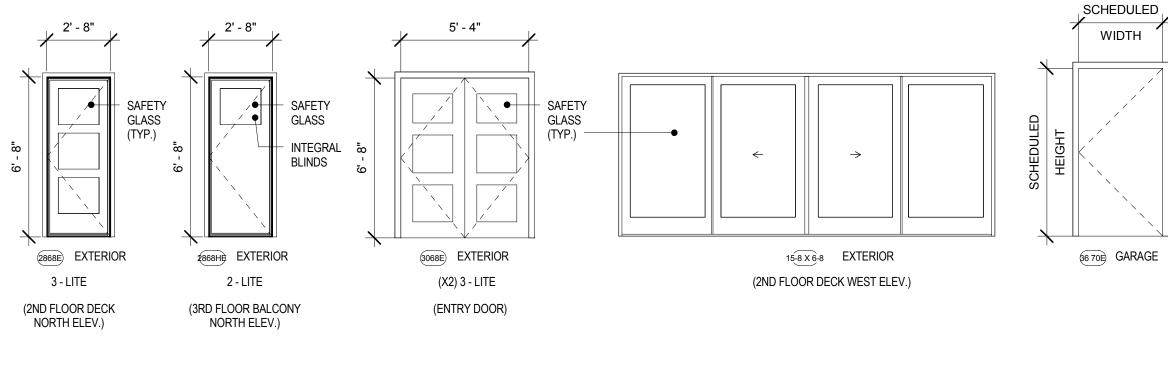
SCHEDULED FLOOR FINISH

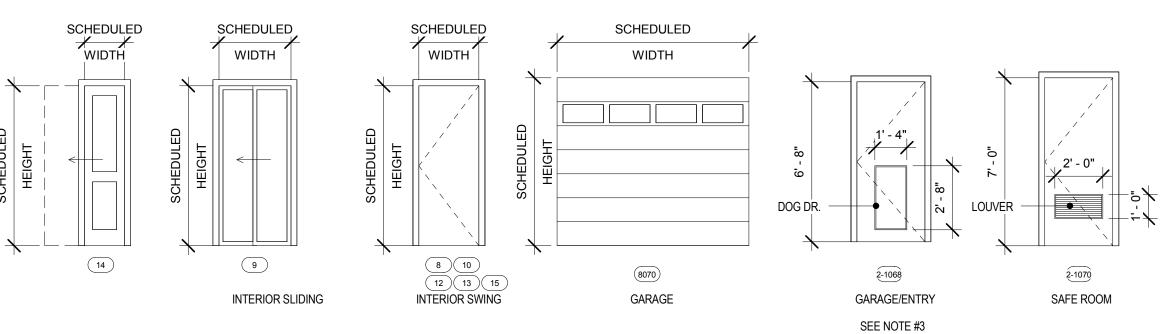
- WOOD SUBFLOOR

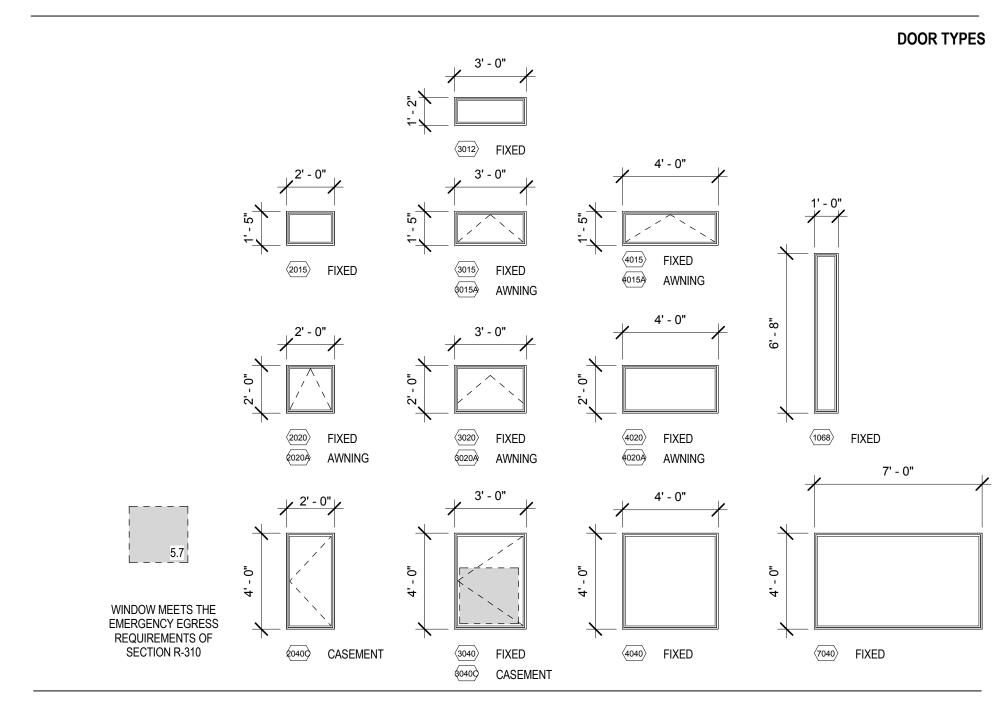
TYPICAL WALL BASE DETAIL

#### **WINDOW AND DOOR NOTES:**

- 1. AIR SEAL AROUND ALL HEADERS WITH CAULK OR SPRAY FOAM PRIOR TO INSTALLING INSULATION AND DRYWALL.
- 2. UNLESS OTHERWISE NOTED, UNDERCUT ALL INTERIOR DOOR 3/4" ABOVE FINISHED FLOOR.
- 3. PROVIDE SOLID CORE, SELF-CLOSING DOOR BETWEEN GARAGE AND LIVING SPACES
- 4. PROVIDE SAFETY GLASS IN THE FOLLOWING LOCATIONS:
- IN ALL DOORS - WITHIN 24" OF DOOR EDGE IN CLOSED POSITION, LESS THANK 60" ABOVE THE FLOOR SURFACE. - GLASS PANELS GREATER THAN 9'-0" SQUARE FEET
- SHOWER WALLS AND DOORS - WINDOWS WITHIN 5'-0" OF SHOWERS OR TUBS, BELOW 5'-0" ELEVATION.
- WINDOWS WITH SILL HEIGHTS WITHIN 36" OF THE WALKING PLANE OF A STAIR OR RAMP.
- WITHIN 24" OF A DOOR ON THE SWING SIDE OF THE DOOR OPENING.







SEE WINDOW AND DOOR NOTE #4 FOR ADDITIONAL SAFETY GLAZING REQUIREMENTS

WINDOWS TYPES

1230 PROSPERITY ROAD VIRGINIA BEACH, VA. 23451 ph: 757.663.9800 gsimon1230@cox.net



3324 Virginia Beach Blvd. Suite 106 Virginia Beach, VA. 23452 757. 382. 7266

1230 ARCHITECTS © 2021



DATE 04-01-2021

**REVISIONS** 

**ED & STEPHANIE WINSLOW** 

**CLIENT PHONE NUMBER** 

**WINSLOW RESIDENCE** 

1606 LASALLE AVE NORFOLK, VA. 23509

SCHEDULES, WINDOW TYPES, AND DOOR TYPES

G005

SHEET NO. G005 OF XX

**GENERAL REQUIREMENTS** 

Final grading, gravel, landcaping elevations shall be confirmed by contractor.

Contractor shall confirm all finished floor elevations with new grades prior to starting work.

THE SOILS ENGINEERING REPORT AND SOILS COMPACTION REPORT SHALL BE SUBMITTED WITH THE PERMITTING DOCUMENTS. THESE WILL BE PROVIDED BY THE OWNER PRIOR TO SUBMITTING TO THE CITY

tying the new sanitary sewer lines into the existing lines.

OF NORFOLK PERMITS AND INSPECTIONS DEPARTMENT.

Coordinate site access with owner including dumpster location, material storage, and building access.

Coordinate site work and utility connections including water, electrical, wastewater, and gas. This includes

Div 2 - Existing Conditions

**METALS** ALL MISCELLANEOUS METALS ON THE EXTERIOR OF THE BUILDING, INCLUDING ENTRY CANOPY BRACKETS, COLUMNS AND BEAMS SHALL BE HOT DIPPED GALVANIZED. UNLESS OTHERWISE NOTED, EXPOSED MISCELLANEOUS STEEL SHALL RECEIVE (2) COATS OF FINISH PAINT. (SEE FINISHES FOR PAINT SELECTION)

WOOD, PLASTICS, & COMPOSITES

WOOD FRAMING:

**EXTERIOR TRIM TYPES:** 

WOOD STUDS: 2x6 @ wood framing for exterior walls, 2x4 @ wood framing for interior walls unless

WOOD PLATES: 2X6 OR 2X8 (AS NOTED ON DRAWINGS.) PLATE LENGHTS SHALL BE THE MAXIMUM LENGTH POSSIBLE FOR EACH WALL RUN. WOOD PLATES ADJOINING METAL, CONCRETE, OR MASONRY SHALL BE TREATED WOOD.

ROOF FRAMING: #2 or better standard southern yellow pine rafters for dimensional lumber. ROOF TRUSSES: AS REQUIRED PER TRUSS MANUFACTURER

BOD for walls: Zip Sheathing, 1/2" or 7/16" mininum, using nails per table 602.3. Using manufacturer's specified taping and installation methods.

BOD for roofing: Zip Sheathing, 1/2" or 5/8" depending on roof framing spans. Provide edge supports as required by sheathing manufacturer. Use manufacturer's specified taping and installation methods.

1. PREFINISHED ALUMINUM BREAK METAL TRIM, WRAPPED OVER UNTREATED WOOD TRIM. (USED AT UPPER ROOF AND SOFFIT EDGES ON THE SECOND FLOOR AND ABOVE.)

2. PVC TRIM. (USED AT THE FIRST FLOOR ENTRY ROOF, 2ND FLOOR CANOPY ON WEST DECK, EXTERIOR WALL CAPS, AND WHERE OTHERWISE NOTED.

3. PAINTED WOOD TRIM. (PROVIDE PAINTED LP SMARTSIDE TRIM PRODUCT, SIZE AS NOTED ON DRAWINGS.)

THERMAL & MOISTURE PROTECTION

**SCREEN FOR SCREEN PORCH AREAS:** 

PROVIDE 17/14 PATIO PORCH SCREEN BY SUPER SCREEN, INC. WITH MANUFACTURER PROVIDED TOP, BOTTOM, AND SIDE TRACKS FOR FULL HEIGHT MOUNTING OF SCREENS.

PRE-FINISHED METAL ROOFING:

MAIN ROOF: FABRAL (HORIZON 'S' SERIES OR EQUAL) 26 GAUGE, 16" WIDE PANELS, FULL LENGTH OF ROOF. INCLUDE ALL MANUFACTURER'S STANDARD ACCESSORIES INCLUDING UNDERLAYMENTS, CLIPS, SEALANTS, VENTING AND CLOSURE STRIPS. COLOR = BRITE WHITE

PROVIDE ENDURAÇOTE 'PLUS' WARRANTY FOR ROOFING PANELS

SMALLER (LOWER) ROOFS: COLOR = MATCH SIDING AND TRIM COLOR

PRE-FINISHED CEMENTITOUS SIDING:

SIDING TYPE 01: (WALLS) HORIZONTAL LAP SIDING 8" BOARRD (7" EXPOSURE)

SIDING TYPE 02: (WALLS)

B.O.D PRODUCT: LP SMARTSIDE CEDAR TEXTURE LAP

STAGGERED EDGE SHINGLE SIDING B.O.D PRODUCT: LP SMARTSIDE CEDAR TEXTURED SHAKES.

SIDING TYPE 03: (LOWER CEILINGS/SOFFITS) CEMENTITOUS BOARD SOFFIT BOARD FOR EXTERIOR CEILINGS AND SOFFITS. B.O.D. PRODUCT = LP SIDING SMOOTH FINISH PANEL (4X8 SHEETS) WITH 8" O.C. GROOVE PATTERN. COLOR = TBD

FOR UPPER ROOF SOFFITS, USE LP SMARTSIDE SOFFIT BOARDS. (12" OR 16" WIDTHS AS REQUIRED TO NOT HAVE SEAMS ALONG THE LENGTH OF THE BOARD IN SOFFIT AREAS. COLOR = TBD

BATT INSULATION

PROVIDE KNAUFF ECOBATT WITH BIOBASED BINDERS AND FORMALDAHYE FREE. FRICTION FIT BATTS WITHIN STUD CAVITIES AND STAPLE KRAFT PAPER FLANGES TO INSIDE FACE OF STUD. PROVIDE SINGLE CUT IN BATT AROUND WIRING AND LOOSELY PACK INSULATION AROUND ALL ELECTRICAL AND MECHANICAL BOXED. PROVIDE SPRAY FOAM SEALANT AROUND ANY WALL PENETRATIONS PRIOR TO INSTALLING BATT INSULATION

RIGID BOARD INSULATION

PROVIDE POLYSTYRENE BOARD INSULATION IN CAVITIES AT HEADERS THAT DO NOT TAKE UP THE FULL WITH OF THE WALL. PROVIDE SPRAY FOAM SEALANT AROUND ANY WALL PENETRATIONS PRIOR TO INSTALLING RIGID BOARD INSULATION.

BASIS OF DESIGN IS:

PELLA WINDOWS - LIFESTYLE SERIES WINDOWS

WINDOW TYPE: PELLA LIFESTYLE SERIES, CASEMENT, AWNING, AND FIXED UNITS GLASS TYPE: DUAL PANE EXTERIOR FINISH: ENDURACLAD PROTECTIVE FINISH STANDARD COLOR: WHITE INTERIOR FINISH: DARK MAHOGANY STAIN SCREENS: VIVID VIEW SCREENS (UPGRADE)

**DOORS & WINDOWS** 

HARDWARE: CASEMENT/ AWNING WINDOW HANDLE. COLOR = OIL RUBBED BRONZE

PERFORMANCE PACKAGE: BASE PACKAGE WITH ADVANCED LOW-E

PELLA DOORS - (EXTERIOR SLIDING DOOR) DOOR TYPE: PELLA ARCHITECT SERIES CONTEMPORARY SLIDING DOOR

GLASS TYPE: DUAL PANE

EXTERIOR FINISH: ENDURACLAD PROTECTIVE FINISH STANDARD COLOR: WHITE INTERIOR FINISH: DARK MAHOGANY STAIN

SWING DOORS: HINGED PATIO DOOR HARDWARE. COLOR = (EXTERIOR = WHITE) (INTERIOR = OIL RUBBED

SLIDING PATIO DOOR: SLIDING DOOR HANDLE. COLOR = (EXTERIOR = WHITE) (INTERIOR = OIL RUBBED BRONZE) HARDWARE: CASEMENT/ AWNING WINDOW HANDLE. COLOR = OIL RUBBED BRONZE

FOR FRONT ENTRY DOOR PROVIDE: MATCHING DEADBOLT WITH ENTRY DOOR LOCKSET GLASS STYLE: RAIN

FOR REAR ENTRY DOOR @ 2ND FLOOR DECK: ENTRY DOOR LOCKSET.

GLASS STYLE: BEVELED GLASS

THERMATRU DOORS - (EXTERIOR SWING DOORS) DOOR TYPE: PRE-HUNG THERMA PLUS 3-LITE CONTEMPORARY DOOR - CONTINENTAL COLLECTION

GLASS TYPE: DUAL PANE TEXTURED GLASS - RAIN EXTERIOR FINISH: GREY SATIN

INTERIOR FINISH: GREY SATIN HARDWARE: BLACK COMPOSITE FRAME AND THRESHOLD, BLACK HINGES. CRAFTSMAN HANDLESET WITH OIL

FOR ENTRY DOOR, PROVIDE PRE-HUNG UNIT COORDINATED WITH CMU WALL, OR PROVIDE SLAB AND SITE HANG. FRONT DOOR: https://www.doors4home.com/p-7032-thermaplus-3-lite-dbl.aspx FOR REAR ENTRY DOOR @ 2ND FLOOR DECK:

PROVIDE PRE-HUNG UNIT MATCH ENTRY DOOR LOCKSET GLASS STYLE: BEVELED

PROVIDE PRE-HUNG UNIT ENTRY DOOR LOCKSET. GLASS STYLE: CLEAR WITH INTEGRATED BLIND

FOR REAR ENTRY DOOR @ ED'S OFFICE:

GARAGE DOORS - BASIS OF DESIGN = CLOPAY FLUSH PANEL MODERN STEEL DOOR DOOR TYPE: SECTIONAL OVERHEAD WITH 3 LAYER CONSTRUCTION AND 1 3/8" POLYSTYRENE INSULATION (R = 6.3)

GLASS TYPE: RAIN - NON INSULATED EXTERIOR FINISH: GREY / INTERIOR FINISH: GREY HARDWARE: MANUFACTURERS STANDARD FRONT AND BACK PULL (COLOR = BLACK) AND INTERIOR LOCK.

Provide butyl tape flashing at all opening jambs, sills, and heads. Provide manufacturer's recommended priming agent as required for installation. Protect all metal substrates and flashing from contact with masonry surfaces where corrosion can occur.

Provide window manufacturer's recommended caulking to match adjacent window and door frames. Use foam backer rod for gaps greater than 3/16". Ensure that all weep holes are left open for proper drainage of window and door units.

ADDITIONAL KIT: COOL SMART TV WALL

DECK MOUNTED FIXED SKYLIGHT WITH INSULATED GLASS LENS. PROVIDE EDM FLASHING KIT WITH MANUFACTURERS ENGINEERED PRODUCTS COMPATIBLE WITH STANDING SEAM METAL ROOFS.

BASIS OF DESIGN UNIT IS THE VELUX CO8: 22" WIDE X 4'-8" LONG CURB MOUNTED FIXED SKYLIGHT UNIT WITH 10 YEAR, NO LEAK WARRANTY.

**SPECIALTIES** 

**FINISHES (CONT.)** 

TBD BY OWNER

CT 02:

CT 03:

**PORCELAIN TILE** 

24" x 12" UNITS

**CERAMIC TILE** 

CT 01:

AVELLA ULTRA PROCELAIN TILE

VILLA BELLISSIMA TILE

DUMBWAITER BASIS OF DESIGN: POWERLIFT DUMBWAITER CORPORATION 800-409-5438 OR 530-333-1953 POWERLIFT 100 RESIDENTIAL DUMBWAITER (2-STOP) CAPACITY = 150 LBS WITH 3/4 HP, 110V MOTOR CAR SIZE - 24" X 24", MAXIMUM OF 3 DOOR LOCATIONS.

FIREPLACE XTRODINAIR MODEL 564 TRV 31K, HIGH OUTPUT, DELUXE MODEL GAS INSERT FACE: TIMBERLINE BURNISHED PATINA BURNER: EMBER FIRE FIREBACK: OLD WORLD STUCCO LOG SET: BIRCH FINISH: METROPOLITAN, BLACK PAINTED

DOG DOOR BASIS OF DESIGN: ENDURAFLAP, SINGLE FLAP WALL MOUNTED PET DOOR SIZE: MEDIUM

ROUGH OPENING DIMENSION: 10.5" X 19.25" MATERIAL: ALUMINMUM FRAME WITH ADJUSTIBLE MAGNETIC DOOR FLAP AND LOCKING COVER.

