

# 4920 LAUDERDALE AVE

GPIN 15704288690000  
OWNER: STEPHEN HALLIDAY  
4926B Lauderdale Ave  
Virginia Beach, VA 23455  
757-777-2277  
EMAIL SHALLIDAY@AFFINITY4.COM  
SCOPE: BUILD NEW SINGLE FAMILY HOUSE.

DESIGN PROFESSIONAL:  
MORRISETTE ARCHITECTURE  
THOMAS F. MORRISETTE REGISTERED ARCHITECT VIRGINIA 6640 + NCARB 49580  
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757.627.0268 TFM@MORRISETTEARCHITECTURE.COM  
2020 BUSINESS LICENCE – CITY OF NORFOLK

ASSOCIATED DESIGN PROFESSIONALS FOR THIS PROJECT – SEE THEIR DRAWINGS FOR THEIR SCOPE

CIVIL DESIGN PROFESSIONAL:  
GADDY ENGINEERING SERVICES, LLC  
MICHAEL S GADDY, PE, LS  
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EMAIL MIKE.GADDY@GMAIL.COM

STRUCTURAL DESIGN PROFESSIONAL:  
SINCLAIR PRATT CAMERON  
W CARTER SINCAIR, JR, PE  
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757.417.0565  
CARTER.SINCLAIR@SPC-ENG.COM

## GENERAL NOTES

UNLESS OTHERWISE NOTED, ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE CONTRACT DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR CONDITIONS ELSEWHERE.

ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DRAWINGS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH WORK INVOLVED.

THE CONTRACTOR SHALL VERIFY ALL JOB SITE CONDITIONS AND RELATED DIMENSIONS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND THE SAFETY IN AND AROUND THE JOB SITE AND OF ADJACENT PROPERTIES.

CONTRACTOR AND OR OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN BOTH DURING AND AFTER CONSTRUCTION.

COMPLIANCE WITH CODES AND ORDINANCES GOVERNING THE WORK SHALL BE MADE AND ENFORCED BY THE GENERAL CONTRACTOR.

GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.

NOTE THAT ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.

MANUFACTURER’S SPECIFICATIONS FOR INSTALLATION OF MATERIALS SHALL BE FOLLOWED.

WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED AND THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES TO EXPEDITE THE JOB IN A SMOOTH AND CONTINUOUS PROCESS.

## LIGHT AND VENTILATION NOTES

ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS WITH AN AREA NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS, WITH A MINIMUM OF 5.7 SQ. FT. OF NET OPENABLE AREA. UBC SECTION 1203.2.

ALL HABITABLE ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN OPENABLE AREA OF NOT LESS THAN 4% OF THE FLOOR AREA WITH A

ALL BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS AND SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS WITH AN AREA OF NOT LESS THAN 3 SQ FT OR SUCH ROOMS WITH A MECHANICAL VENTILATION SYSTEM CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR.

## FOOTINGS AND FOUNDATIONS

- SEE STRUCTURAL DRAWINGS

## FRAMING NOTES

- SEE STRUCTURAL DRAWINGS

### FRAMING NOTES:

- CONTRACTOR SHALL LAYOUT HIS WORK AND BE RESPONSIBLE FOR ALL DIMENSIONS AND PROVIDE ALL DIMENSIONS AS REQUIRED FOR OTHER TRADES, ELECTRICAL, PLUMBING, ETC.
- WHERE NEW PARTITIONS ADJOIN EXISTING PARTITIONS, WALL OR COLUMNS FURRING THE NEW PARTITIONS WILL BE LOCATED SO THAT THE NEW AND EXISTING FINISHES ARE FLUSH (FEATHER MAX 1/8" PER FOUR FEET) UNLESS OTHERWISE NOTED OR DETAILED. NEW WORK EXTENDING EXISTING CONDITIONS SHALL ALIGN WITH AND MATCH EXISTING WORK EXCEPT WHERE OTHERWISE DIMENSIONED OR DETAILED.
- CONTRACTORS SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING AS REQUIRED FOR ALL STRUCTURAL OR REMOVAL TASKS AND SHALL HAVE SOLE RESPONSIBILITY FOR ALL DAMAGE OR INJURIES CAUSED BY THIS WORK AND SHALL REPAIR ALL DEFECTS AT HIS SOLE EXPENSE.
- DIMENSIONS ARE GIVEN TO FACE OF STUD IN NEW AND FINISH FACE, OF EXISTING CONSTRUCTION UNLESS NOTED OTHERWISE. ALL DIMENSIONS SHOWN ON PLAN ARE PLUS OR MINUS. CONTRACTOR SHALL VERIFY DIMENSIONS AND REPORT DISCREPANCIES IN WRITING TO ARCHITECT. ALL VERTICAL DIMENSIONS, UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE ARE GIVEN FROM "FLOOR LINE" WHICH IS TOP OF FINISHED FLOORING. DIMENSIONS OF CABINETRY ARE FROM FINISH FACE OF PARTITION TO EDGE OF CABINET OR COUNTER TOP.
- PROVIDE ADEQUATE SUPPORT FOR STUDS WHERE DUCTWORK MAKES SPACING FURTHER THAN 2'-0" O.C.
- STRUCTURAL STUDS (LIGHT GAUGE FRAMING) SHALL BE USED WHERE ANY NON-SELF-SUPPORTING, WALL-HUNG FIXTURES, EQUIPMENT, OR CABINETRY OCCUR. PROVIDE WOOD BLOCKING FOR WALL-HUNG EQUIPMENT.
- PROVIDE WOOD BLOCKING SUPPORT FOR ALL WALL MOUNTED EQUIPMENT TO INCLUDE BUT NOT LIMIT TO CASEWORK, GRAB BARS, MIRRORS, SHELING AND HANDRAILS, WOOD BASE AND CROWN.
- PROVIDE 5" FROM THE JAMB OF DOOR OPENINGS TO THE ADJACENT FINISHED WALL SURFACE, UNLESS NOTED OTHERWISE.

### FINISH NOTES:

09000 – FINISHES SHALL BE AS SPECIED ON THE FINISH SCHEDULE AND IN THE FINISH LIST. FOR ITEMS NOT SPECIFIED, SUBMIT MANUFACTURER’S SAMPLES FOR ARCHITECT’S SELECTION. ALL FINISHES SHALL BE INSTALLED PER THE MANUFACTURER’S RECOMMENDATIONS.