**FINISHES** 

**FLOORING** 

TONGUE AND GROOVE

3/4" SOLID WOOD, FLOORING (BASIS OF DESIGN IS STAINED RED OAK, FINAL SELECTION IS TBD.) 4" - 6" WIDE PLANK, HAND SCRAPED FINISH 3'-0" OR GREATER LENGTHS

CARPET

CPT 01: DARK BLUE HIGH PILE CARPET - MEDIA ROOM CPT 02: XXXXXXXXX - 2ND FLOOR BEDROOM, CLO, AND WIC CPT 03: XXXXXXXXX - MASTER BEDROOM AND WIC CPT 04: LIGHT TAN, LOW PILE CARPET - ED'S OFFICE AND CLO

PNT 01: WHITE - BEHR XXXXXXXXXXXXXXX

PNT 02: AZTEC SKY - BEHR (P-490-4) PNT 03: COMPASS BLUE - BEHR (MQ5-54) 

PROVIDE LOW VOC (VOLATILE ORGANIC COMPOUND) ACYLIC LATEX PAINT AND CAULKING. (VOC LEVELS SHALL BE LESS THAN 250 g/L.)

GYPSUM WALL BOARD (GWB)

GWB IN NON-WET AREAS: (GENERAL INTERIOR WALLS) PROVIDE 1/2" STANDARD OR LIGHTWEIGHT GYPSUM WALL BOARD SECURED WITH TYPE W SCREWS.

GWB IN MOISTURE AREAS: (COUNTERS AND BACKSPLASHES) PROVIDE 1/2" MOLD AND MOISTURE RESISTANT GYPSUM WALL BOARD SECURED WITH TYPE W SCREWS.

WALL BOARD IN WET AREAS: (SHOWERS) PROVIDE 1/2" HARDIE BACKER WET AREA CEMENT BOARD WITH EPOXY COATED SCREWS

WALL BOARD IN MEDIA ROOM: PROVIDE 5/8" GWB PANEL SECURED WITH TYPE W SCREWS. PROVIDE 'WHISPER CLIPS' SOUND CLIPS @ EACH STUD. (TRADEMARK SOUNDPROOFING WHISPER CLIPS, SKU WCR-10) tmsoundproofing.com

DUCTLESS MINI SPLIT UNIT FOR MEDIA ROOM: BASIS OF DESIGN = 3/4 TON MITSUBISHI WALL MOUNTED, SINGLE UNIT HEATING AND COOLING UNIT.

**EQUIPMENT** 

HVAC UNIT: PRELIMINARY DESIGN = 5 TON SYSTEM WITH 3 TON UPSTAIRS AND 2 TON DOWNSTAIRS.

CEILING FAN (LIVING ROOM): BIG ASS FANS 60" 'HAIKU' IN COCOA WITH BLACK MOTOR AND DOWN ROD.

**FURNISHINGS** 

CABINETRY BASIS OF DESIGN: KEMPER CABINETS

KITCHEN AND BATHROOM SERIES: HERRINGTON

FINISH: PAINTED WITH HEIRLOOM FINISH, COLOR = TBD HARDWARE: TBD

LAUNDRY ROOM SERIES: HERRINGTON FINISH: PAINTED WITH HEIRLOOM FINISH, COLOR = WHITE HARDWARE: TBD

SPECIAL CONSTRUCTION

Exterior wood - All lumber shall be identified by the grade mark of an approved lumber grading or inspection agency. (www.alsc.org) All exterior wood shall be treated with an approved process in accordance with the American Wood Protection Association. All wood in contact with the ground or concrete shall be approved preservative treated wood suitable for ground contact.

**GENERAL NOTES** 

PROVIDE SUBTERRANEAN TERMITE TREATMENT IN CRAWL SPACES AND AROUND FOUNDATION WALLS WITH APPLICATION FOR WOOD TREATEMENT IN ACCORDANCE WITH SECTION 2304.11 OF THE IBC.

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**WINSLOW RESIDENCE** 

1606 LASALLE AVE **NORFOLK, VA. 23509** 

**MATERIAL INFORMATION** 

SHEET NO. G006

PROJECT NO.

OF

VIEW FROM THE SOUTHWEST









VIEW FROM THE SOUTHEAST

VIEW FROM THE SOUTH

VIEW FROM THE NORTHWEST

VIEW FROM THE WEST

1 2 3 0

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3-D VIEWS

G007

SHEET NO. G007

PROJECT NO.

\Greq\Desktop\2021-1230A files\Wins\

OF 1



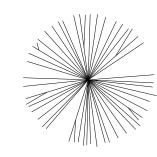
THIS PROPERTY IS LOCATED WITHIN THE CHESAPEAKE BAY PRESERVATION AREA (C.B.P.A.) AND IS SUBJECT TO CERTAIN DEVELOPMENT REQUIREMENTS AND LIMITATIONS. NO TREE REMOVAL, SHRUB REMOVAL, OR CONSTRUCTION ACTIVITY CAN BE COMMENCED WITHOUT PRIOR APPROVAL FROM THE CITY OF NORFOLK. PLEASE CONTACT THE BUREAU OF ENVIRONMENTAL SERVICES AT 757-664-4752 FOR FURTHER INFORMATION.

10 YEAR TREE CANOPY DIMENSIONS ARE FROM THE VIRGINIA NURSERY & LANDSCAPE ASSOCIATION, INC. 'TREE CANOPY SPREAD AND COVERAGE IN URBAN LANDSCAPES DATABASE - 11-3-2010"

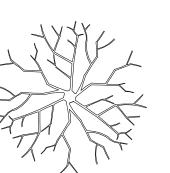
2 EXISTING TREES/ SHRUBS TO BE PROTECTED DURING CONSTRUCTION

### TREE TYPES

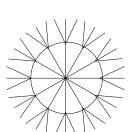
SMALL SHRUB - VARIES



SMALL CANOPY TREE - COMMON SERVICEBERRY



LARGE CANOPY TREE - LIVE OAK



LARGE CANOPY TREE - BALD CYPRESS

PLANTING PLAN CALCULATIONS		
DESCRIPTION	EXISTING IMPERVIOUS	PROPOSED IMPERVIOUS
50'-0" CBPA BUFFER	869 SF	933 SF
100'-0" CBPA BUFFER	1,730 SF	2,294 SF
# PLANTING UNITS REQUIRED (1 PER 400 SF)		6

# OF UNITS	PLANT / UNIT	# OF PLANTS
6	1 LARGE CANOPY TREE	6
	2 SMALL CANOPY TREES	12
	3 SMALL SHRUBS	18

TREE MITIGATION (FOR TREES REMOVED DURING CONSTRUCTION)	
# TREES REMOVED WITHIN THE 100'-0" CBPA BUFFER	12
# SHRUBS REMOVED WITHIN THE 100'-0" CBPA BUFFER	0
# NEW TREES PROVIDED	18
# NEW SHRUBS PROVIDED	18

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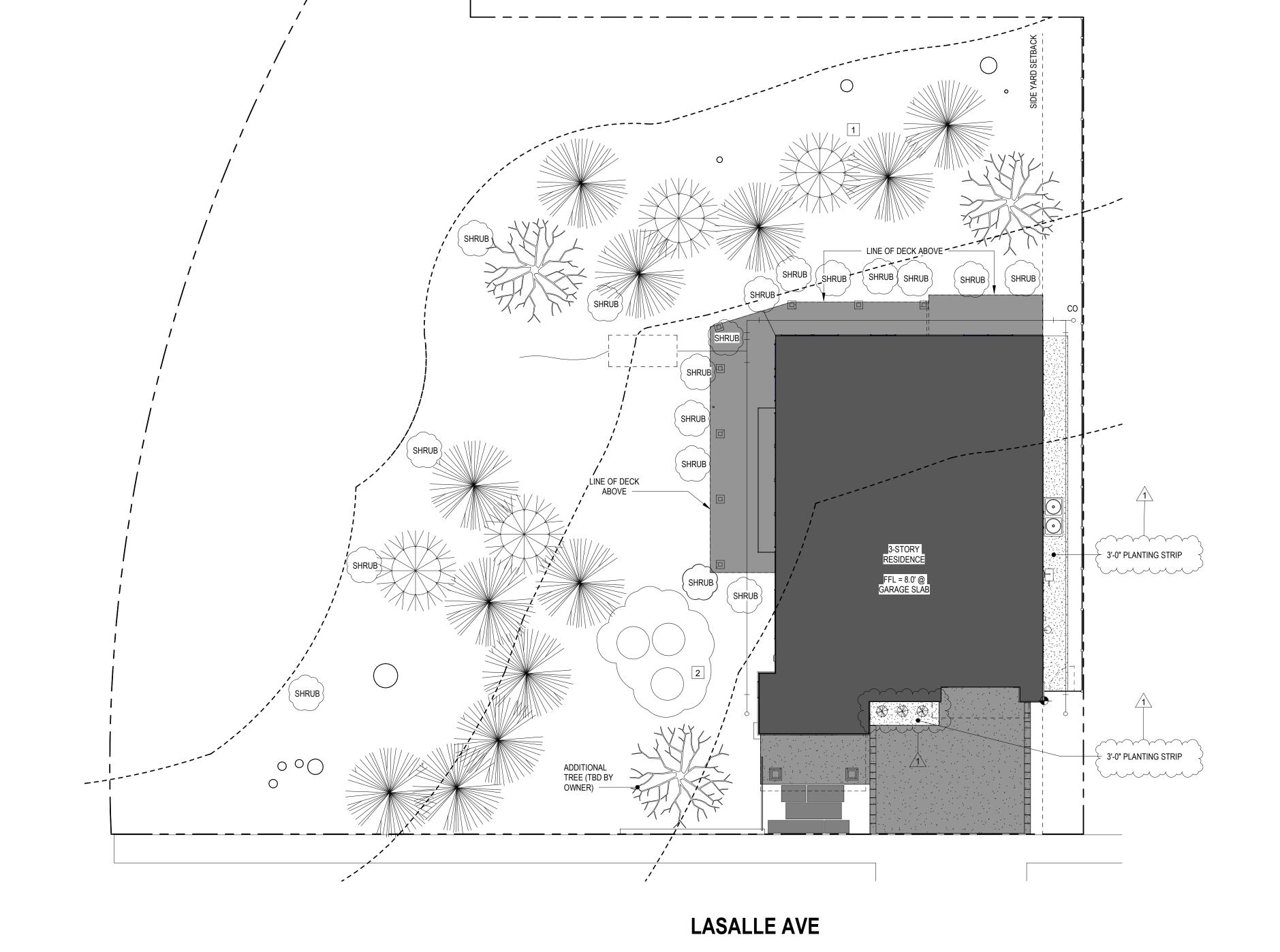
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**PLANTING PLAN** 

G008

OF XX SHEET NO. G008

PROJECT NO.



SITE - PLANTING PLAN 1/8" = 1'-0"

#### **NEW WORK NOTES - FOUNDATION PLAN**

- 1 PROVIDE 4" SLEEVE IN CONCRTE FLOOR FOR UTILITY SINK DRAIN LINE. EXTEND TO THE OUTSIDE AND CONNECT TO SANITARY DRAIN LINE.
- PROVIDE (4) #5 REBAR EA. WAY IN BOTTOM THIRD OF COLUMN FOOTING
- 3 (2) # 5 REBAR IN BOTTOM THIRD OF SLAB @ RE-ENTRANT CORNERS
- 4 CITY WATER LINE IN SLEEVED UP THROUGH SLAB NEXT TO WATER HEATER LOCATION. PROVIDE 1-1/4" (MIN) PVC LINE IN WITH SHUT OFF VALVE AND HOSE BIB 12" ABOVE FLOOR LEVEL.

#### **GENERAL NOTES**

4" CONCRETE SLAB (3500 PSI) W6X6/W1.4XW1.4 WWF ON 4" OF COMPACTED POROUS FILL

FOUNDATION ANCHOR BOLTS (@ 8" CMU FOUNDATION WALLS) SHALL BE PROVIDED AT MAXIMUM 72" O.C. INTERVALS AND PLACED 12" FROM THE END OF EACH SECTION OF PLATE MATERIAL, WITH A MINIMUM OF 2 BOLTS PER SECTION. BOLTS SHALL BE 1/2 INCH AND EXTEND A MINIMUM OF 7" INTO MASONRY UNITS. FILL CELL VOIDS AT EACH ANCHOR AND PROVIDE OVERSIZED GALV. WASHER BEFORE TIGHTENING.

PROVIDE BORATE BASED TERMITE TREATMENT IN ACCORDANCE WITH FEDERAL AND IRC(2015) ONE AND TWO FAMILY DWELLING CODE ALONG WITH FHA / VA REQUIREMENTS.

THE CONTRACTOR SHALL VERIFY FINISHED FLOOR HEIGHTS AND COORDINATE

PROVIDE TYPE M OR S MORTAR AT ALL MASONRY.

PROVIDE TREATED WD SILL AT ALL LOCATIONS ON CONCRETE OR MASONRY.

ANCHOR BOLTS:

PROVIDE 1/2" X 12" GALV. ANCHOR BOLTS SPACED A MAXIMUM OF 6'-0" O.C. WITH MIN. (X2) BOLTS PER PLATE AND WITHIN 16" OF EACH CORNER. EMBED BOLTS INTO FULLY GROUTED CMU CELL AND INSTALL

#### **COMPACTION REQUIREMENTS**

NORTH

COMPACT UNDER SLAB AREA AND THE BOTTOM OF ALL FOOTINGS TO 95% OF STANDARD PROCTOR DENSITY (ASTM D698). CONTRACTOR TO SCHEDULE TESTS WITH OWNER RETAINED TESTING SERVICE. OWNER WILL PAY FOR NOT MORE THAN 2 SETS OF TESTS. RETESTING FOR FAILED AREAS BEYOND THE SECOND TEST WILL BE AT THE CONTRACTOR'S EXPENSE.

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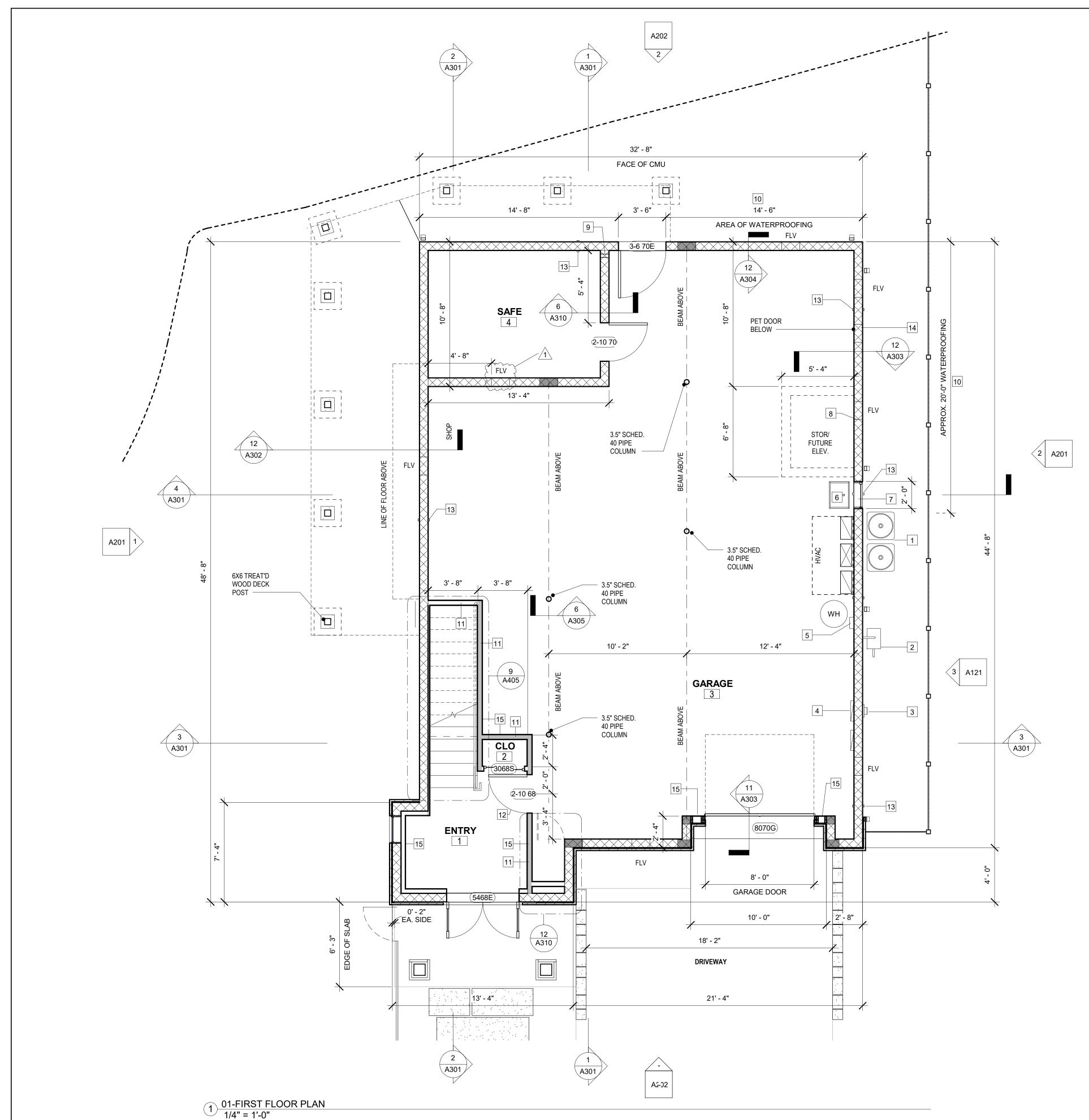
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**FOUNDATION PLAN** 

A100



#### **NEW WORK NOTES - FIRST FLOOR**

FLV = FLOOD VENT (SEE G004 FOR MORE REQUIREMENTS) mmmmmmm.

ALL HVAC OUTDOOR UNITS ON 4'-0" HIGH TREAT'D WOOD PLATFORM

muniment in the second 2 GAS METER

3 ELECTRICAL METER BASE

4 ELECTRICAL PANEL

5 WATER HEATER DISCONNECT

6 UTILITY SINK. SURFACE MOUNT WATER SUPPLY LINES ON WALL.

7 24" X 24" ROUGH OPENING FOR EXHAUST FAN APPROX. 6'-0" AFF.

8 LINE OF FLOOD VENT BELOW

9 4" X 4" OPENING IN CMU BLOCK FOR OWNER-FURNISHED-OWNER-INSTALLED UTILITIES. PROVIDE OPENING AT +/- 7'-6" AFF.

PROVIDE FLEXIBLE, FULLY ADHERED WATERPROOFING SYSTEM AT BELOW GRADE AREAS.