09200 – GYPSUM WALL BOARD INSTALLATION SHALL CONFORM TO ASTM C840, THE RECOMMENDATIONS OF THE GYPSUM ASSOCIATION, THE SPECIFIC RECOMMENDATIONS OF THE MANUFACTURER, AND THE REQUIREMENTS OF THE UL FIRE RESISTANCE DIRECTORY (AT FIRE RATED PARTITIONS). APPLY TAPE AND JOINT COMPOUND OVER JOINTS, INTERIOR ANGLES, FASTENER HEADS, METAL TRIMS, AND ACCESSORIES IN COMPLIANCE WITH LEVEL 5 OF GYPSUM BOARD FINISH AS INDICATED IN GYPSUM ASSOCIATION PUBLICATION 214.  
09300 – TILE: PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL ALL STD FLOOR, SHOWER FLOOR, BASE AND WALL TILE AND ALL MARBLE THRESHOLDS. LAY OUT ALL TILE WORK SO AS TO MINIMIZE CUTS LESS THAN ONE-HALF TILE IN SIZE. TILE TO BE ON SCHLUTER SYSTEM FLOOR BACKING, SLOPED PRODUCT AT SHOWER FLOORS AND WALL SYSTEM BACKING AT SHOWER WALLS, MR GWB IS ACCEPTABLE AT WAINSCOT AREAS NOT IN SHOWER AREA.  
09900 – PAINTING: PAINT ALL EXPOSED SURFACES EXCEPT WHERE A SURFACE IS SPECIFICALLY INDICATED NOT TO BE PAINTED OR TO REMAIN NATURAL. PAINTING IS NOT REQUIRED ON PREFINISHED ITEMS, FINISHED METAL SURFACES, CONCEALED SURFACES, OPERATING PARTS AND LABELS.  
GWB: EGGSHELL FINISH, 2 COATS OVER PRIMER  
FERROUS METAL: SEMIGLOSS FINISH, 2 COATS OVER PRIMER  
TRIM AND/OR DOORS: SEMIGLOSS FINISH, 2 COATS OVER PRIMER  
WOOD CEILING –INTERIOR SATIN FINISH NON-YELLOWING ACRYLIC CLEAR COAT, MARINE GRADE  
EXTERIOR APPLICATION – BOTH 2 COATS

2. MECHANICAL, ELECTRICAL, AND PLUMBING PENETRATIONS IN BEDROOM PARTITIONS SHALL BE SEALED AT THEIR PERIMETER WITH APPROVED ACOUSTICAL SEALER.  
3. GYPSUM WALL BOARD WORK SHALL BE INSTALLED BY A QUALIFIED SUBCONTRACTOR WITH EXPERIENCE IN APPLICATIONS SIMILAR IN SCOPE TO THE WORK.  
4. GYPSUM WALL BOARD SHALL BE FINISHED TO WITHIN 1/4" OF FLOOR SLAB AT PARTITIONS AND TO RECEIVE CONTINUOUS CAULK SEALANT  
5. PARTITIONS ARE DIMENSIONED TO FACE OF STUD, UNLESS OTHERWISE NOTED. DIMENSIONS INDICATED AS "CLEAR" OR "CLR" SHALL BE MAINTAINED. DISCREPANCIES OR VARIATIONS IN THESE DIMENSIONS SHALL BE REVIEWED WITH THE ARCHITECT BEFORE BEGINNING CONSTRUCTION. HORIZONTAL DIMENSIONS INDICATED ARE TO/FROM FACE OF STUD UNLESS NOTED OTHERWISE. VERTICAL DIMENSIONS ARE FROM TOP OF FLOOR SLAB EXCEPT WHERE NOTED TO BE ABOVE SUB FLOOR. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF ARCHITECT.  
6. PARTITIONS, EDGE TRIM, CORNER BEADS, PRE-FORMED REVEALS AND JOINTS TO EXISTING GYPSUM WALL BOARD SURFACES SHALL BE TAPED, BEDDED IN JOINING COMPOUND AND SANDED SMOOTH WITH NO VISIBLE JOINTS. "J" TRIM SHALL NOT BE USED. PROVIDE BACKING FOR REVEALS AS RECOMMENDED BY MANUFACTURER.  
7. OUTSIDE CORNERS OF GYPSUM WALL BOARD SHALL HAVE METAL CORNER BEADS (SCREWED TYPE), UNLESS NOTED OTHERWISE.  
8. METAL EDGE TRIM SHALL COMPLY WITH GYPSUM ASSOCIATION "L" SERIES IN SIZES CORRESPONDING TO GYPSUM WALL BOARD THICKNESS.  
9. CONTROL JOINTS SHALL BE INSTALLED IN UNBROKEN PARTITIONS EXCEEDING 30 FEET. CONTROL JOINTS SHALL BE INSTALLED IN UNBROKEN CEILING PLANES EXCEEDING 50 FEET. CONTROL JOINTS IN FIRE-RATED PARTITIONS SHALL CONFORM TO THOSE TESTED IN COMPLIANCE WITH ASTM E119.  
10. ALIGNMENT OF DOOR HEADS AND OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT A CONSTANT LEVEL RELATIVE TO THE CEILING PLANE, AND SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE.  
11. PARTITION TYPES ABOVE DOORS AND WINDOWS SHALL BE SAME AS THE ADJACENT PARTITIONS, UNLESS NOTED OTHERWISE.  
12. PRE-FORMED METAL WALL REVEALS IF NOT SPECIFICALLY INDICATED ON DRAWINGS SHALL BE EITHER PITCCON INDUSTRIES MODEL #STR-050-050 1/2" CHANNEL OR PITCCON INDUSTRIES MODEL #SWR-050-050 1/2" (OR APPROVED EQUAL) CHANNEL AS NEEDED BY APPLICATION.

### DRAWING INDEX

A-1 COVER SHEET, CODE COMPLIANCE, ARCHITECTURAL SITE, NOTES  
A-2 1ST &2ND FLOOR PLANS, DOOR & HW SCHEDULE + ELEVATIONS  
A-3 EXTERIOR EAST & WEST ELEVATIONS + MATERIALS  
A-4 EXTERIOR NORTH & SOUTH ELEVATIONS + MATERIALS, DETAILS  
A-5 BUILDING SECTIONS + STAIR SECTIONS  
A-6 BUILDING SECTIONS  
A-7 BUILDING SECTIONS  
A-8 INTERIOR ELEVATIONS  
A-9 INTERIOR ELEVATIONS

ELEVATION – THIS LOT LIES IN THE "VE" AND "X" FLOOD ZONE.  
FEMA PANEL NO. 515531-0109G REV 1.16.2015  
GARAGE ELEVATION TO BE 4" HIGHER THAN EXISTING GRADE AND MAIN 1ST FLOOR LIVING ELEVATION AN ADDITIONAL 24" – RAISED SLAB CONSTRUCTION – NO CRAWL SPACE – CONTINUOUS INSULATION AT ROOF – NO VENTILATED ATTIC

CODE INFO:  
USE GROUP R – SINGLE FAMILY RESIDENTIAL  
ZONED R-5S – SINGLE FAMILY  
APZ1 >75dB = ZONE 75 – PERIMETER 50 STC REQUIRED

ALL WORK SHALL COMPLY WITH IRC 2015  
SINGLE FAMILY RESIDENCE

### ENERGY REQUIREMENTS

R-VALUES:  
WALLS = R15 OR R13 +1 CI  
CEILING = R38 – PROVIDED 42

FENESTRATION GLAZING U FACTORS & SHGC  
U=0.48  
SHGC=1.50

STRUCTURAL DESIGN NOTES:  
THESE DRAWINGS ARE INTENDED TO BE USED IN CONJUNCTION WITH STRUCTURAL ENGINEERED DRAWINGS BY SINCLAIR PRATT CAMERON  
SEE STRUCTURAL NOTE 6 DESIGN LOADS ON S-001 STRUCTURAL DRAWINGS

CIVIL DESIGN NOTES:  
THESE DRAWINGS ARE INTENDED TO BE USED IN CONJUNCTION WITH CIVIL ENGINEERED DRAWINGS BY GADDY ENGINEERING SERVICES

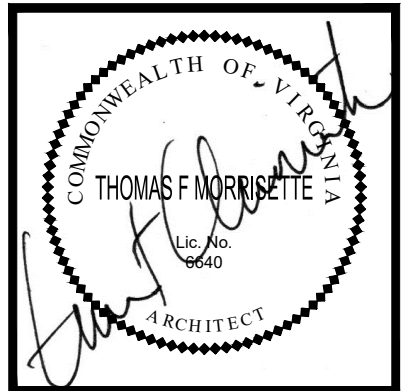
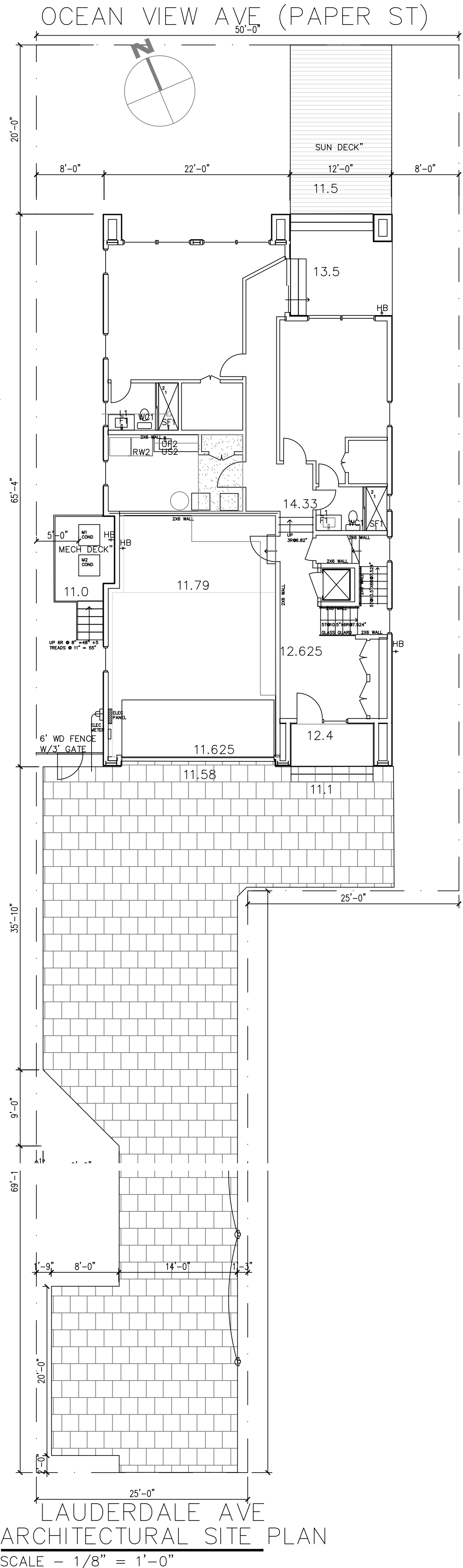
AREA CALCULATIONS  
UN-CONDITIONED  
FIRST FLOOR GARAGE 591 SF  
REAR COVERED PORCH 148 SF  
FRONT COVERED PORCH 150 SF  
REAR DECK 240 SF  
2ND FLR COVERED DECK 196 SF

CONDITIONED AREA  
FIRST FLOOR ENTRY/UTILITY/BEDROOMS 1,357 SF  
2ND FLR LIVING/BED RMS 2,005 SF  
TOTAL CONDITIONED AREA 3,362 SF

### LOCATION MAP



ARCHITECTURAL SITE PLAN FOR NEW SINGLE FAMILY HOUSE  
INFORMATION TAKEN FROM PHYSICAL SURVEY BY MICHAEL GADDY, PE, LS,  
CERTIFIED LAND SURVEYOR LOTS 11, 12 &31, BLOCK 18 SUBDIVISION OF CHESAPEAKE PARK M.B. 4, PG. 47 FOR STEVEN HALLIDAY