PROVIDE R-15 BATT INSULATION

PROVIDE SELF CLOSING DOOR TO GARAGE

2" DIA. PVC SLEEVE FOR OWNER INSTALLED HOSE BIBS. PROVIDE SLEEVE 24" ABOVE FINISHED FLOOR. GROUT MASONRY CUT OUT SOLID

14 11" WIDE X 19.25" HIGH ROUGH OPENING FOR DOG DOOR

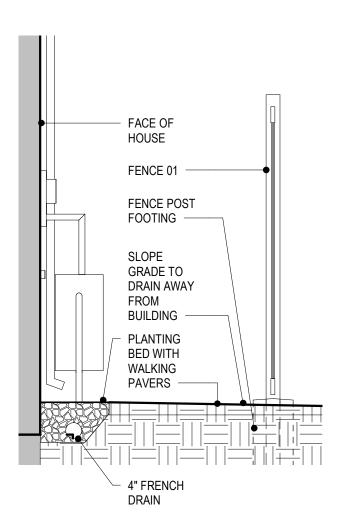
TREATED WOOD FRAMING AND SHEATHING @ GARAGE LEVEL SHALL MEET THE REQUIREMENT OF EITHER CLASS 4 OR 5 FLOOR DAMAGE RESISTANCE PER FEMA TECHNICAL BULLETIN #2:

CLASS 4: RESISTANT TO FLOODWATER DAMAGE FROM WETTING AND DRYING, BUT

LESS DURABLE WHEN EXPOSED TO MOVING WATER. THESE MATERIALS CAN SURVIVE WETTING AND DRYING AND MAY BE SUCCESSFULLY CLEANED AFTER A FLOOD TO RENDER THEM FREE OF MOST HARMFUL POLLUTANTS. MATERIALS IN THIS CLASS MAY BE EXPOSED TO AND/OR SUBMERGED IN FLOODWATERS IN INTERIOR SPACES AND DO NOT REQUIRE SPECIAL WATERPROOFING PROTECTION.

HIGHLY RESISTANT TO FLOODWATER DAMAGE, INCLUDING DAMAGE CAUSED BY MOVING WATER. THESE MATERIALS CAN SURVIVE WETTING AND DRYING AND MAY BE SUCCESSFULLY CLEANED AFTER A FLOOD TO RENDER THEM FREE OF MOST HARMFUL POLLUTANTS. MATERIALS IN THIS CLASS ARE PERMITTED FOR PARTIALLY ENCLOSED OUTSIDE USES WITH ESSENTIALLY UNMITIGATED FLOOD EXPOSURE.

INSTALL WATER RESISTANT GWB (@ INTERIOR LOCATIONS), AND TREATED PLYWOOD SHEATHING (@ EXTERIOR LOCATIONS) OVER TREAT'D WOOD FRAMING IN A HORIZONTAL ORIENTATION FOR EASE OF REPLACEMENT IN THE CASE OF A FLOOD EVENT.



2 DETAIL @ SIDE YARD 1/2" = 1'-0"





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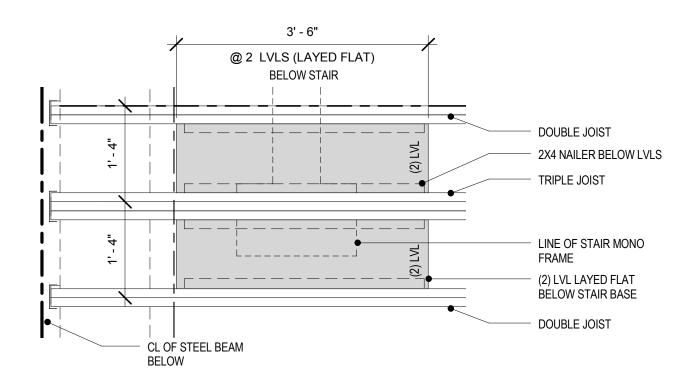
## FIRST FLOOR **PLAN**

A101

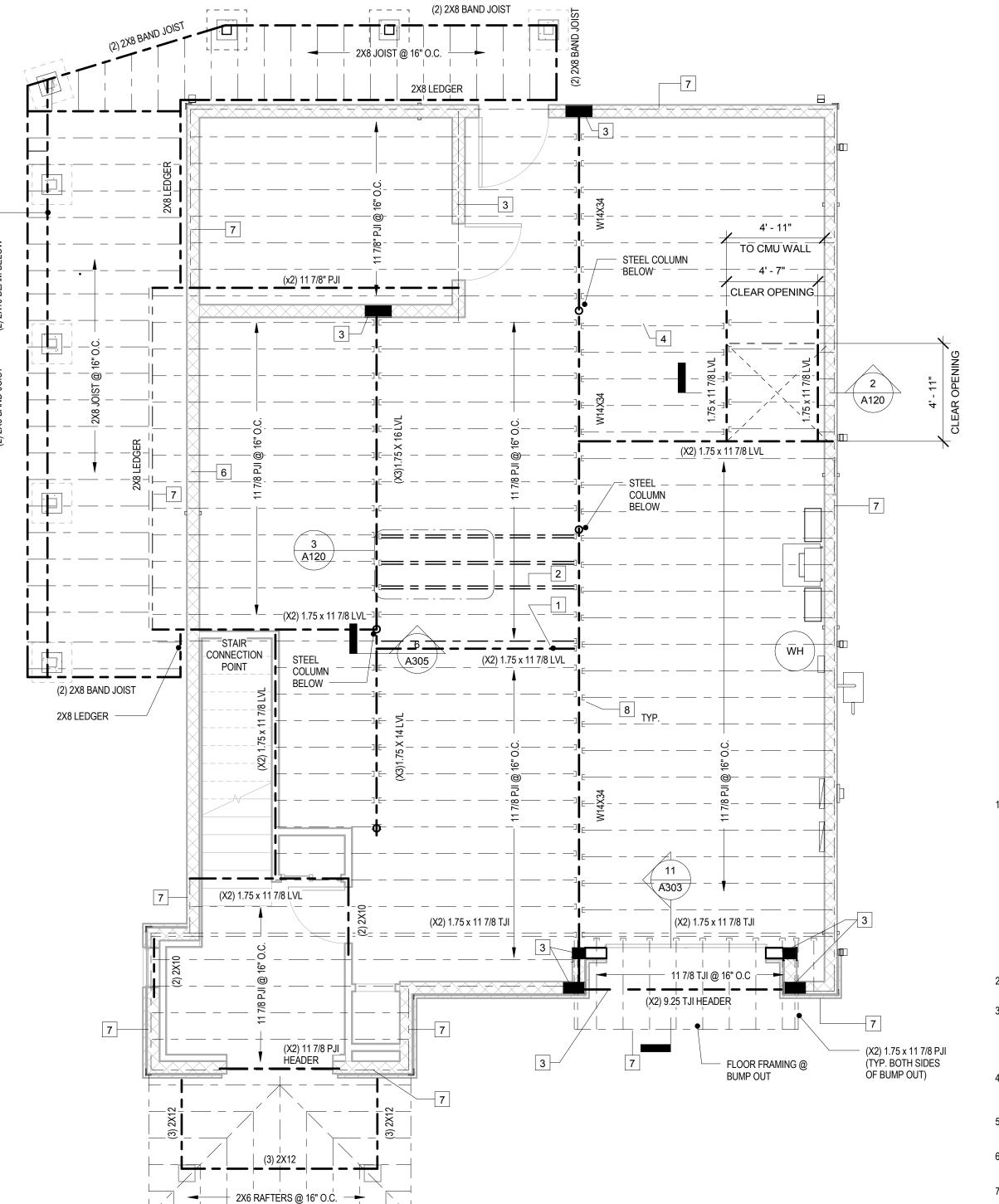
SHEET NO. A101

OF XX PROJECT NO.

## 2 ELEV FLOOR FRAMING DETAIL 3/4" = 1'-0"



3 DETAIL - PLAN @ BASE OF STAIR 2
3/4" = 1'-0"



## **NEW WORK NOTES - SECOND FLOOR** FRAMING PLAN

- 1 STRUCTURAL POINT LOAD FROM WALL FRAMING ABOVE
- DOUBLE JOIST UNDER BASE OF STAIR. PROVIDE BLOCKING AS NEEDED TO ANCHOR BASE OF STAIR TO FLOOR STRUCTURE.
- FULLY GROUT CELLS WITHIN 8" OF BEAM CENTERLINE. PROVIDE #4 REBAR CONTINUOUS IN EACH CELL VERTICALLY.
- 60 AMP DISCONNECT BOX. MOUNT CENTER OF BOX 5'-0" FROM FINISHED FLOOR. SURFACE MOUNT CONDUITS ON CMU WALL BACK TO MAIN PANEL.
- PROVIDE SQUASH BLOCKS @ EA. JOIST OVER WALL (TYP.)
- PROVIDE BLOCKING PANEL BETWEEN EA. JOIST @ CANTILEVER
- 1 1/8" X 11-7/8" RIM BOARD @ PERIMETER OF FLOOR FRAMING
- JOIST HANGER WITH BACKING BLOCKS AS REQUIRED PER JOIST MANUFACTURER. PROVIDE SIMPSON IUS OR HU SERIES OR EQUAL.

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#### **SECOND FLOOR** FRAMING PLAN

A120

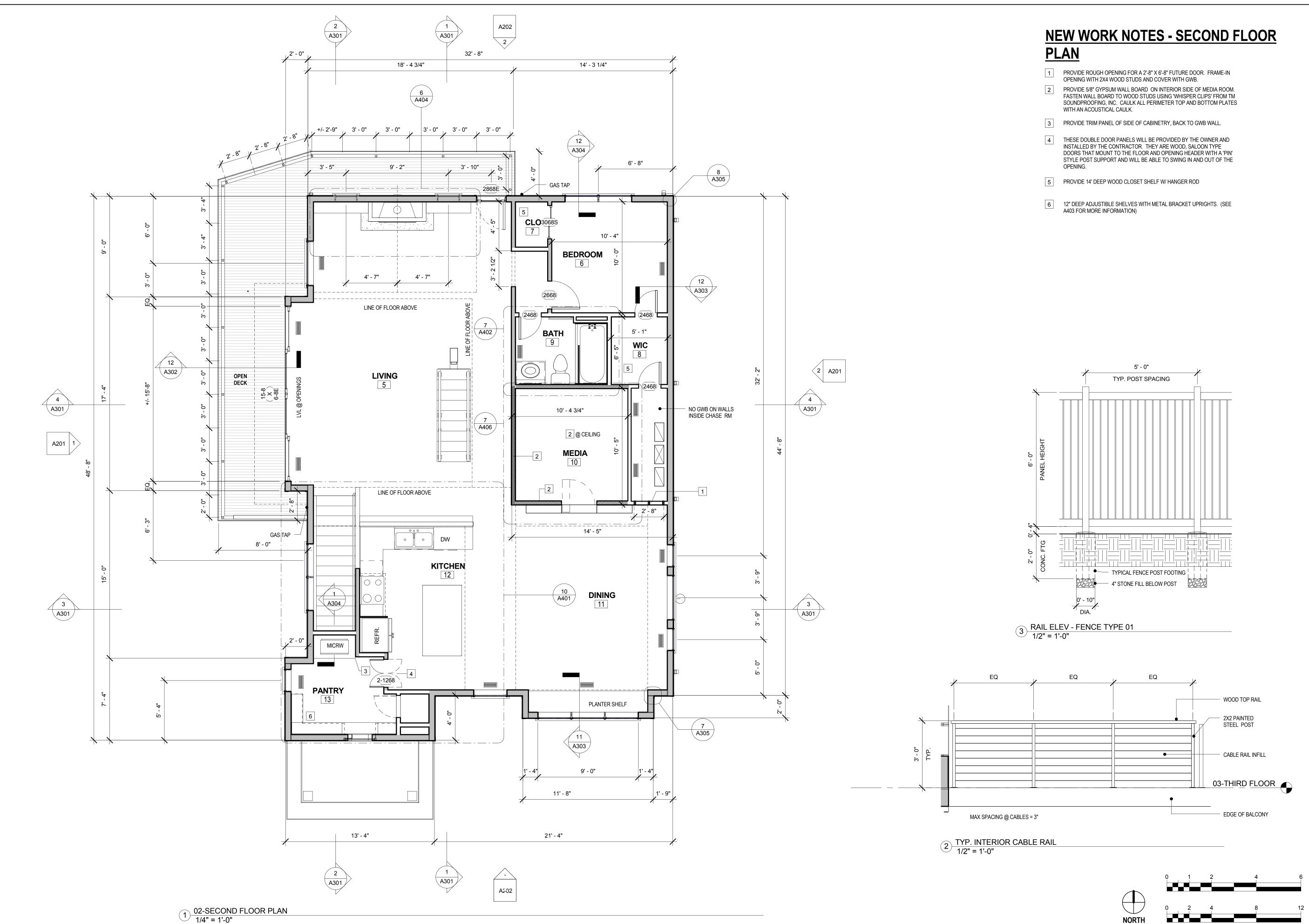
SHEET NO. A120

PROJECT NO.

## **GENERAL NOTES - FRAMING PLANS**

- 1. PROVIDE FIRE BLOCKING IN THE FOLLOWING LOCATIONS:
  - A. IN WALLS VERTICALLY @ CEILINGS AND FLOOR LEVELS (MAX HEIGHT 10'-0").
  - B. INTERSECTIONS OF CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS AND DROPPED CEILINGS.
  - C. CONCEALED SPACES IN BETWEEN STRINGERS AT THE TOP AND BOTTOM OF STAIR RUNS.
  - D. OPENINGS AROUND VENTS, DUCTS, PIPES, AND CABLES @ CEILINGS AND FLOORS.
  - E. IN SPACES BETWEEN CHIMNEYS AND COMBUSTIBLE FRAMING.
- 2. WHEN WALLS RUN PARALLEL TO THE FLOOR JOIST FRAMING BELOW, PROVIDE DOUBLE JOIST.
- ALLOWABLE NOTCHING OF WOOD WALLS: 25% FOR BEARING WALLS AND 40% FOR NON-BEARING WALLS. (HOLES ARE NOT ALLOWED IN THE SAME AREA AS A NOTCH.) OK TO EXCEED THESE VALUES ONLY WHEN USING APPROVED STUD SHOES INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. (SIMPSON 16GA. GALVANIZED STUD SHOE OR EQUAL.)
- TOP PLATE NOTCHES OR BORED HOLES GREATER THAN 50% OF PLATE WIDTH REQUIRE 1-1/2" METAL STRAP, MINIMUM 6" BEYOND HOLE ALONG PLATE.
- FASTENERS IN LEDGER BOARDS SHALL BE A MIN. OF 2" FROM THE TOP AND BOTTOM OF THE
- 6. INSTALL BLOCKING, HANGERS, RIM BOARDS, AND RIM JOISTS AT JOIST END SUPPORTS.
- 7. ESTABLISH A PERMANENT DECK (SHEATHING), NAILED TO THE FIRST 4 FEET OF JOISTS AT THE OF EACH BAY OR BRACED WALL.
- INSTALL BLOCKING NEXT TO EACH FLOOR JOIST (OR DOUBLE JOIST AS NEEDED) WHEN BEARING WALL OCCURS ABOVE.
- PROVIDE 'FOAM TO GEL' SUBFLOOR UNDERLAYMENT ADHESIVE BETWEEN ALL JOISTS AND FLOOR SHEATHING. (HUBER ADVANTECH SUBFLOOR ADHESIVE OR EQUAL)
- 10. PROVIDE JOIST BRIDGING AT THE MIDSPAN OF ALL JOIST SPANS GREATER THAN 8'-0". PROVIDE DIAGONAL BRIDGING USING 1X4 BOARDS WITH 2" RING SHANK NAILS.

NORTH



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**SECOND FLOOR PLAN** 

**A121** 

SHEET NO. A121

NORTH

1 PROVIDE DOUBLE JOIST UNDER WALL

2 AREA OF FUTURE ELEVATOR

ML26Z ANGLE @ EA. CANTILEVERED JOIST. (SIMPSON

1/4" X 1 1/2" HEAVY DUTY SCREWS @ EA. HOLE.)

(X2) 2X10 TREAT'D BEAM

2x6 RAFTER @ 16" O.C. ----

CONNECTION

(3) 2x6 STUDS - UNDER EACH BEAM =

(3) 2x6 STUDS

(2) 2x10

OPEN TO

BELOW

(2) 1.75 x 11 7/8" LVL

14'-0" span

3 CANTILEVERED FLOOR JOIST @ MEZZANINE (PROVIDE BLOCKING PANELS

4 CANTILEVERED PSL BEAM TO SUPPORT THIRD FLOOR DECK. (TYP. BOTH SIDES)

5 PROVIDE SQUASH BLOCKS @ EA. JOIST OVER WALL (TYP.)

6 PROVIDE BLOCKING PANEL BETWEEN EA. JOIST @ CANTILEVER

7 1 1/8" X 11-7/8" RIM BOARD @ PERIMETER OF FLOOR FRAMING

JOIST HANGER WITH BACKING BLOCKS AS REQUIRED PER JOIST MANUFACTURER. PROVIDE SIMPSON IUS OR HU SERIES OR EQUAL.

ARCHITECTS

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THIRD FLOOR FRAMING PLAN

A130

SHEET NO. A130 OF

PROJECT NO.

2 4 8 12



1. PROVIDE FIRE BLOCKING IN THE FOLLOWING LOCATIONS:

A. IN WALLS VERTICALLY @ CEILINGS AND FLOOR LEVELS (MAX HEIGHT - 10'-0").

B. INTERSECTIONS OF CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS AND DROPPED CEILINGS.

C. CONCEALED SPACES IN BETWEEN STRINGERS AT THE TOP AND BOTTOM OF STAIR RUNS.

D. OPENINGS AROUND VENTS, DUCTS, PIPES, AND CABLES @ CEILINGS AND FLOORS.

E. IN SPACES BETWEEN CHIMNEYS AND COMBUSTIBLE FRAMING.

2. WHEN WALLS RUN PARALLEL TO THE FLOOR JOIST FRAMING BELOW, PROVIDE DOUBLE JOIST.

ALLOWABLE NOTCHING OF WOOD WALLS: 25% FOR BEARING WALLS AND 40% FOR NON-BEARING WALLS. (HOLES ARE NOT ALLOWED IN THE SAME AREA AS A NOTCH.) OK TO EXCEED THESE VALUES ONLY WHEN USING APPROVED STUD SHOES INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. (SIMPSON 16GA. GALVANIZED STUD SHOE OR EQUAL.)

4. TOP PLATE NOTCHES OR BORED HOLES GREATER THAN 50% OF PLATE WIDTH REQUIRE 1-1/2" METAL STRAP, MINIMUM 6" BEYOND HOLE ALONG PLATE.

5. FASTENERS IN LEDGER BOARDS SHALL BE A MIN. OF 2" FROM THE TOP AND BOTTOM OF THE LEDGER BOARD.

6. INSTALL BLOCKING, HANGERS, RIM BOARDS, AND RIM JOISTS AT JOIST END SUPPORTS.

7. ESTABLISH A PERMANENT DECK (SHEATHING), NAILED TO THE FIRST 4 FEET OF JOISTS AT THE OF EACH BAY OR BRACED WALL.

8. INSTALL BLOCKING NEXT TO EACH FLOOR JOIST (OR DOUBLE JOIST AS NEEDED) WHEN BEARING WALL OCCURS ABOVE.

9. PROVIDE 'FOAM TO GEL' SUBFLOOR UNDERLAYMENT ADHESIVE BETWEEN ALL JOISTS AND FLOOR SHEATHING. (HUBER ADVANTECH SUBFLOOR ADHESIVE OR EQUAL)

10. PROVIDE JOIST BRIDGING AT THE MIDSPAN OF ALL JOIST SPANS GREATER THAN 8'-0". PROVIDE DIAGONAL BRIDGING USING 1X4 BOARDS WITH 2" RING SHANK NAILS.

### **NEW WORK NOTES - THIRD FLOOR PLAN**

- 1 36" HIGH GUARD RAIL @ MASTER BEDROOM. MATCH FINISH AND CONFIGURATION OF RAILING AT MEZZANINE.
- 2 LOCATION OF FUTURE SHELVING (NOT IN CONTRACT)
- 3 PROVIDE 14" DEEP WOOD CLOSET SHELF WITH HANGER ROD
- 4 24" X 47" WOOD ATTIC ACCESS LADDER (BASIS OF DESIGN IS FAKRO INC. ATTIC LADDER LWP.) COORDINATE FINAL LOCATION WITH ROOF TRUSSES.
- FIBERGLASS GRATING AT BALCONY FLOOR. PROVIDE 1 1/2" HIGH X 1/4" WIDE, HEAVY DUTY FIBERGLASS BAR GRATING. HOLE PATTERNS SHOULD BE 1-1/2" X 4" PROVIDING A MIN. OF 75% FLOOR OPENING. SEAL CUT ENDS OF GRATING WITH MANUFACTURER'S EXPOXY SEALANT AND FASTEN TO WOOD FRAMING WITH STAINLESS STEEL SADDLE CLIPS AND SCREWS @ EVERY OTHER JOIST AROUND THE PERIMETER OF THE GRATING. (MCMASTER-CARR FIBERGLASS BAR GRATING OR EQUAL. WWW.MCMASTER.COM)

NORTH

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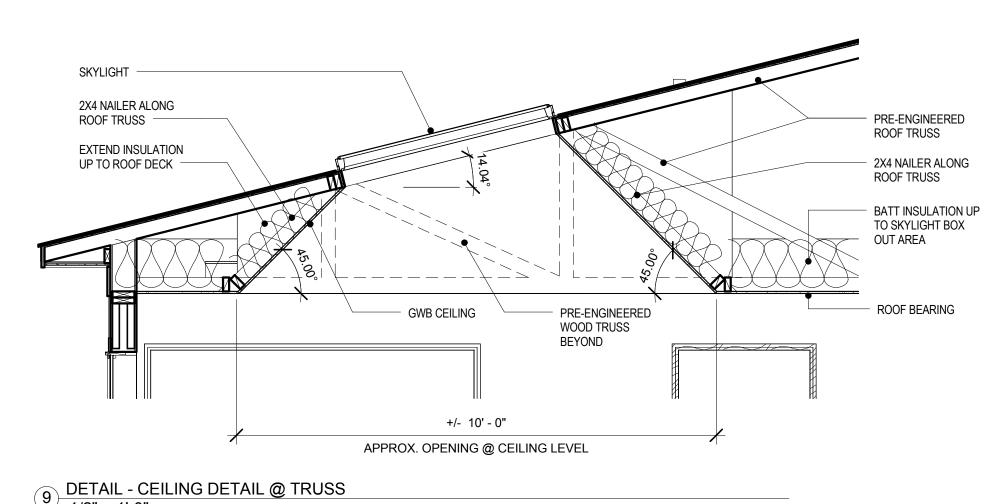
THIRD FLOOR PLAN

**A131** 

SHEET NO. A131 OF

#### **ROOF PLAN**

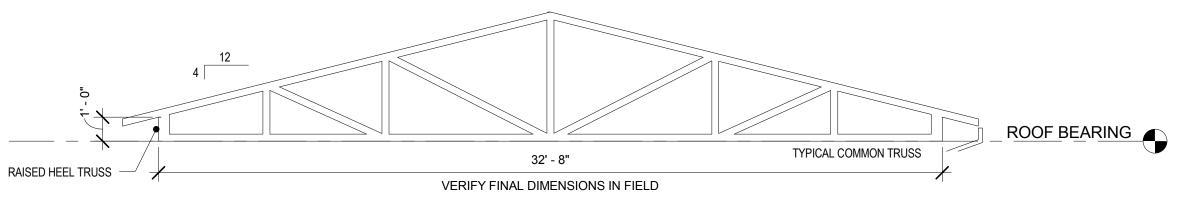
ROOF VENT CALCULATIONS				
DESCRIPTION	AREA PROVIDED	AREA REQ'D		
TOTAL ATTIC AREA 1436	SF			
EXHAUST VENTILATION AREA REQUIRED (IN SQUARE INCHES	)	345 SI		
EXHAUST VENTILATION AREA PROVIDED (RIDGE VENT)	137 SI			
EXHAUST VENTILATION AREA PROVIDED (HIP VENT)	216 SI			
TOTAL VENTILATION AREA PROVIDED	353 SI			
INTAKE VENTILATION AREA REQUIRED (IN SQUARE INCHES)		400 SI		
INTAKE VENTILATION AREA PROVIDED (IN SQUARE INCHES)	800 SI			



# 32' - 8" (2) 2X10 HDR (X2) 2X4 BLOCKING @ SKYLIGHT A140 7' - 0" CL OF SKYLIGHT TRUNCATED GIRDER TRUSS 13' - 4" 21' - 4"

1 ROOF FRAMING PLAN 1/4" = 1'-0"

SECTION - TRUSS TYPE



**NEW WORK NOTES - ROOF** FRAMING PLAN

SELF-ADHERED ICE AND WATER SHEILD MEMBRANE @ ALL EAVES, RIDGES, VALLEYS, AND ROOF PERIMETER EDGES.

WOOD ROOF TRUSS DESIGN: WOOD TRUSSES SHALL BE DEISIGNED IN ACCORDANCE WITH SECTION 802.1 OF THE 2015 IRC, ACCEPTED ENGINEERING PRACTICE AND COMPLY WITH ANSI/TPI-1. TRUSS DRAWINGS SHALL BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL AND CONSTRUCTED ACCORDING TO SECTION

3 SKYLIGHT

PREFINISHED ALUM GUTTERS WITH LEAF GUARD SCREENS (TYP.)

PREFINISHED ALUM DOWNSPOUTS

ASHPALT SHINGLE ROOF

PLUMBING VENT W/ RUBBER FLASHING BOOT SEALED @ PERIMETER WITH BUTYL TAPE

LINE OF ICE AND WATER SHIELD ROOFING MEMBRANE @ UPPER ROOF

PROVIDE ICE AND WATER SHIELD ROOFING MEMBRANE OVER ENTIRE LOWER ROOF

PRE-FINISHED METAL RIDGE VENT CAP (BY ROOFING MFG.)

PROVIDE RUBBER FLASHING BOOT AS DESCRIBED IN NOTE #7 ABOVE AT OWNER PROVIDED AND INSTALLED 3" O.D. ANTENNA MOUNTS.

RIDGE VENT: (GAF 'COBRA' RIDGE RUNNER OR EQUAL)

HIP VENT: (GAF 'COBRA' HIP VENT OR EQUAL)

ROOF LOUVER. (GAF MASTER FLOW SLANT-BACK ROOF LOUVER: IR65 OR EQUAL. ) INSTALL APPROXIMATELY 3'-6" FROM EDGE OF ROOF WHERE FIREBLOCKING IS INSTALLED, CENTERED ON THE MAIN RIDGE.

## **GENERAL NOTES**

PREFABRICATED WOOD TRUSSES:

NORTH

1. PREFABRICATED METAL-PLATE-CONNECTED WOOD TRUSSES FOR THIS STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA) 'NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION' AND THE TRUSS PLATE INSTITUTE (TPI-95) 'DESIGN SPECIFICATION FOR METAL-PLATE-CONNECTED WOOD TRUSSES', AND 'DESIGN SPECIFICATION FOR METAL-PLATE-CONNECTED PARALLEL CHORD WOOD TRUSSES'.

2. SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION OF ALL TRUSSES, SEALED BY A COMMONWEALTH OF VIRGINIA REGISTERED PROFESSIONAL ENGINEER. SHOP DRAWINGS FOR TRUSSES MUST BE ACCOMPANIED BY A CERTIFICATION THAT THE TRUSS MANUFACTURER MAINTAINS DETAILED FABRICATION AND QUALITY CONTROL PROCEDURES THAT PROVIDE BASIS FOR INSPECTION CONTROL OR WORKMANSHIP OR THAT THE FABRICATOR IS REGISTERED AND APPROVED TO PERFORM SUCH WORK BY AN APPROVED CERTIFICATION AGENCY

3. PROPER HANDLING, SAFETY PRECAUTIONS, AND TEMPORARY BRACING ARE THE RESPONSIBILITY OF THE CONTRACTOR. PROVIDE TEMPORARY BRACING IN ADDITION TO PERMANENT LATERAL BRACING (SHOW ON SHOP TO REDUCE MEMBER UNBRACED LENGTH) AND ANY PERMANENT BRACING SHOWN ON THESE DRAWINGS.

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REVISIONS

# DATE.

#### **ED & STEPHANIE WINSLOW**

**CLIENT PHONE NUMBER** 

#### **WINSLOW RESIDENCE**

1606 LASALLE AVE NORFOLK, VA. 23509

#### **ROOF PLAN & ROOF FRAMING PLAN**

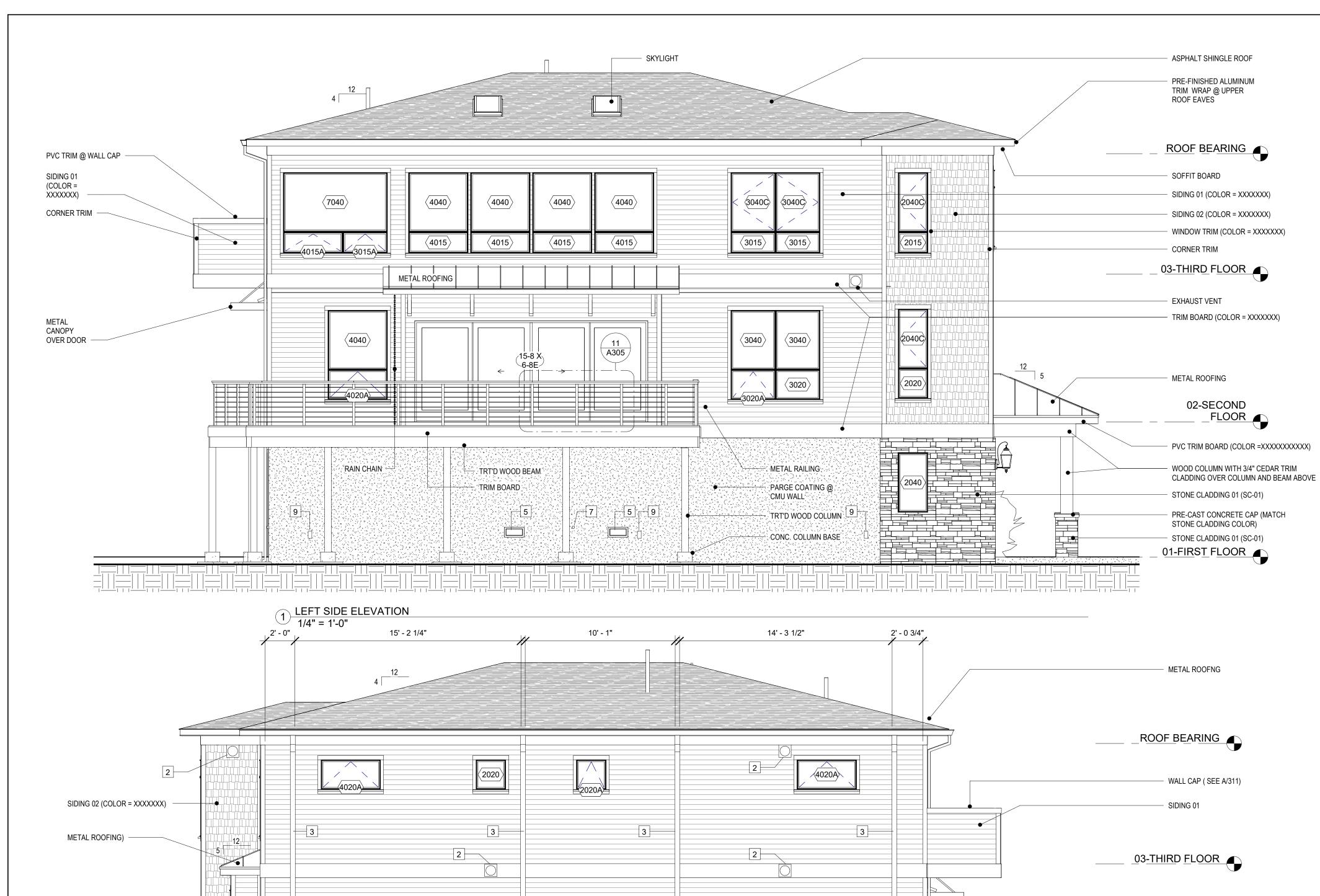
A140

SIDING 01 (COLOR = XXXXXXX)

STONE CLADDING 01 (SC-01)

2 RIGHT SIDE ELEVATION 1/4" = 1'-0"

METAL ROOFING)



PARGE COATING O

#### **NEW WORK NOTES - ELEVATIONS**

1 UNLESS OTHERWISE NOTED: ALL SIDING SHALL BE LP SMARTSIDE SIDING (OR EQUAL) ALL TRIM SHALL BE LP SMARTSIDE TRIM (OR EQUAL) ALL SOFFIT BOARD SHALL BE LP SMARTSIDE VENTED SOFFIT (OR EQUAL)

2 EXHAUST VENT

3 VERTICAL TRIM (PAINT TO MATCH ADJACENT SIDING COLOR)

4 WALL LOUVER

5 FLOOD VENT

6 METER BASE

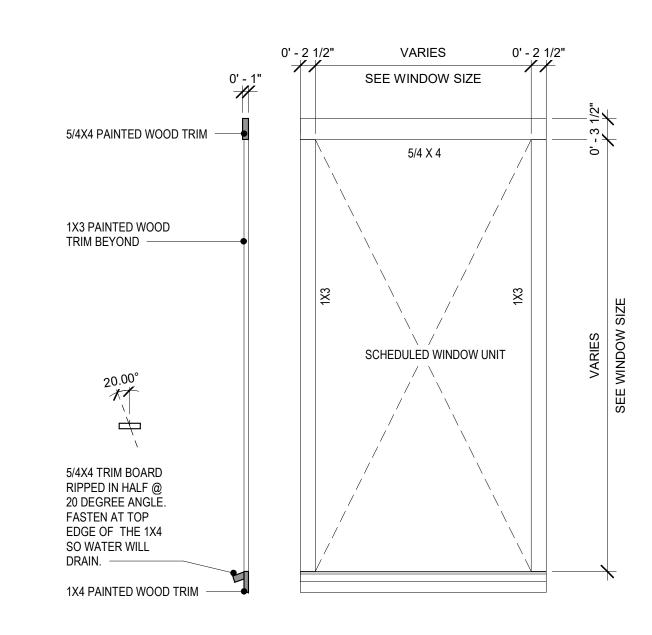
7 2" PVC SLEEVE FOR OWNER INSTALLED HOSE BIB. MOUNT 24" ABOVE FINISHED

8 2" PVC SLEEVE FOR FUTURE CABLE SERVICE ENTRANCE. MOUNT 24" ABOVE FINISHED FLOOR

9 EXTERIOR GFCI DUPLEX RECEPTACLE

10 DOG DOOR

11 PRE-FINISHED ALUM DOWNSPOUT WITH SPLASH BLOCK @ GRADE. (TYP.)



WINDOW TRIM DETAIL

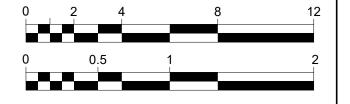
02-SECOND FLOOR

TREAT'D WOOD COLUMNS

BELOW GRADE WATERPROOFING (APPROX. 20'-0" IN THIS AREA OF CORNER

#### WINDOW / DOOR TRIM TYPES

TRIM TYPE	ACTUAL SIZE	LP SMARTSIDE	PRODUCT#
5/4" X 4" TRIM	.910" THICK, 3.5" WIDE	SERIES 540 SERIES	25888
1" X 3" TRIM	.625" THICK, 2.5" WIDE	440 SERIES	25878
1" X 4" TRIM	.625" THICK, 3.5" WIDE	440 SERIES	25880



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## **WINSLOW RESIDENCE**

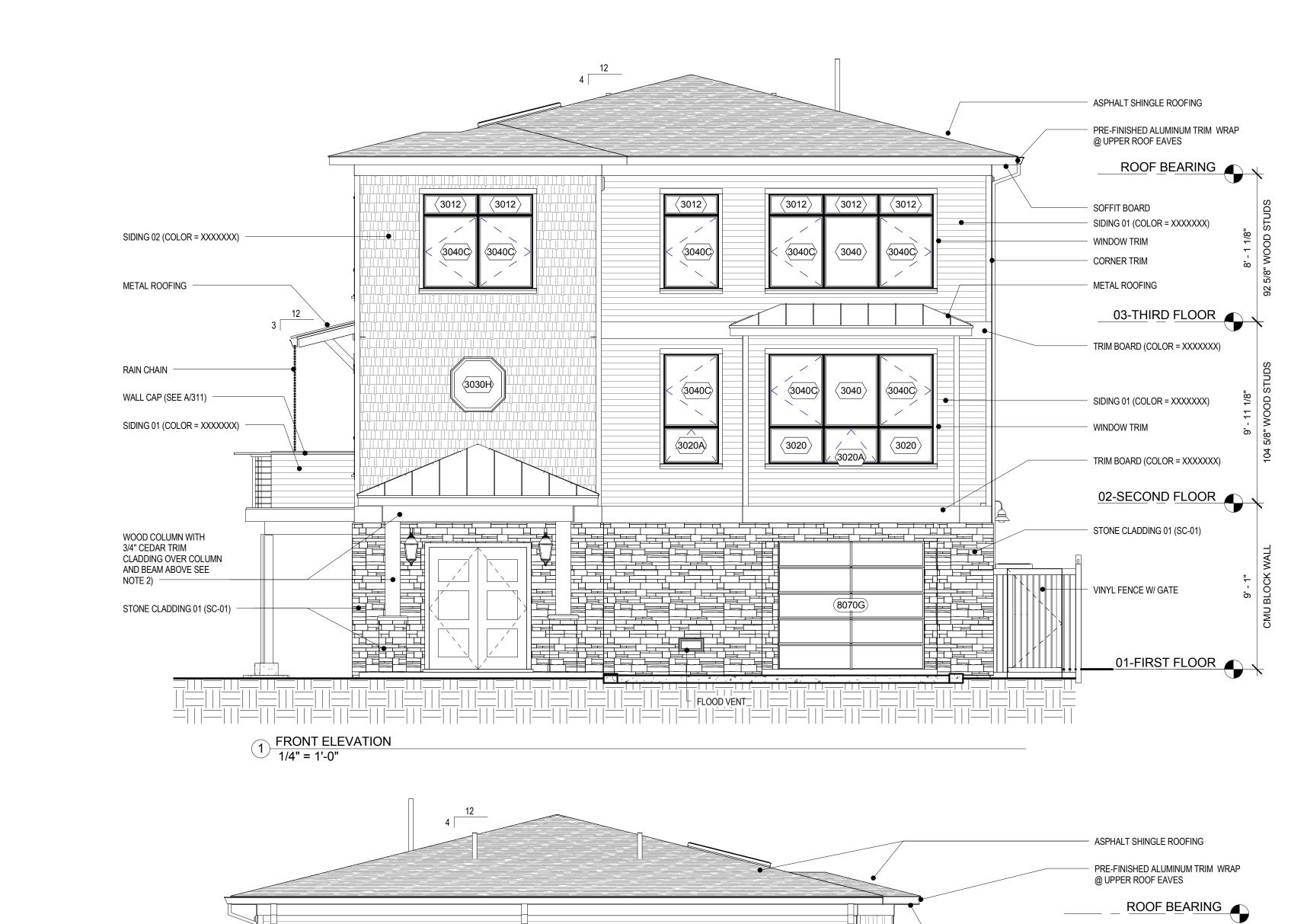
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**ELEVATIONS** 

**A201** 

SHEET NO. A201 OF XX 1804 PROJECT NO.