**MORRISETTE ARCHITECTURE**  
Architecture, Planning and Interior Design  
TFM@MorrisetteArchitecture.com 757-627-0268

**HALLIDAY RESIDENCE**  
4920 LAUDERDALE AVE, VIRGINIA BEACH  
COVER SHEET, CODE COMPLIANCE  
ARCH SITE, GENERAL NOTES

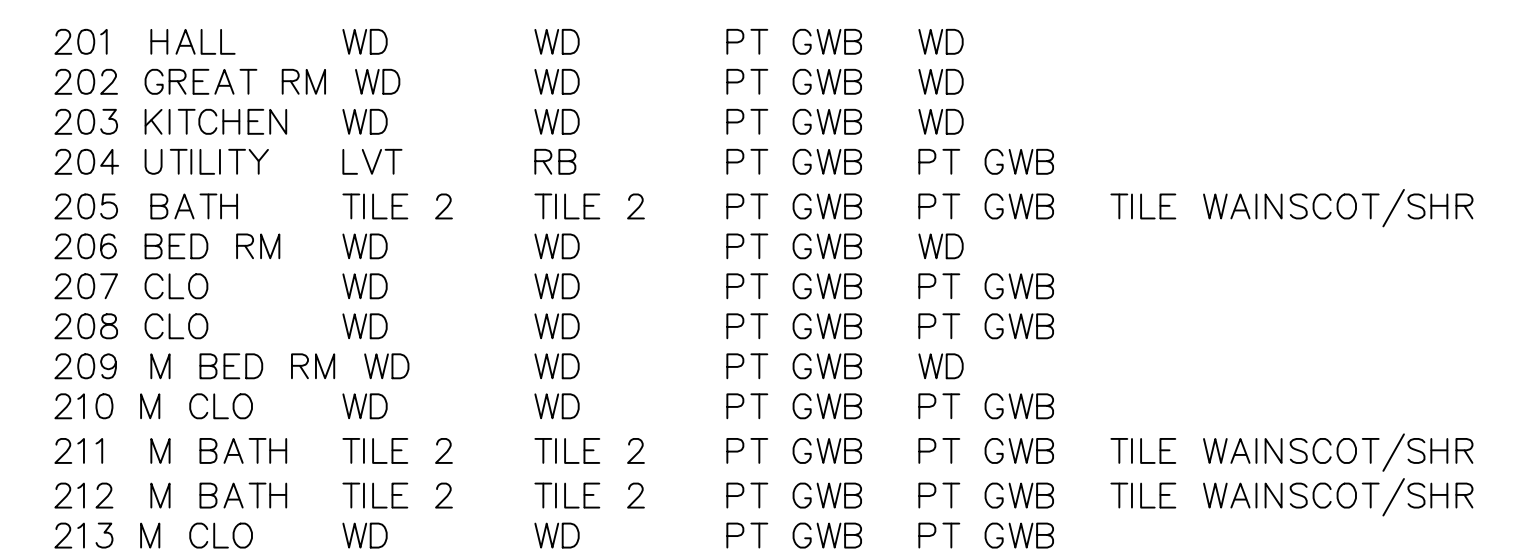
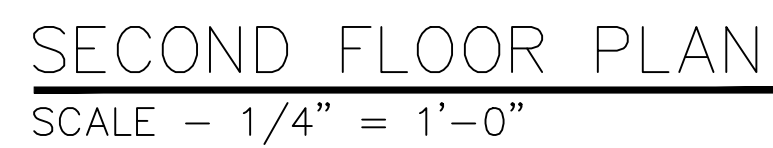
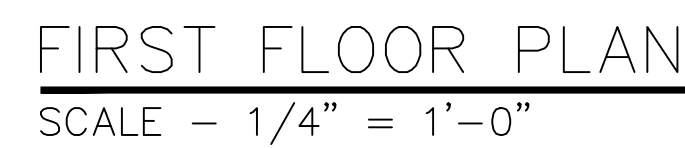
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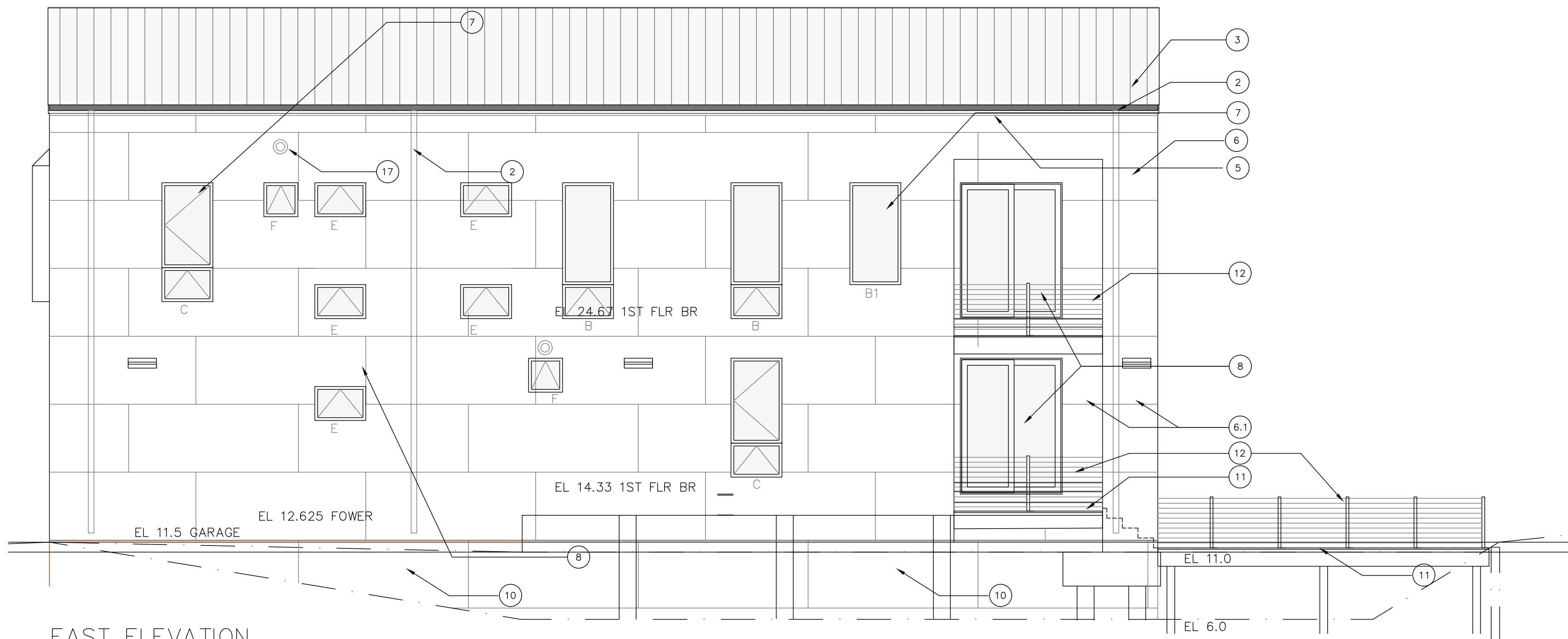