2 REAR ELEVATION
1/4" = 1'-0"

#### **NEW WORK NOTES - ELEVATIONS**

1 UNLESS OTHERWISE NOTED: ALL SIDING SHALL BE LP SMARTSIDE SIDING (OR EQUAL) ALL TRIM SHALL BE LP SMARTSIDE TRIM (OR EQUAL)
ALL SOFFIT BOARD SHALL BE LP SMARTSIDE VENTED SOFFIT (OR EQUAL)

TREAT'D WOOD COLUMNS WITH CEDAR TRIM WRAP OVER COLUMNS AND BEAM ABOVE

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**ELEVATIONS** 

**A202** 

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**BUILDING SECTIONS** 

**A301** 

SHEET NO. A301 OF

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**WALL SECTIONS & DETAILS** 

A302

SHEET NO. A302 OF XX

HURRICANE CLIP @ EACH RAFTER

1/2" PLYWD SHEATING WITH ICE AND WATER SHIELD OVER ENTIRE SURFACE

METAL ROOFING

ROOF RAFTERS (SEE

FRAMING PLAN FOR

SIZE AND SPACING

METAL DRIP EDGE

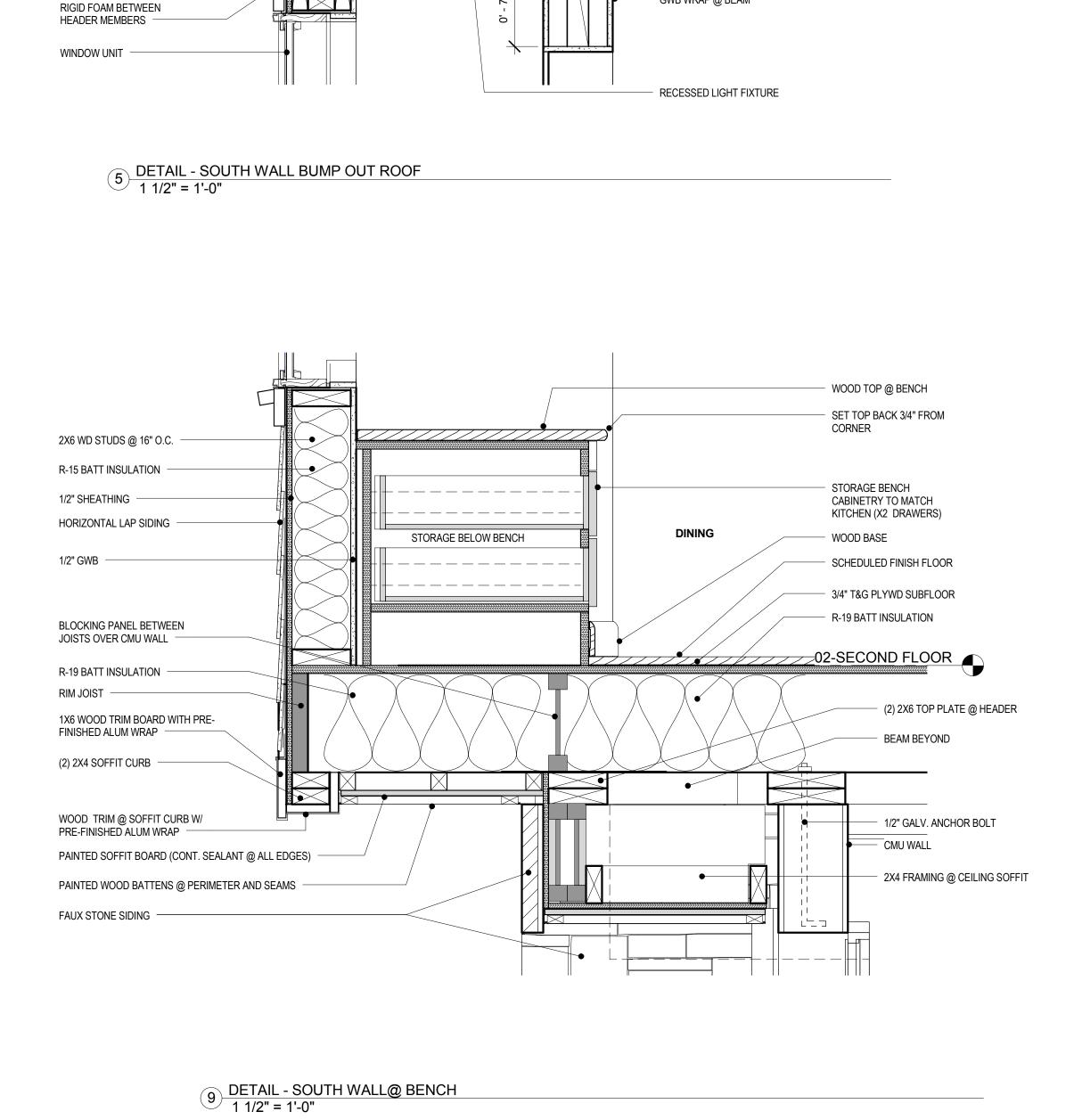
1X6 WOOD FASCIA BOARD WITH PRE-

2X4 SUB FASCIA

FINISHED ALUM WRAP.

SOFFIT BOARD WITH BATTEN TRIM (TYP.)

WITH ICE AND WATER SHIELD MEMBRANE LAPPED OVER (TYP.)



STEPHANIE'S

STUDIO

GWB WRAP @ BEAM

R-19 BATT INSULATION

WOOD BASE

**FLOOR** 

SCHEDULED FINISH

PERIMETER (TYP.)

SCHEDULE CEILING

03-THIRD FLOOR

R-19 BATT INSULATION IN FIRST BAY OF FLOOR JOISTS ALONG

FLOOR JOIST (SEE FRAMING

PLANS FOR SIZE AND SPACING

FIREBLOCKING THIS SIDE OF ROOF ONLY: PROVIDE 2X BLOCKING FROM TOP PLATE UP TO UNDERSIDE OF ROOF SHEATHING. ROOF BEARING ROOF BEARING STEPHANIE'S STUDIO **ED'S OFFICE** 03-THIRD FLOOR 03-THIRD FLOOR FLOOR FRAMING FLOOR FRAMING R-19 BATT INSULATION MIN. 16" IN FROM EXTERIOR FACE OF WALL IN BETWEEN EA. FLOOR JOIST. (TYP. @ THIRD FLOOR LEVEL) **BEDROOM** = = = = STORAGE 02-SECOND FLOOR BELOW BENCH 02-SECOND FLOOR FLOOR FRAMING FLOOR FRAMING 9 A303 SCHEDULED CEILING @ GARAGE - 4" X 4" OPENING IN CMU BLOCK FOR OWNER-FURNISHED-OWNER-INSTALLED UTILITIES. PROVIDE BEAM (SEE FRAMING PLAN FOR SIZE AND LOCATION BLOCKING PANEL OPENING AT +/- 7'-0" AFF. DOUBLE JOIST @ CANTILEVERED BUMPOUT WOOD TRIM @ DOOR HEAD. PAINT UNDERSIDE OF HVAC OPENING TO MATCH EXTERIOR WALL 2X8 TOP PLATE GARAGE (5) (A310) 01-FIRST FLOOR 01-FIRST FLOOR , 4 12 WALL SECTION - EAST WALL
1/2" = 1'-0" 11 WALL SECTION @ FRONT BUMP OUT 1/2" = 1'-0"

ROOF LOUVER BEYOND

(SEE ROOF PLAN)

1 2 3 0

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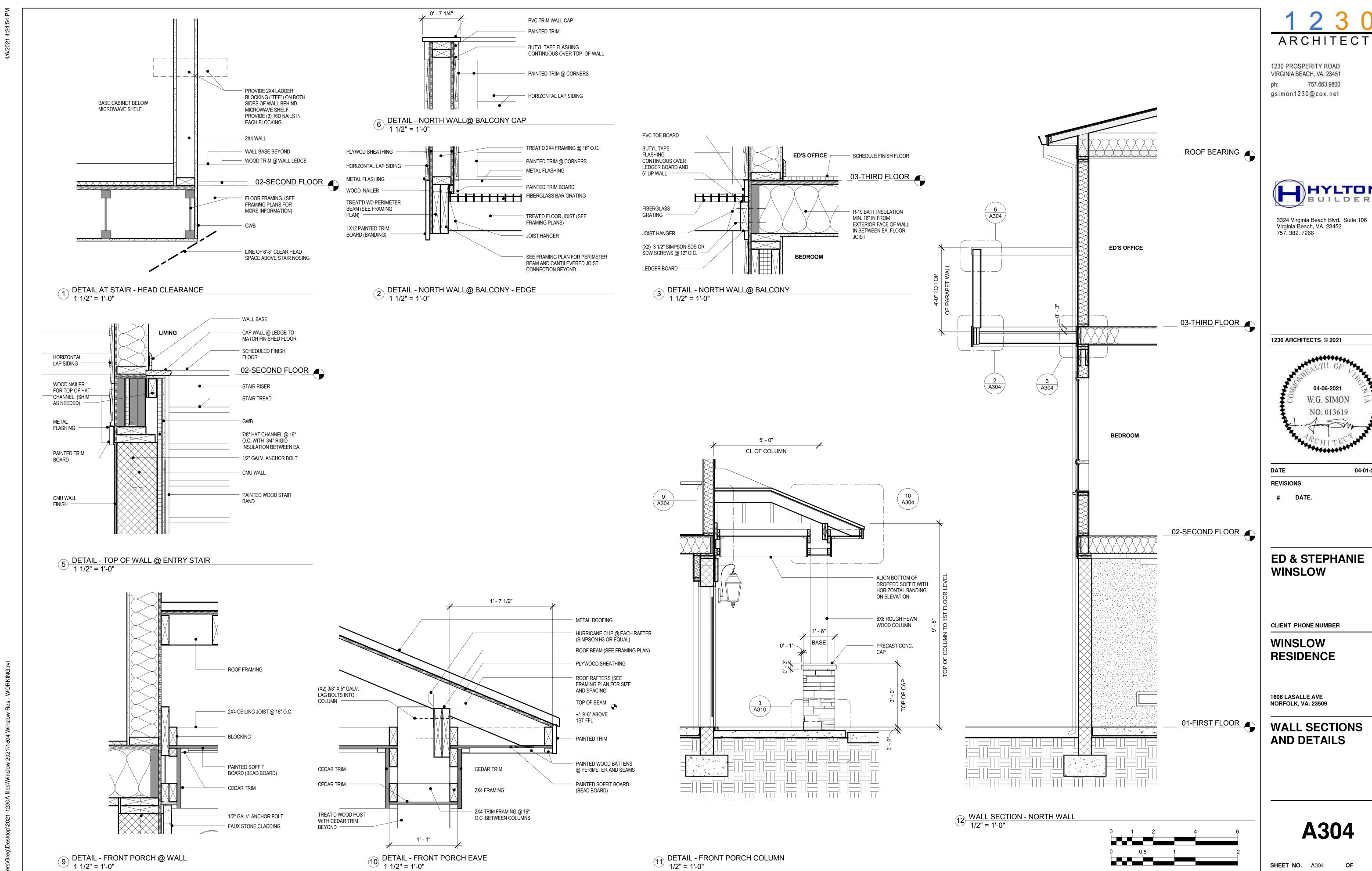
WINSLOW RESIDENCE

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WALL SECTIONS & DETAILS

A303

SHEET NO. A303 OF

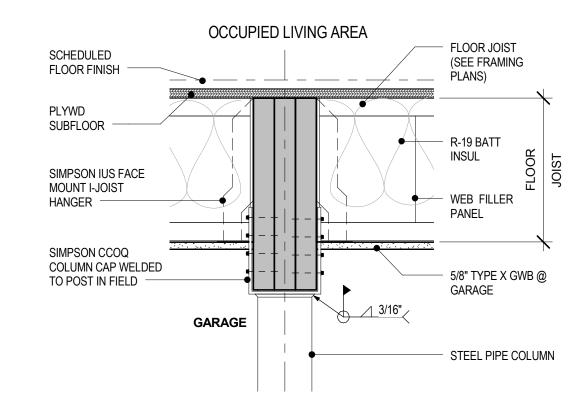




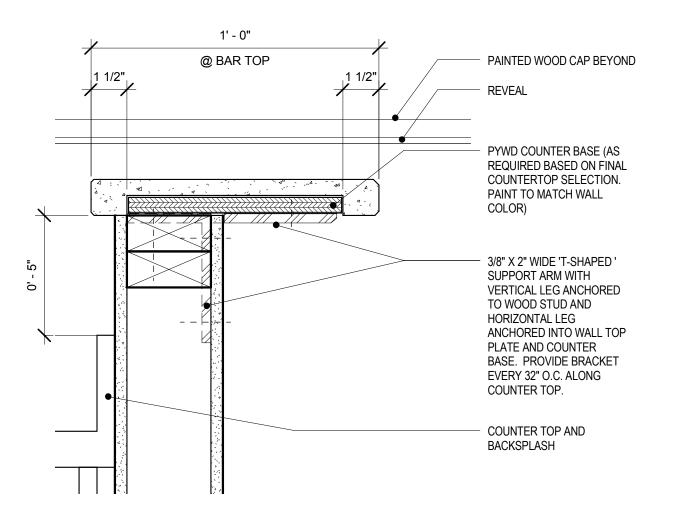
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WHERE INDICATED ON FRAMING PLANS.

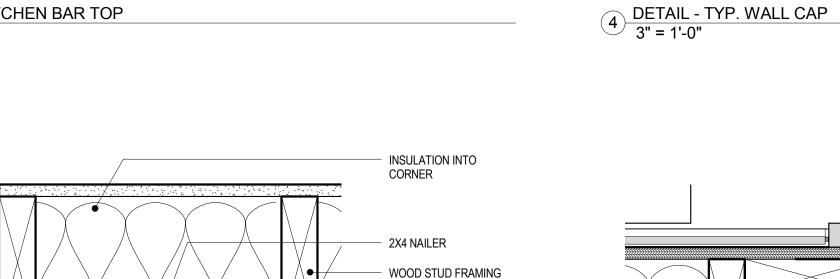
2 DETAIL @ BEAM-JOIST 1 1/2" = 1'-0"

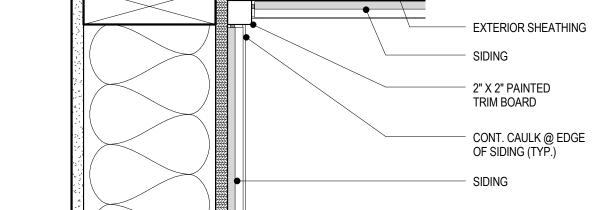


6 DETAIL @ LVL-JOIST 1 1/2" = 1'-0"

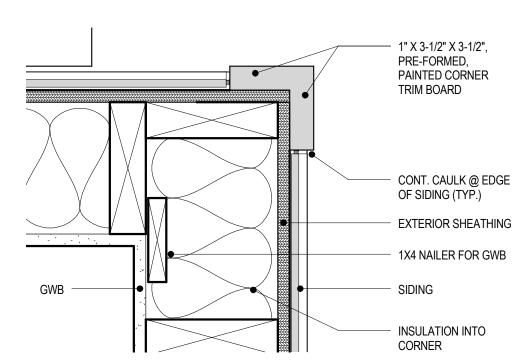


3 DETAIL - KITCHEN BAR TOP 3" = 1'-0"

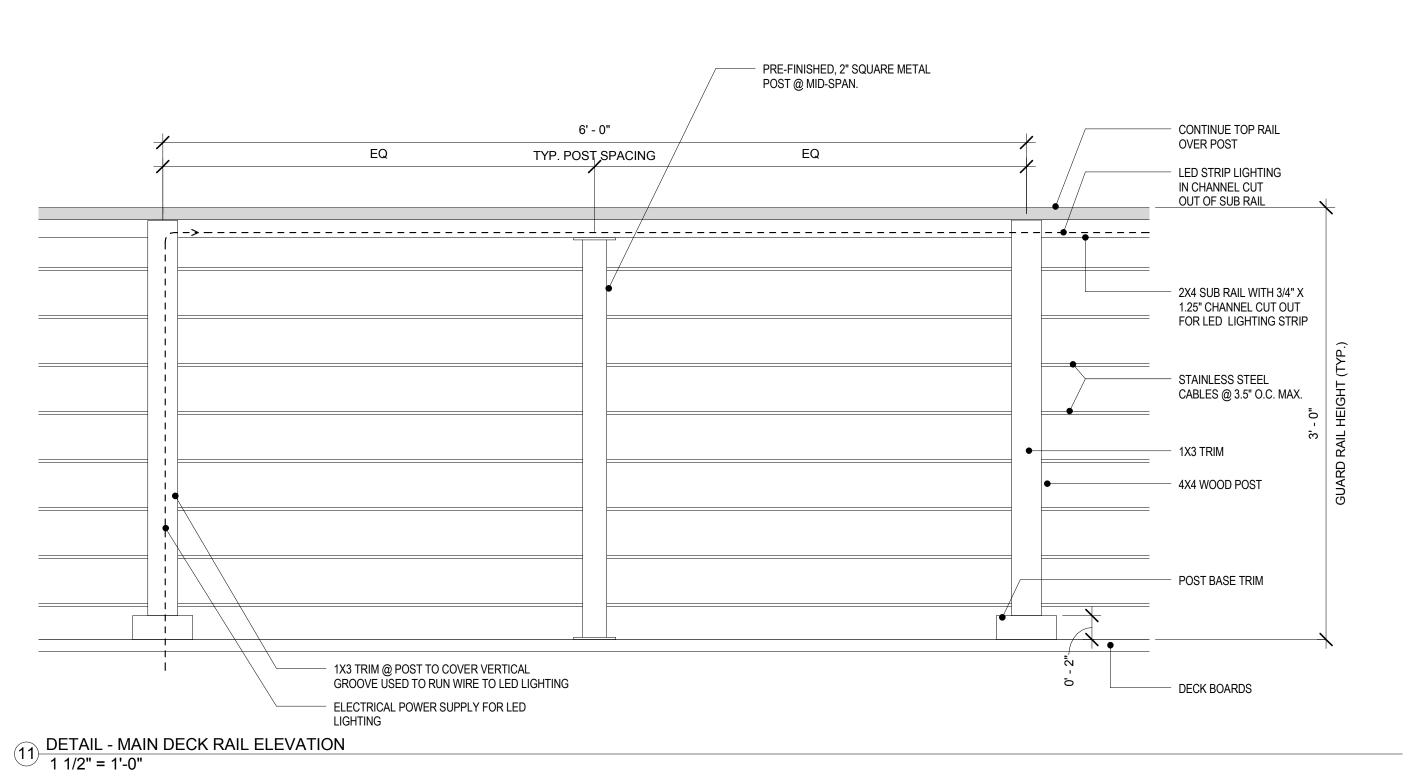




7 DETAIL - TYP INSIDE CORNER TRIM
3" = 1'-0"



8 DETAIL - TYP OUTSIDE CORNER TRIM
3" = 1'-0"



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PAINTED WOOD WALL CAP (POPLAR OR SIMILAR)

1/4" CONTINUOUS WOOD STRIP

TO CREATE A REVEAL BETWEEN

GWB AND WOOD CAP (PAINTED

TO MATCH WOOD CAP)

WOOD STUDS @ 16" O.C.