1ST & 2ND FLOOR PLANS  
DOOR SCHEDULE & ELEV

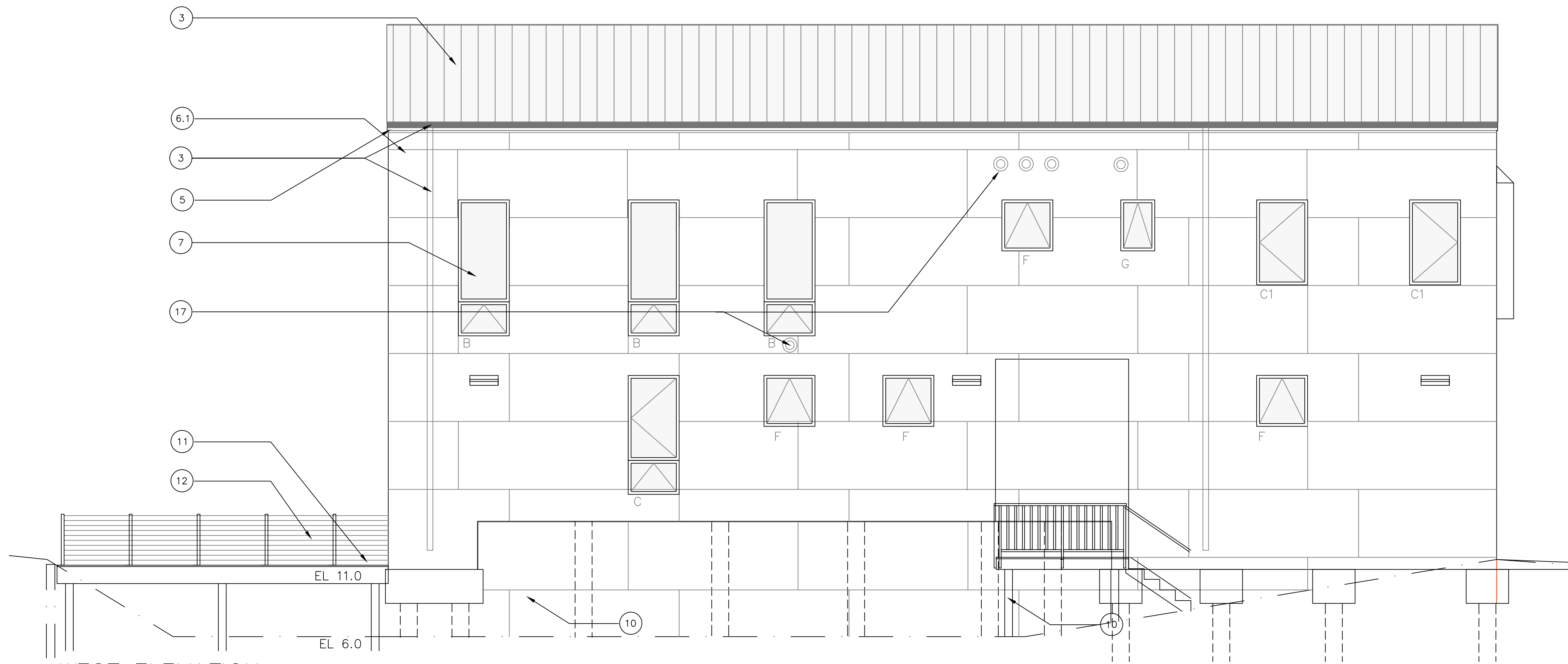
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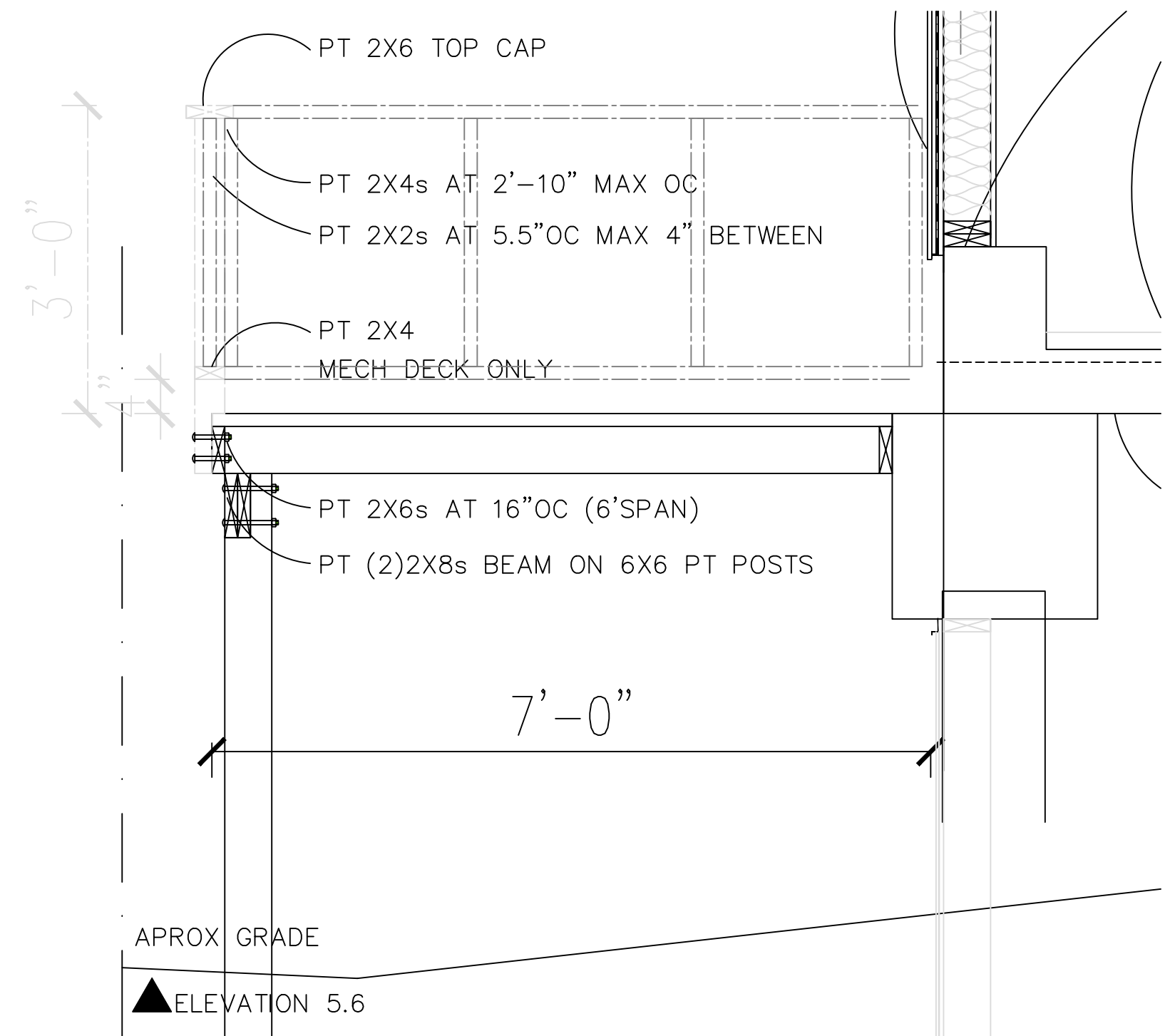
EAST ELEVATION  
SCALE 1/4" = 1'-0"



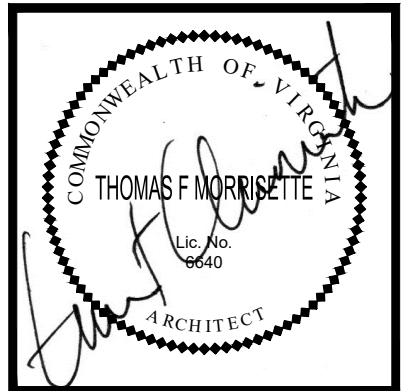
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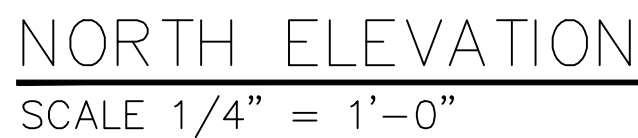
EXTERIOR MATERIALS:

1. HORIZONTAL COMPOSITE (WOOD) SIDING –FIBERON OR APPROVED EQUAL
2. ALUMINUM GUTTER AND DOWNSPOUT OVER 1X6 #4 W/ PRECAST SPLASH BLOCK OR CONNECT TO STORM WATER PIPING –SEE CIVIL DWG
3. ALUMINUM METAL STANDING SEAM ROOF AND AND MATCHING FACIA/TRIM
4. 5/8" X2" (OR AS NOTED) AZEK (PVC OR APPROVED NON-ROT) TRIM BOARDS @ WINDOWS, DOORS AND CORNERS.
5. 5/8" X AS DETAILED AZEK (PVC OR APPROVED NON-ROT) TRIM BOARDS @ FACIA
6. FACTORY PAINTED CEMENT SIDING (HARDIE VERTICAL SIDING) COLOR 1–ARTIC WHITE W/ HORIZONTAL AND VERTICAL REVEAL CHANNEL TRIM ALUMINUM/WHITE, WITH GRAY ACCENT PANEL (6.2) AS NOTED.
7. WINDOWS FIXED, AWNING AND/OR CASEMENT– PELLA HURRICANE SHEILD SERIES WHITE, INSULATED EXT PANE LAMINATED.
8. SLIDING GLASS DOORS – PELLA HURRICANE SHEILD SERIES WHITE, INSULATED EXT PANE LAMINATED.
9. 6'H COMPOSITE FENCE & GATE
10. BREAK AWAY EXTERIOR WALL – PT 2X6 WALL UNDER PERMANENT STRUCTURE WITH MATCHING SIDING (SEE NOTE 6) SEE STRUCTURAL FOR CONNECTIONS
11. COMPOSITE WOOD DECK 5/8" X6 X 6' WITH CONCEALED FASTENERS
12. SS RAIL, ALUMINUM POSTS, COMPOSITE TOP RAIL–BY FEENY OR EQUAL
13. GARAGE DOOR – ALUMINUM (WHITE) & FROSTED GLASS – COPLAY AVANTE
14. FRONT DOOR –FIBERGLASS 3'X8' SET IN ALUMINUM FRAME WITH 3' SIDELITE –MARVIN MODERN ENTRY SYSTEM 5001 AND/OR YKK FRAME WHITE, THURMA BREAK 4.5 SERIES
- 17.. EXHAUST GRILL – STAINLESS STEEL SHIHO RCC 4S AT BATHROOMS, RCA 6A AT DRYERS, RCA6 SN AT RANGE HOOD
18. WOOD CEILING (EXT) CONCEALED FASTENERS AT FRONT ENTRY AND 2ND FLR DECK



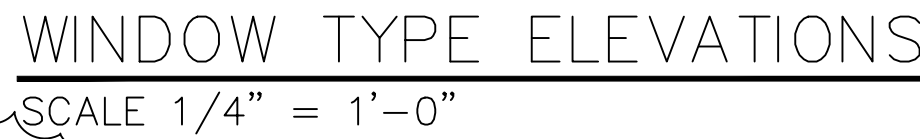
7 MECH DECK SECTION  
A-3 SCALE 3/4" = 1'-0"



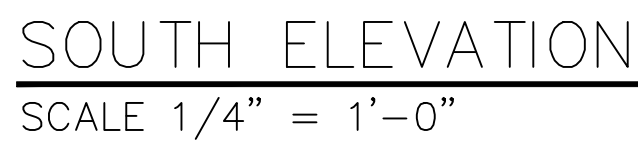


1. HORIZONTAL COMPOSITE SIDING –FIBERON OR APPROVED EQUAL
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3. ALUMINUM METAL STANDING SEAM ROOF AND AND MATCHING FACIA/TRIM
4.  $\frac{5}{8}$ "X4" (OR AS NOTED) AZEK (PVC OR APPROVED NON-ROT) TRIM BOARDS @ WINDOWS, DOORS AND CORNERS.
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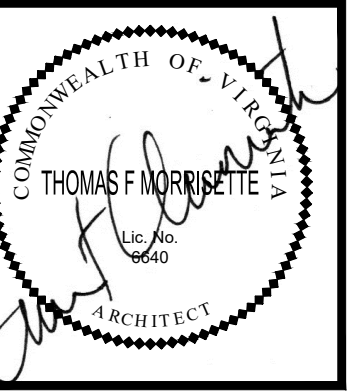
10. BREAK AWAY EXTERIOR WALL – PT 2X6 WALL UNDER PERMANENT STRUCTURE WITH MATCHING SIDING (SEE NOTE 6) SEE STRUCTURAL FOR CONNECTIONS
- 11 COMPOSITE WOOD DECK  $\frac{5}{8}$  X 6 X 6' WITH CONCEALED FASTENERS
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A	4'-0" X 6'-0"	FIXED OVER
	4'-0" X 2'-0"	AWNING
B	3'-0" X 6'-0"	FIXED OVER
	3'-0" X 2'-0"	AWNING
B1	3'-0" X 6'-0"	FIXED
C	3'-0" X 5'-0"	CASEMENT OVER
	3'-0" X 2'-0"	AWNING
C1	3'-0" X 5'-0"	CASEMENT
CC	3'-0" X 5'-0"	FIXED OVER
	3'-0" X 2'-0"	AWNING
D	2'-0" X 2'-0"	AWNING
E	3'-0" X 2'-0"	AWNING
F	3'-0" X 3'-0"	AWNING
G	2'-0" X 3'-0"	AWNING