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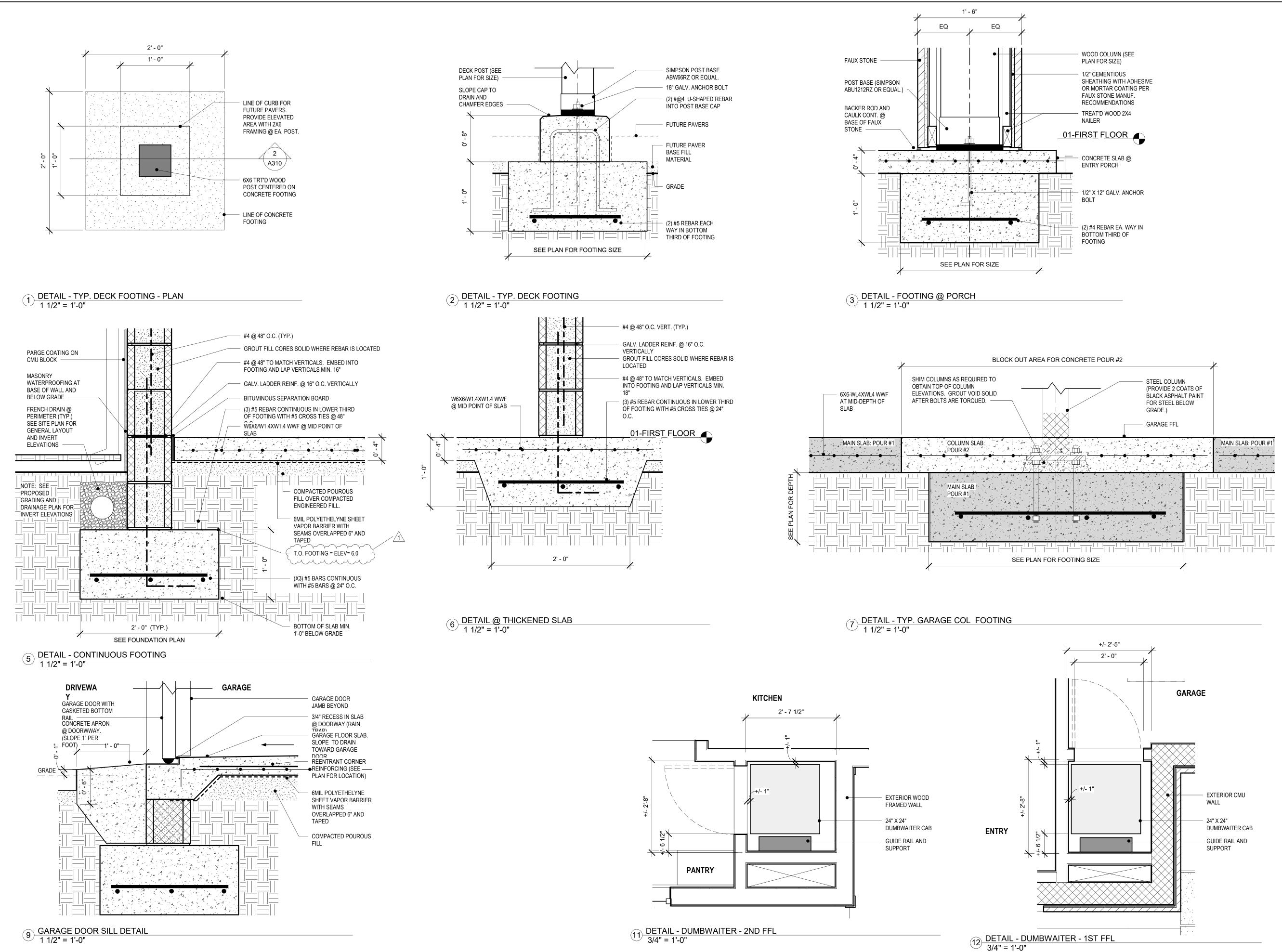
**WINSLOW RESIDENCE** 

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**WALL SECTIONS & DETAILS** 

A305

OF SHEET NO. A305



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## **WINSLOW RESIDENCE**

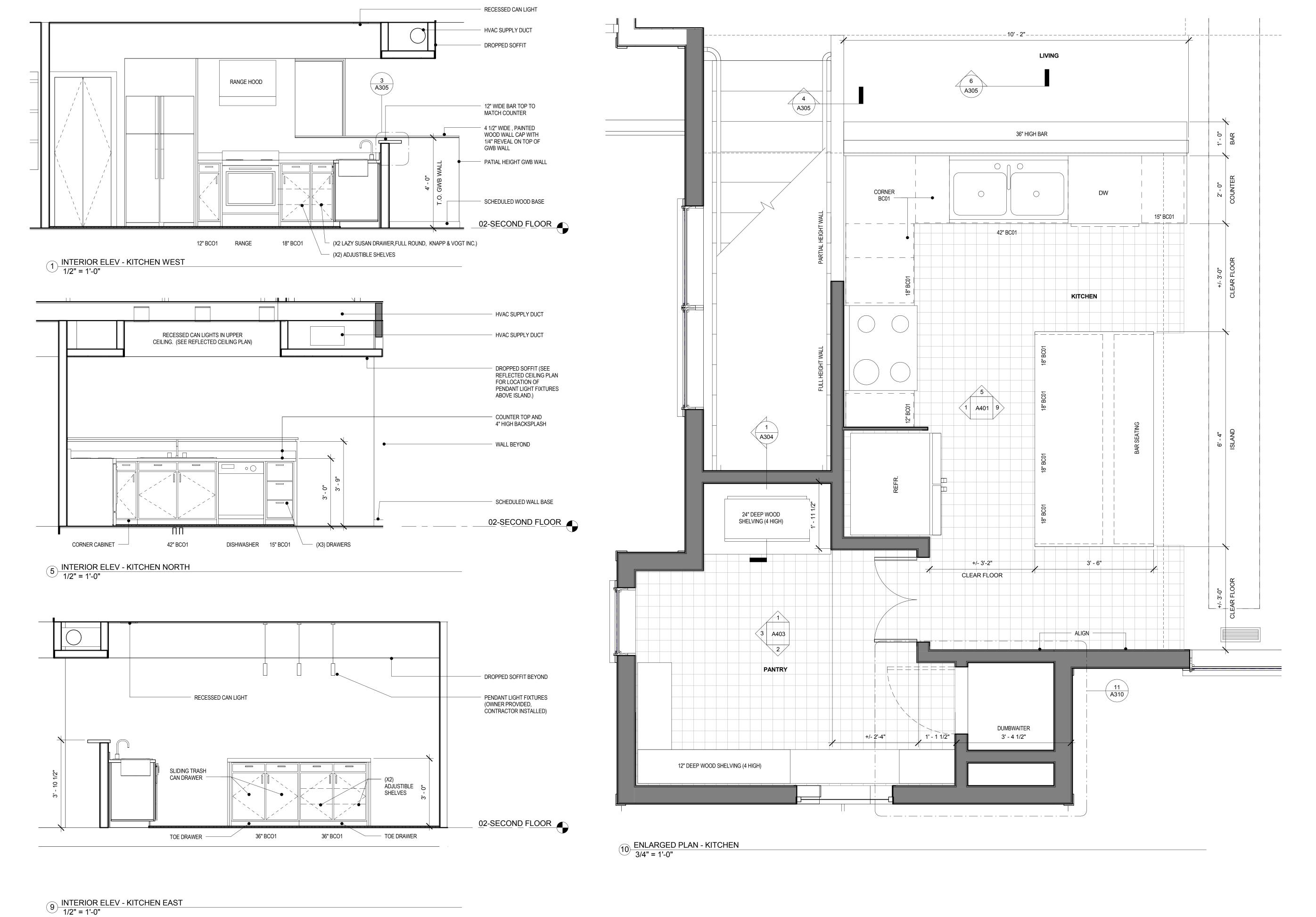
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**DETAILS** 

**A310** 

SHEET NO. A310

OF XX 1804 PROJECT NO.



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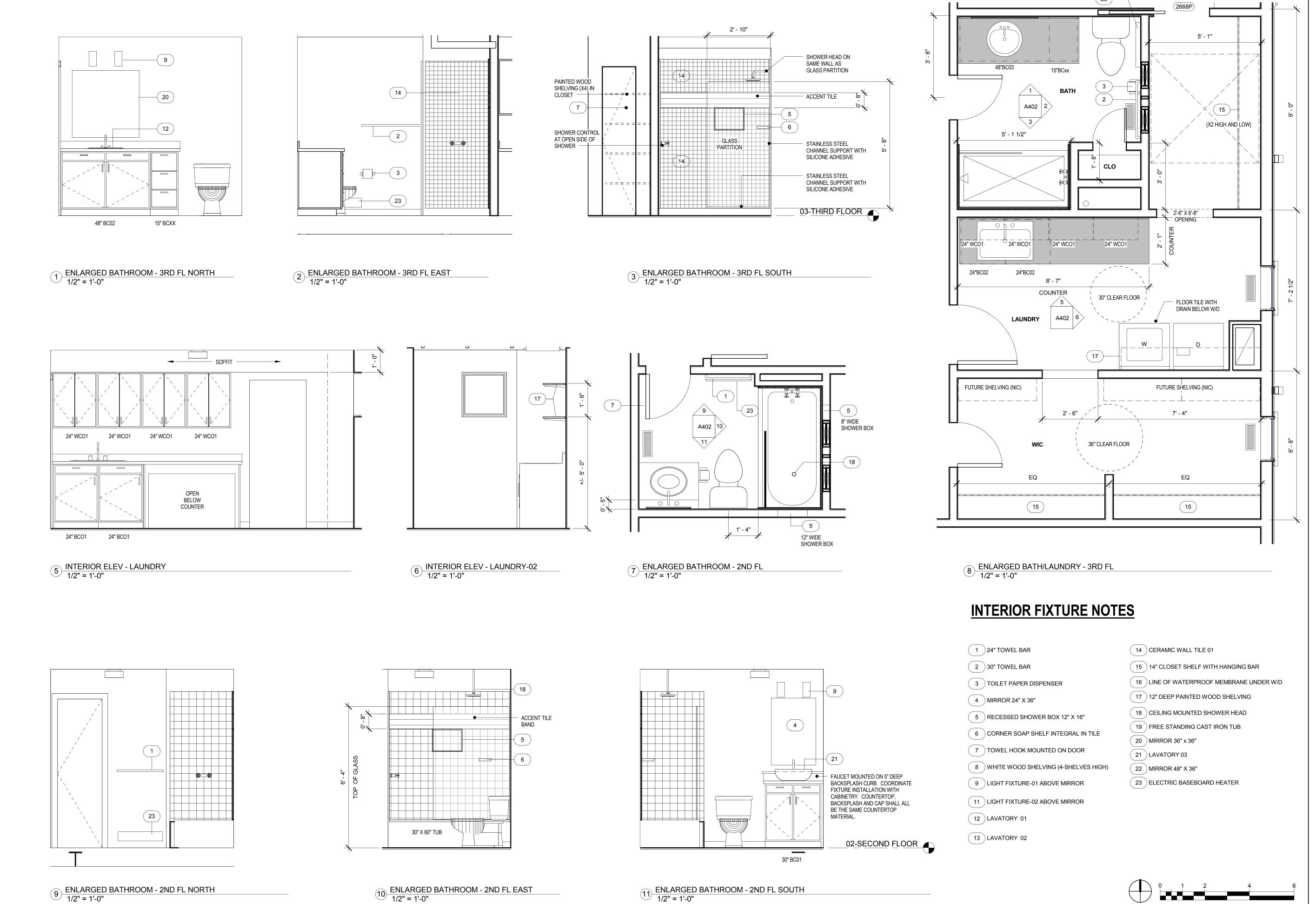
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**ENLARGED PLANS & ELEVATIONS -KITCHEN** 

**A401** 

OF XX SHEET NO. A401





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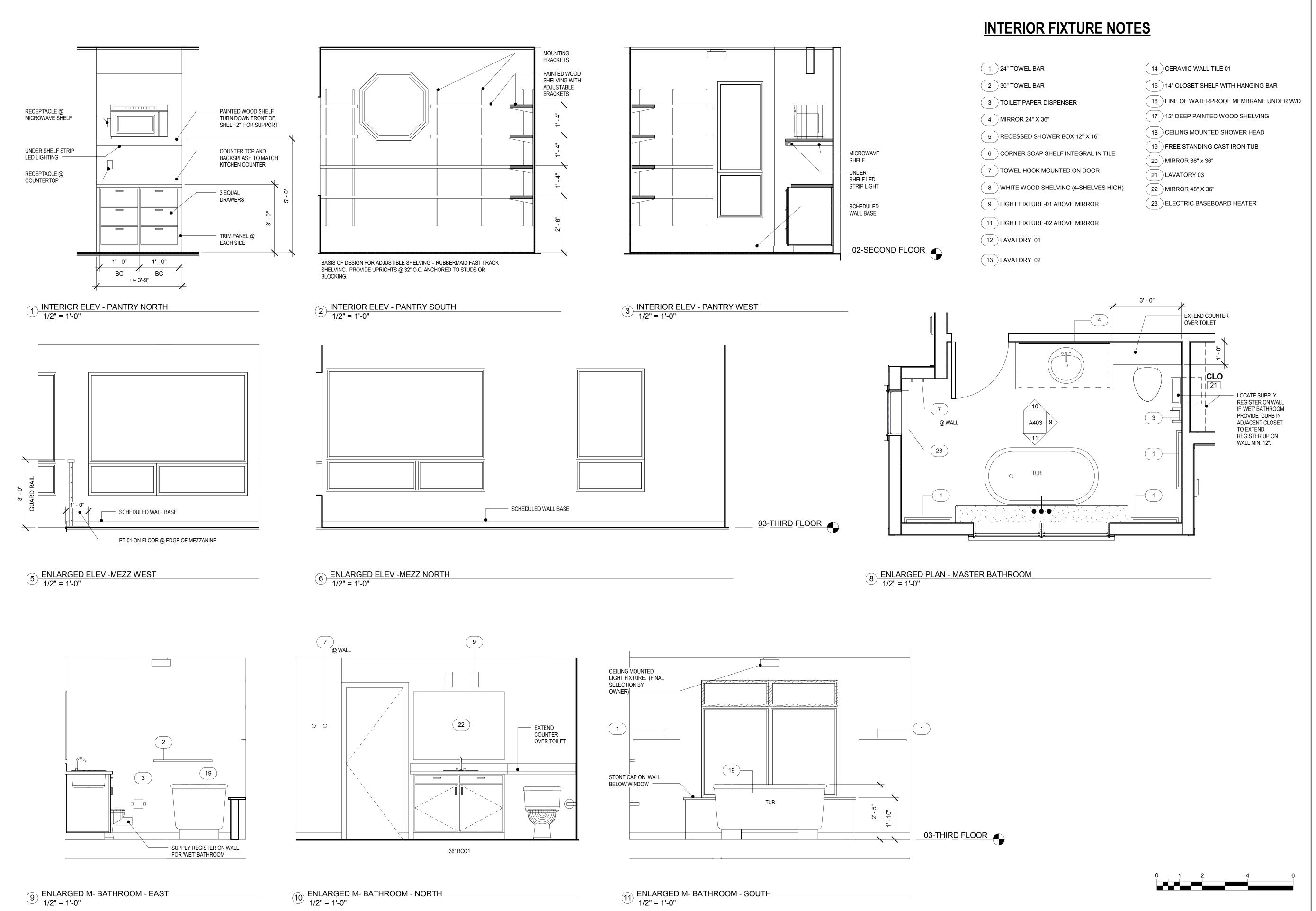
**WINSLOW RESIDENCE** 

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**ENLARGED PLANS & ELEVATIONS -BATHROOM AND LAUNDRY** 

A402





1 2 3 0

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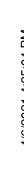
WINSLOW RESIDENCE

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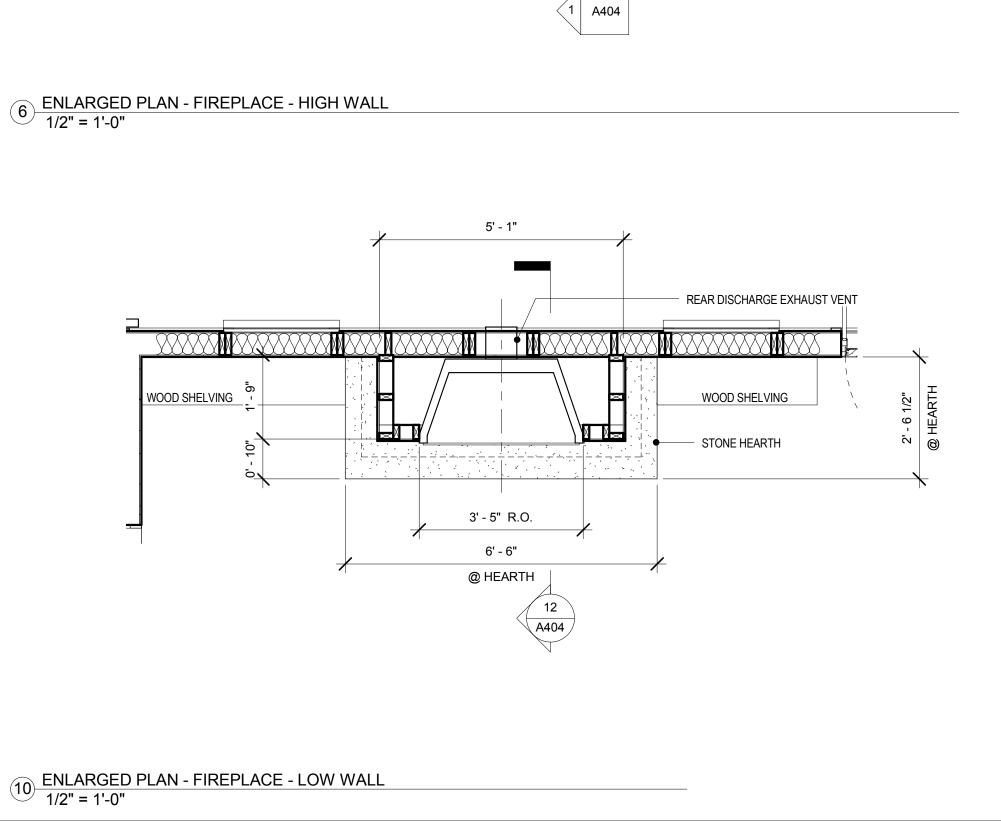
ENLARGED PLANS & ELEVATIONS

**A403** 

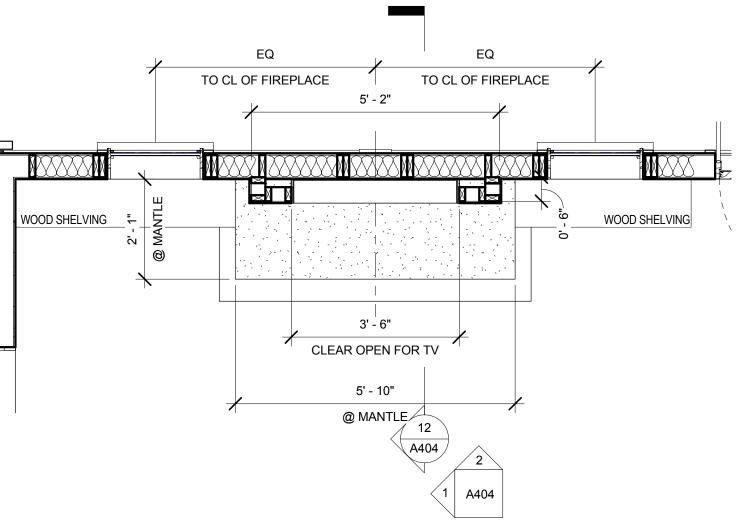
SHEET NO. A403 OF







6 ENLARGED PLAN - FIREPLACE - HIGH WALL 1/2" = 1'-0"



2 ENLARGED ELEV - LIVING RM NORTH 1/2" = 1'-0"

SURROUND

FOR TV SCREEN

SURROUND FOR GAS FIREPLACE

12" DEEP WOOD

SHELVING

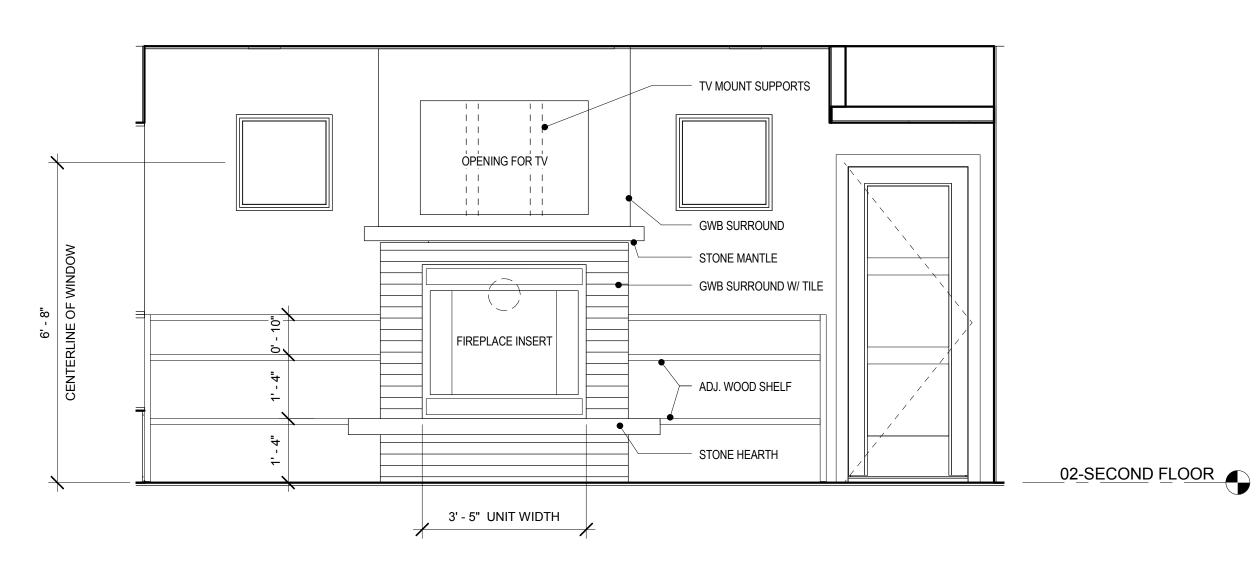
STONE HEARTH

WALL TILE

SCHEDULED

WALL BASE

1 ENLARGED ELEV - LIVING RM WEST 1/2" = 1'-0"



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**REVISIONS** 

GWB SURROUND OVER 2X4 FRAMING @ TV RECESS

TIMBER MANTLE: OWNER PROVIDED, CONTRACTOR INSTALLED

2X4 FRAMING

THRU-WALL VENT

GAS FIREPLACE INSERT: XTRODINAIR MODEL 564

(SEE MATERIAL INFORMATION SHEET FOR ADDITIONAL NOTES)

STONE HEARTH ON 3/4" PLYWD DECK (MATCH MATERIAL ON KITCHEN COUNTERTOP)

3/4" PLYWD DECK

2X4 FRAMING @ 16" O.C.

12 DETAIL - FIRE PLACE
1 1/2" = 1'-0"

1' - 7 1/2"

2

# DATE.

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**WINSLOW** RESIDENCE

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**ENLARGED PLANS AND ELEVATIONS** 

**A404** 

OF SHEET NO. A404 PROJECT NO.

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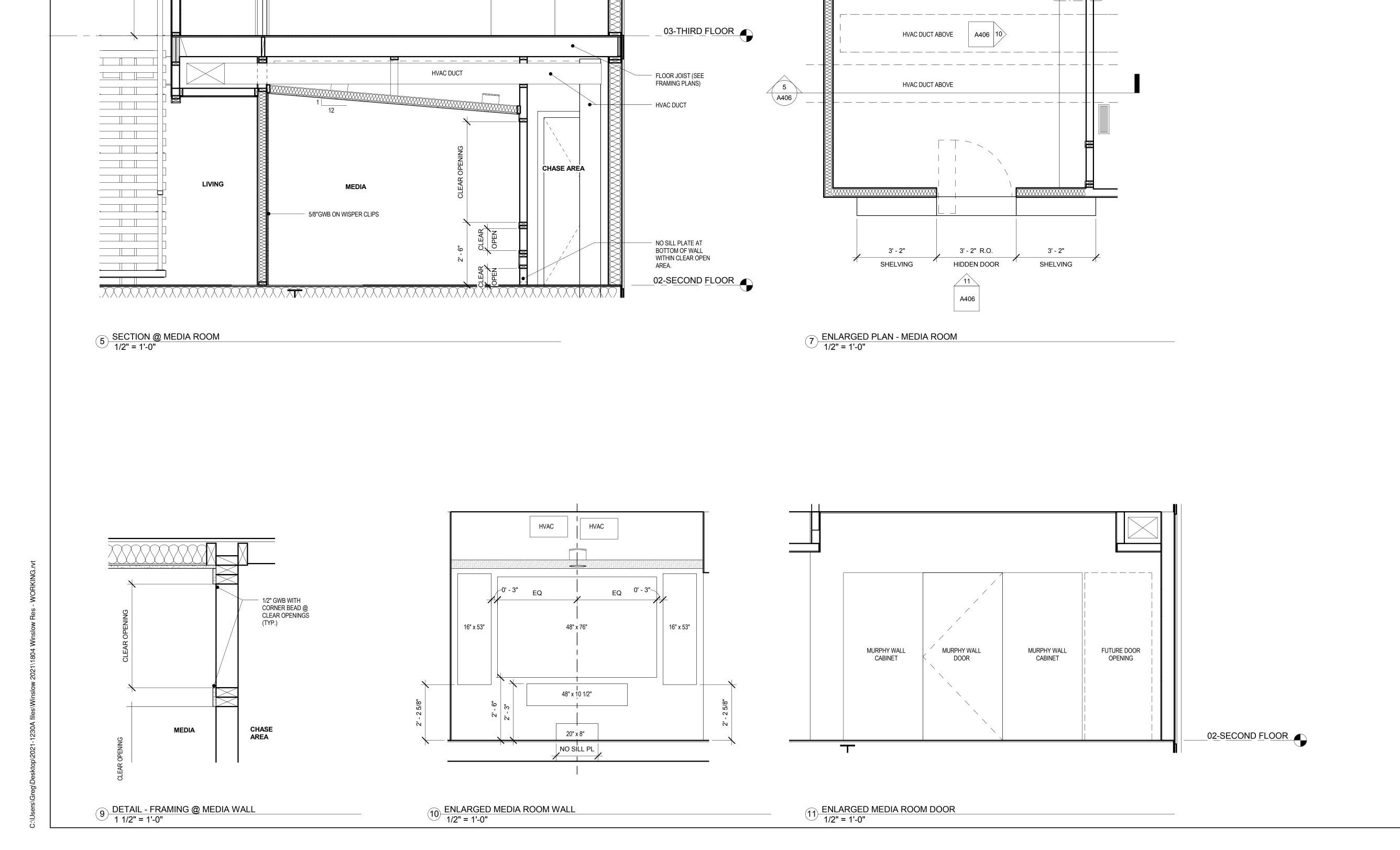
**ENLARGED STAIR** PLANS, SECTIONS, **AND DETAILS** 

A405



**MEZZANINE** 

LAUNDRY



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9 A406



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**ENLARGED PLANS AND ELEVATIONS -MEDIA ROOM** 

A406

OF XX SHEET NO. A406

SOFFIT BOARD (SIDING TYPE 03) -

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REFLECTED **CEILING PLANS** 

PAINTED BEAD BOARD PANEL

CEILING FINISH LEGEND

PROVIDE 5/8" TYPE X GWB @ GARAGE CEILINGS

**A500** 

OF SHEET NO. A500

PROJECT NO.



3 03-THIRD FLOOR 3/16" = 1'-0"

- 1 LINE OF GARAGE DOOR SUPPORT TRACKS
- 4 LINE OF DROPPED CEILING SOFFIT
- 5 PENDANT LIGHT FIXTURE
- 6 6" RECESSED CAN LIGHT
- 8 CEILING MOUNTED TRACK LIGHTING

2 CEILING MOUNTED, 2X4 FLOURESCENT LIGHT FIXTURE

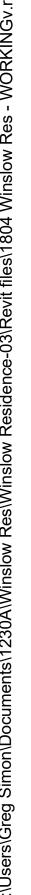
3 HVAC SUPPLY GRILL IN CEILING @ ENTRY.

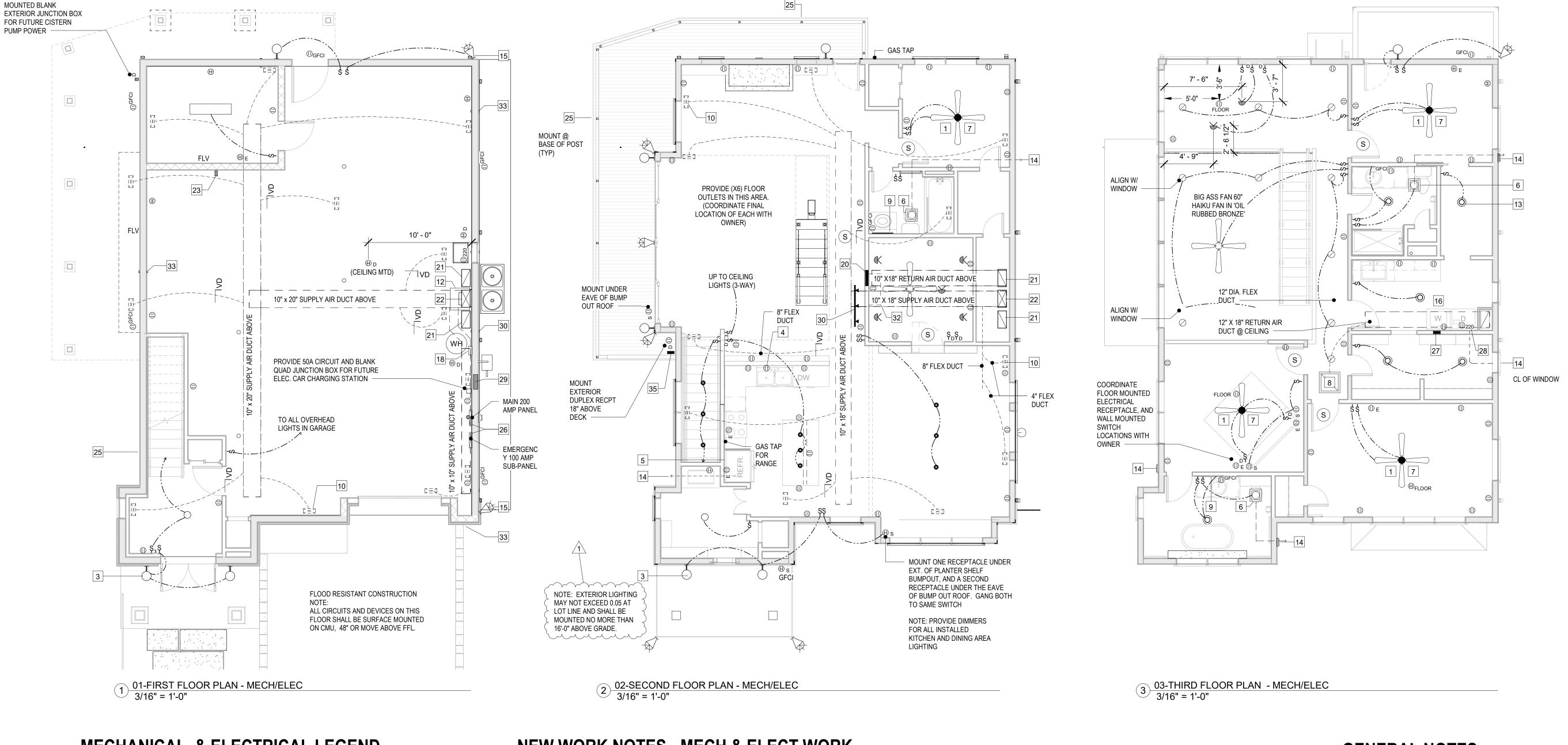
2 02-SECOND FLOOR PLAN 3/16" = 1'-0"

7 CEILING MOUNTED LIGHT

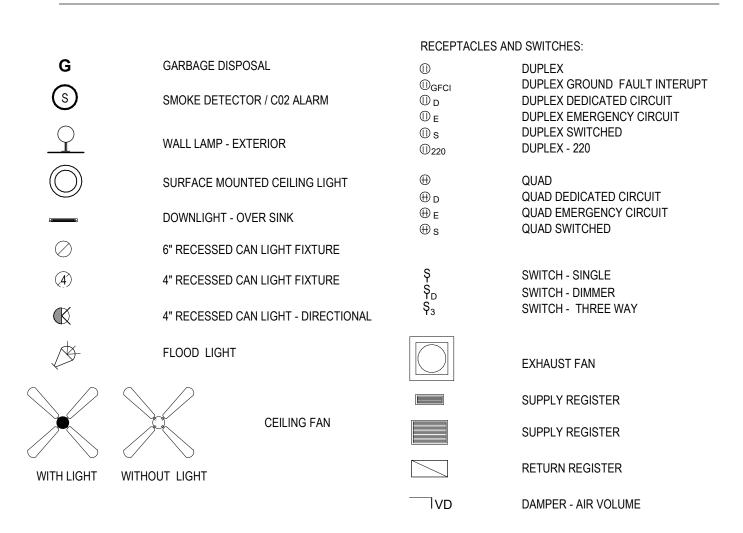
1 01-FIRST FLOOR PLAN 3/16" = 1'-0"

15A CIRCUIT TO SURFACE





#### MECHANICAL & ELECTRICAL LEGEND



#### **NEW WORK NOTES - MECH & ELECT WORK**

PROVIDE CEILING FAN-LIGHT COMBINATION UNIT IN CENTER OF ROOM. 6" DUCT TO EXTERIOR FROM COOKTOP EXHAUST FAN. PROVIDE TRANSITION ADAPTOR FROM RECTANGULAR OPENING TO ROUND DUCT AS REQUIRED MY MANUFACTURER. 3 EXTERIOR WALL MOUNTED LIGHT FIXTURE PROVIDE RECEPTACLE BELOW SINK FOR FUTURE GARBAGE DISPOSAL. PROVIDE DISPOSAL UNDER EA. SINK. PROVIDE 'ON-OFF-ON' SELECTOR FOR DUAL DISPOSALS

ICE MAKER WATER SUPPLY CONNECTION BOX CEILING MOUNTED BATHROOM FAN UNIT W/SEPARATE SWITCH.

PROVIDE (1) SWITCH TO FAN LIGHT, (1) SWITCH TO FAN BLADES (TYP.) RETURN REGISTER ON CEILING (COORDINATE WITH ROOF TRUSSES

ABOVE.)

PROVIDE (2) WALL MOUNTED LIGHTS CENTERED ABOVE LAVATORY. HVAC SUPPLY REGISTER TO FLOOR ABOVE

ADJUSTIBLE FLOOR REGISTERS FOR SUPPLY AIR IN UTILITY AREA BEHIND MEDIA ROOM. CONFIRM FINAL LOCATION WITH OWNER PRIOR TO

**HVAC UNIT** 

INSTALLATION.