**MORRISETTE** ARCHITECTURE

# Architecture, Planning and Interior Design

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# THALLIDAY RESIDENCE

44920 LAUDERDALE AVE, VIRGINIA BEACH

## BUILDING SECTION + STAIR SECTIONS

## EXTERIOR DETAILS

date	title
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date

revisions

8.27.2021

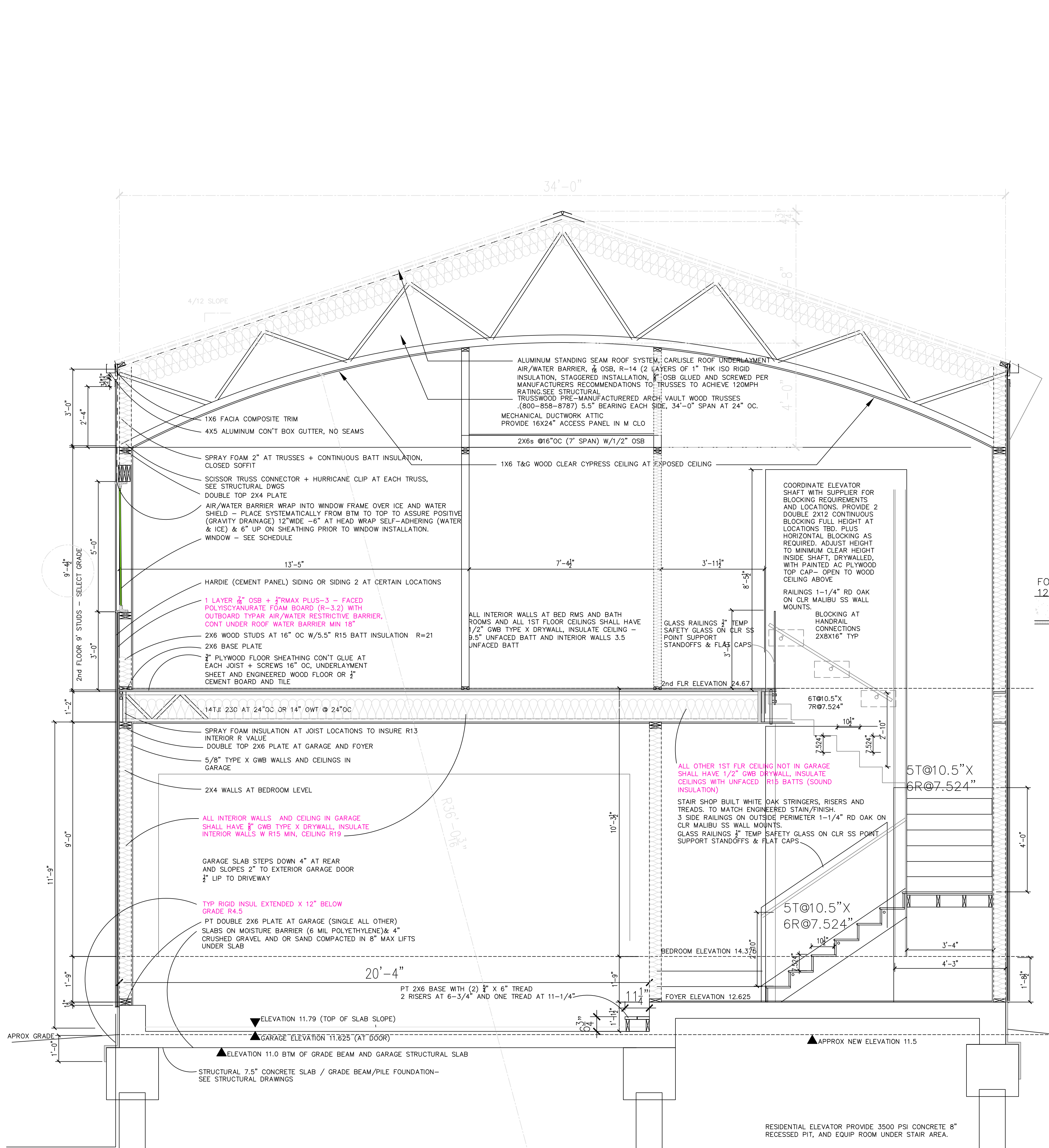
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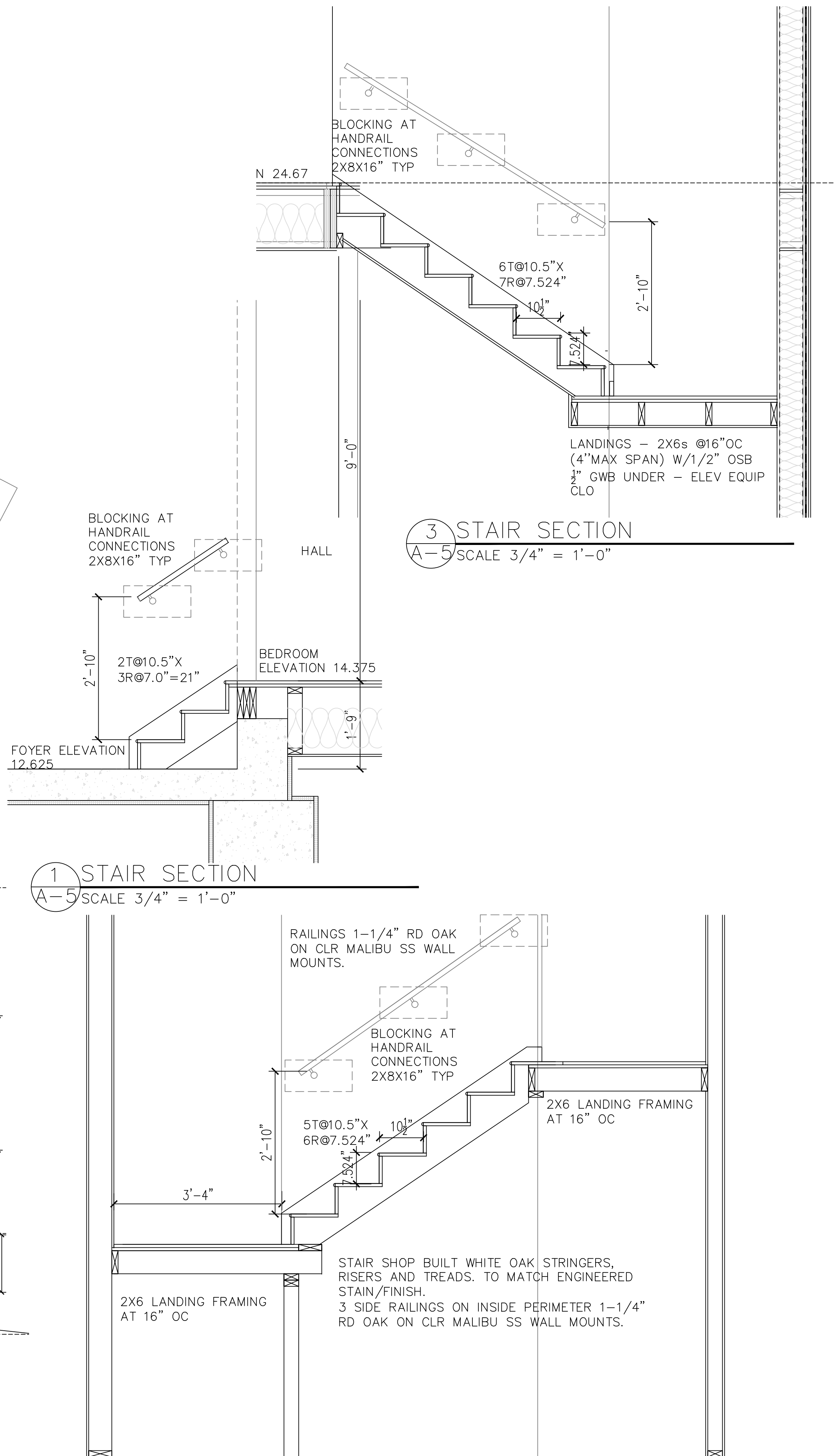
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of 9