CEILING MOUNTED LIGHT FIXTURE

ALUMINUM WALL CAP EXHAUST COVER WITH BACKDRAFT DAMPER

EXTERIOR WALL MOUNTED FLOOD LIGHT

PROVIDE DRAIN PAN WITH PVC FITTING (CAMCO OR EQUAL). EXTEND DRAIN TO OUTSIDE OF HOUSE AT GRADE.

UNDERCUT DOOR 3/4" (TYP.)

WATER HEATER / HVAC ELECTRICAL DISCONNECT (PROVIDE EXTRIOR RATED AT OUTDOOR HVAC UNIT.)

19 NOT USED

WALL MOUNTED RETURN REGISTER. (MOUNT HIGH ON WALL AND COORDINATE WITH DROPPED CEILING)

21 RETURN AIR DUCT

22 SUPPLY AIR DUCT UP

VALVE GAS TAP FOR OWNER INSTALLED GAS LOG

UNDERCUT DOOR 3/4"

#### 25 20 AMP, EXTERIOR DUPLEX RECEPTACLE WITH

WEATHER COVER

26 PROVIDE 100A SWITCH TO QUAD JUNCTION BOX ON INSIDE OF BLOCK WALL THEN TO WATERPROOF QUAD JUNCTION BOX ON EXTERIOR SIDE OF BLOCK WALL. MOUNT BOTH SIDES @ 48" ABOVE BASE FLOOR ELEVATION 8'-0" (GARAGE FFL)

8"X8"X 3-1/2" WASHER BOX RECESSED IN WALL. COORDINATE WITH POCKET DOOR FRAME INSIDE WALL.

PROVIDE MIN. 30 AMP, 240 VOLT PLUG @ DRYER

24" EXHAUST LOUVER. BOTTOM OF OPENING +/- 48" ABOVE FFL

CEILING MOUNTED TRACK LIGHTING. MOUNT APPROX. 12" FROM WALL

2" PVC SLEEVE FOR FUTURE CABLE SERVICE ENTRANCE. MOUNT 24" ABOVE FINISHED FLOOR

CEILING, CENTERED IN ROOM. (CONFIRM FINAL LOCATION WITH 33 2" DIA. PVC SLEEVE FOR OWNER INSTALLED HOSE BIBS.

|32| DUCTLESS MINISPLIT INDOOR UNIT MOUNTED 12" DOWN FROM

PROVIDE SLEEVE 24" ABOVE FINISHED FLOOR. GROUT MASONRY CUT OUT SOLID AROUND SLEEVE. HOSE BIB. MOUNT 18" ABOVE BALCONY FLOOR

PROVIDE GAS TAP FOR BBQ GRILL, 18" ABOVE DECK FLOOR

#### **GENERAL NOTES**

1. HABITABLE ROOMS REQUIRE NATURAL VENTILATION OPENINGS TO OUTDOOR AIR FOR A MIN. OF 4% OF FLOOR AREA UNLESS AN APPROVED WHOLE HOUSE VENTILATION SYSTEM HAS BEEN INSTALLED.

2. IF FOAM PLATIC SPRAY INSULATION IS USED, PROVIDE A MAXIMUM FLAME INDEX SPREAD OF 75 AND A MAXIMUM SMOKE-DEVELOPED INDEX OF 450 PER ASTM 84 / UL 723. FOAM INSULATION CANNOT BE EXPOSED TO THE INTERIOR OF THE BUILDING. PROVIDE 1/2" TYPE X GYPSUM WALL BOARD OR OTHER BARRIER APPROVED BY THE AUTHORITY HAVING JURISDICTION.

3. UNLESS OTHERWISE NOTED IN BATHROOMS: PROVIDE (2) SWITCHES: ONE TO LIGHTS AND ONE TO EXHAUST FAN.

4. UNLESS OTHERWISE NOTED IN BEDROOMS: PROVIDE (2) SWITCHES: ONE TO CEILING FAN AND ONE TO LIGHTS. WHERE CEILING FANS HAVE LIGHTS, SWITCH SEPARATELY.

5. UNLESS OTHERWISE NOTED: PROVIDE 6 DIA. FLEX DUCTS BETWEEN MAIN TRUNK LINES AND SUPPLY REGISTERS.

6. PROVIDE DEDICATED CIRCUIT FOR SMOKE ALARMS

7. MOUNT MECHANICAL EQUIPMENT 4'-0" ABOVE GARAGE FLOOR FINISHED SLAB. 



Virginia Beach, VA. 23452

757. 382. 7266

3324 Virginia Beach Blvd. Suite 106

1230 PROSPERITY ROAD

VIRGINIA BEACH, VA. 23451

gsimon1230@cox.net

757.663.9800

#### **1230 ARCHITECTS © 2021**



**DATE** 

**REVISIONS** 

1 11-05-2021 City comments

04-01-2021

## ED & **STEPHANIE WINSLOW**

**CLIENT PHONE NUMBER** 

## **WINSLOW RESIDENCE**

1606 LASALLE AVE **NORFOLK, VA. 23509** 

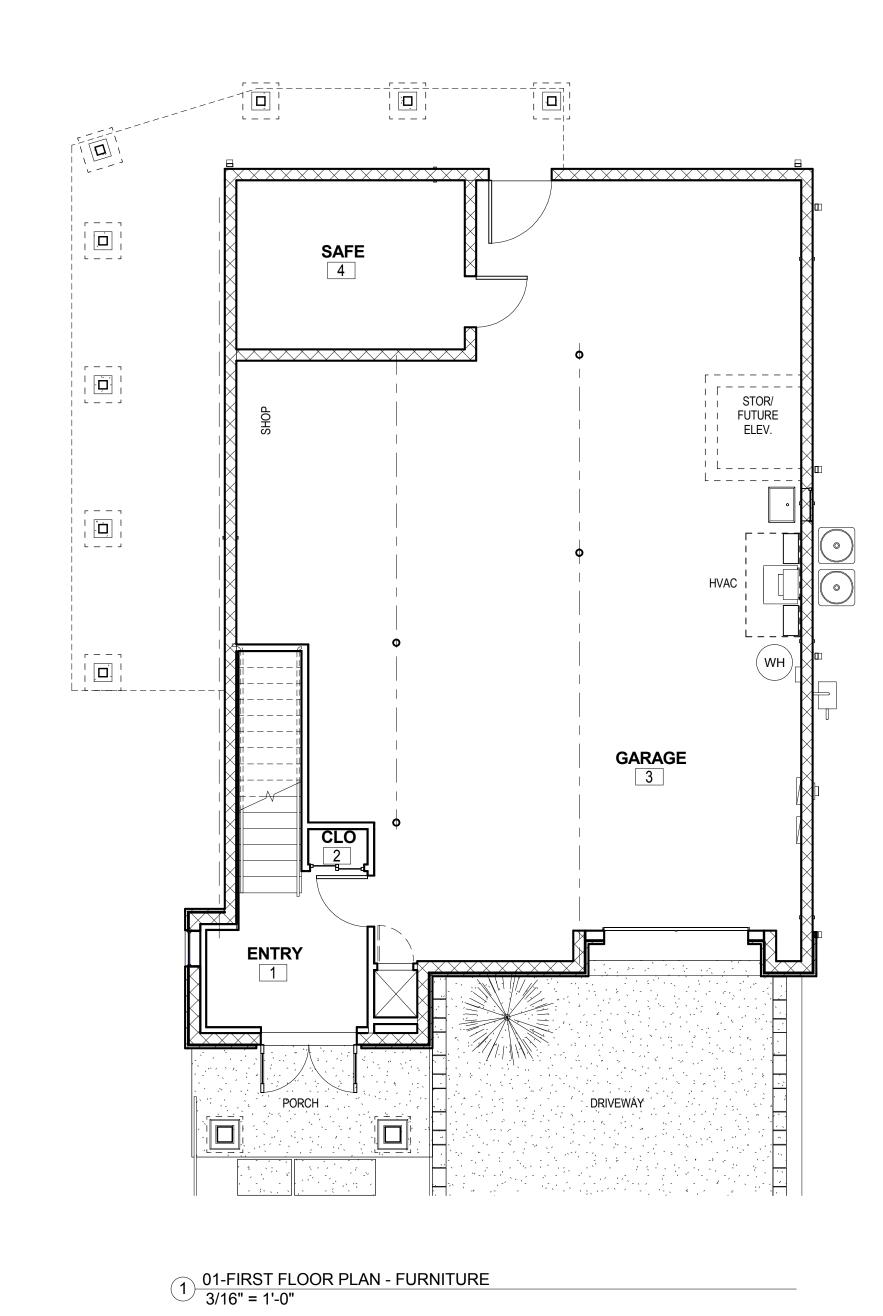
## **MECHANICAL** & ELECTRICAL **PLANS**

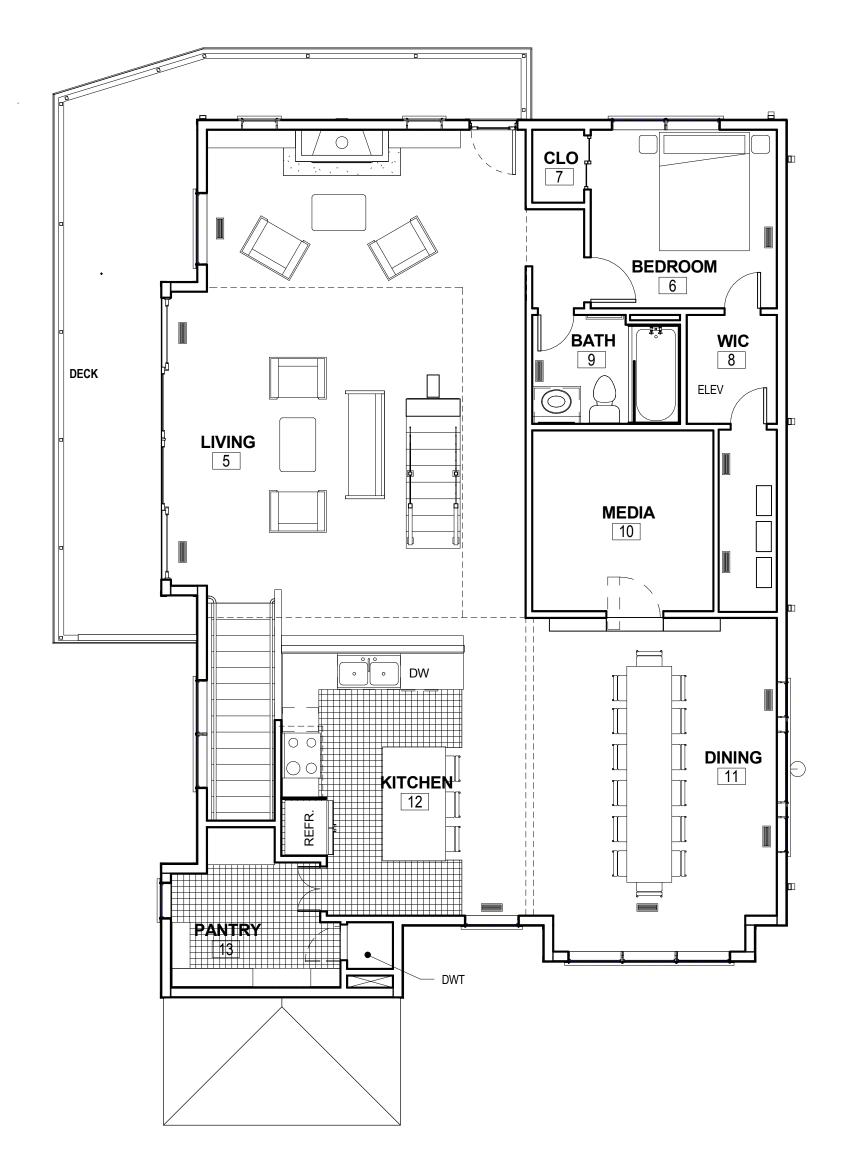
# **A501**

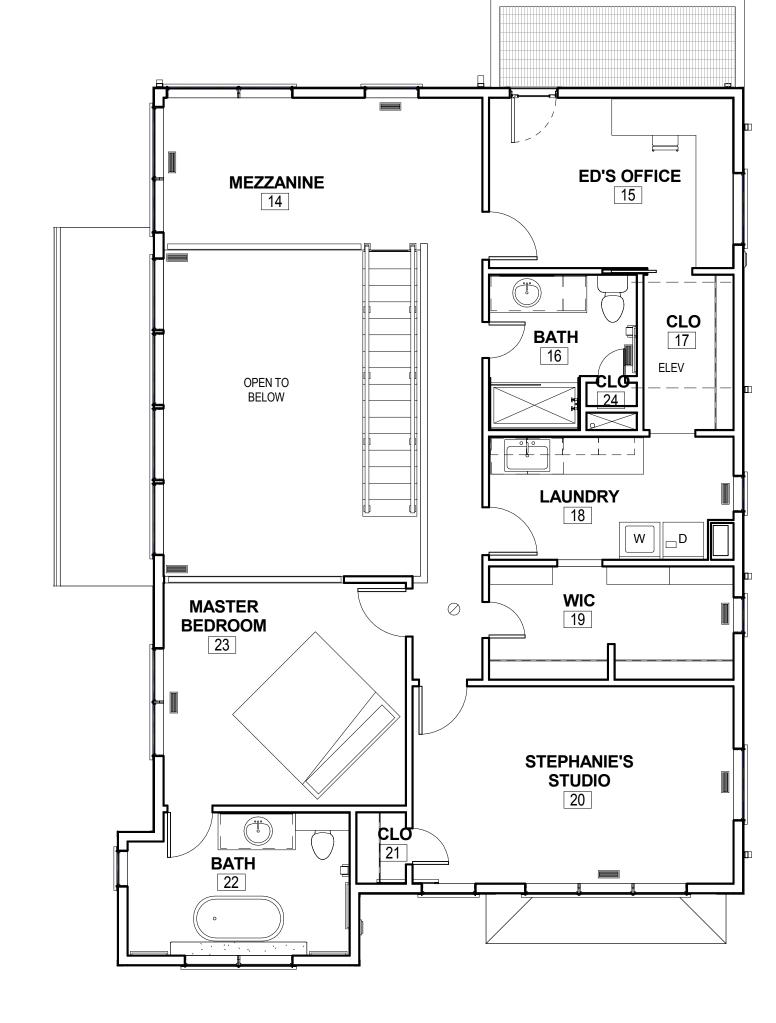
SHEET NO. A501

OF XX 1804 PROJECT NO.









2 02-SECOND FLOOR PLAN - FURNITURE 3/16" = 1'-0"

FLOOR

ITEM

3 03-THIRD FLOOR PLAN-FURNITURE 3/16" = 1'-0"

## FIXTURE SCHEDULE

FLOOR	ITEM	BASIS OF DESIGN PRODUCT	NOTES	
1ST	WATER HEATER	RINNAI, 130,000 BTU 09.1 UEF TANKLESS DV WATER HEATER	MODEL # RU130IN	
	UTILITY SINK	UTILATUB THERMOPLASTIC UTILITY SINK	20" X 24" X 33" - FLOOR MOUNTED	
2ND	REFRIGERATOR	FRIGIDAIRE 25.5 CU. FT, SIDE BY SIDE	NOTES	
2ND	RANGE	SAMSUNG 30" FREE STANDING GAS RANGE MODEL # NX583GOVBSR WITH 5.8 CU. FT CONVECTION OVEN		
2ND	MICROWAVE	FRIGIDAIRE 1.6 CU. FT	WITH LIGHTED KEYPAD	
2ND	SHOWER / TUB COMBO	KOHLER ARCHER ALCOVE TUB INSERT 36" X 72"		
2ND	TOILET	KOHLER - DEVONSHIRE 2-PIECE MODEL # K3837-K4: CASHMERE FINISH		
2ND	FAUCET	DELTA 'WOODHURST' 8" FAUCET MODEL # D3532LFRBMPU - VENTIAN BRONZE FINISH		
2ND	CEILIGN MTD. SHOWER HEAD	SIGNATURE HARDWARE - 'BOSTONIAN' SHOWER HEAD MODEL # 250959 - OIL RUBBED BRONZE FINISH		
2ND	TUB FAUCET	DELTA WOODHURST SINGLE HANDLE FAUCET SET (WOULD LIKE AN ADAPTER FOR THE SHOWER HEAD SO IT CAN MOUNT ON THE CEILING)	MODEL # DT14432RB/DR10000UNBX - VENETIAN BRONZE FINISH	
2ND	KITCHEN SINK	FIRECLAY FARMHOUSE SINK	30" WIDE	
	FIREPLACE	FIREPLACE XTRODINAIR	SEE G006 - SPECIALTIES FOR MORE INFO.	

#### TOILET MODEL # K3837-0: WHITE FINISH KOHLER 'DEVONSHIRE' 2-PIECE 3RD TUB FAUCET SET RANDOLPH MORRIS FREESTANDING TUB FAUCET SET BRUSHED NICKEL FINISH, LOW SPOUT STYLE WITH METAL CROSS HANDLE 3RD TUB FAUCET SET RANDOLPH MORRIS MONARCH CAST IRON DOUBLE BRUSHED NICKEL FEET (MONARCH STYLE) SLIPPER CLAWFOOT TUB, 72" SINK FAUCET DELTA 'WOODHURST' 8" WIDESPREAD SINK FAUCET MODEL # D3532LFSSMPU: BRILLIANT STAINLESS FINISH 3RD BATH SINK MODEL # A0484000020: WHITE FINISH AMERICAN STANDARD 'ESTATE' UNDERMOUNT SINK 3RD SHOWER FAUCET DELTA 'WOODHURST' SINGLE HANDLE SHOWER FAUCET MODEL # DT14232SS/DR10000UNBX: BRILLIANT STAINLESS FINISH WASHER TBD BY OWNER DRYER TBD BY OWNER

## **GENERAL FIXTURE FINISH INFORMATION**

BASIS OF DESIGN PRODUCT

LEVEL	ITEM	NOTES	
FIRST FLOOR	CLOSET AND DOOR HARDWARE	PROVIDE SATIN NICKEL FINISH	
SECOND FLOOR	BATHROOM AND DOOR HARDWARE	PROVIDE OIL RUBBED BRONZE FINISH	8" DELTA 'WOODHURST WIDESPREAD' FAUCET. FINISH = VENETIAN BRONZE
THIRD FLOOR	BATHROOM HARDWARE	PROVIDE SATIN NICKEL FINISH	
	LAUNDRY FIXTURES AND DOOR HARDWARE	PROVIDE SATIN NICKEL FINISH	

NOTES



1230 PROSPERITY ROAD VIRGINIA BEACH, VA. 23451 757.663.9800 gsimon1230@cox.net



3324 Virginia Beach Blvd. Suite 106 Virginia Beach, VA. 23452 757. 382. 7266

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DATE 04-01-2021

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1606 LASALLE AVE **NORFOLK, VA. 23509** 

#### **FURNITURE PLANS**

# A600