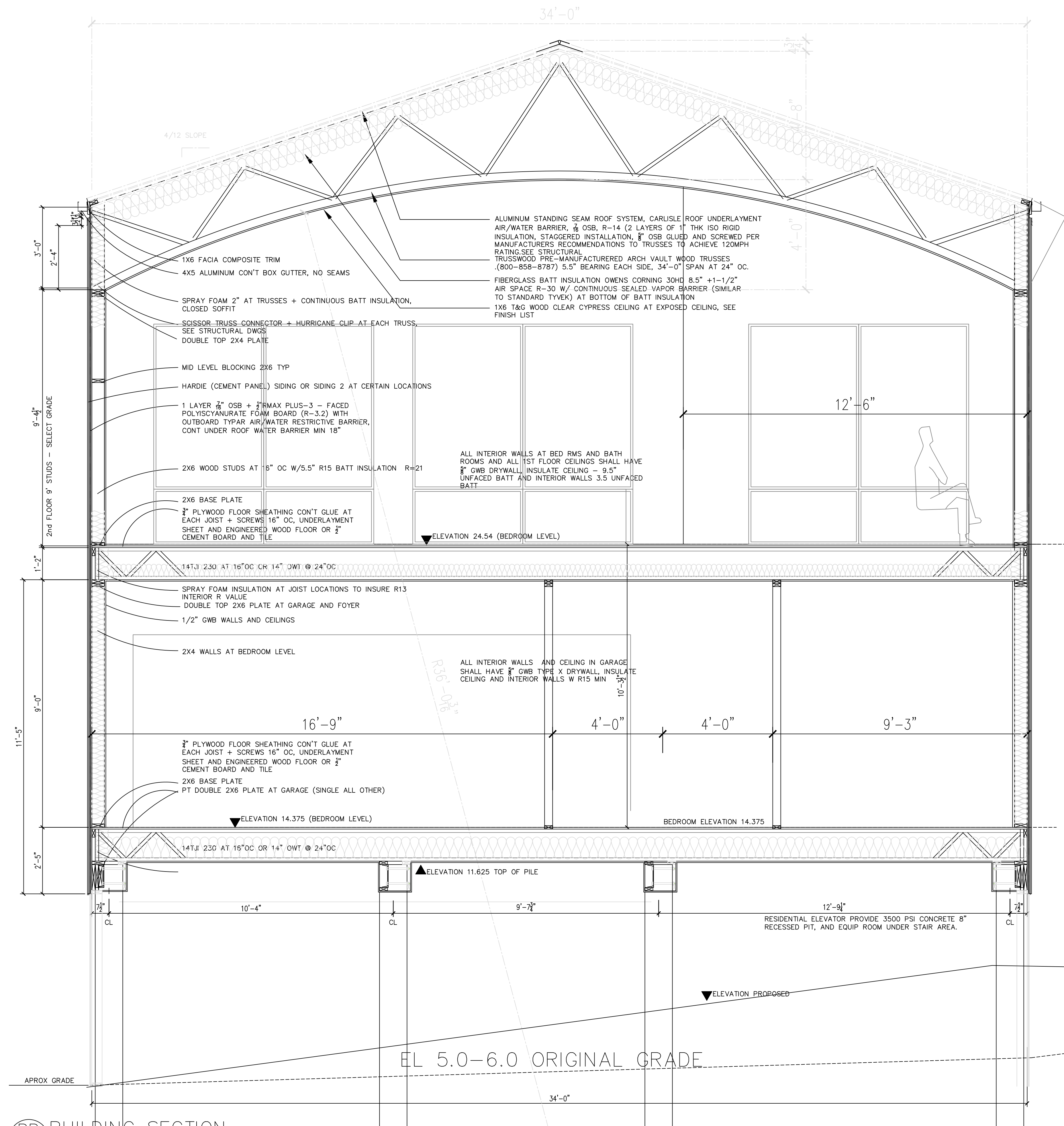
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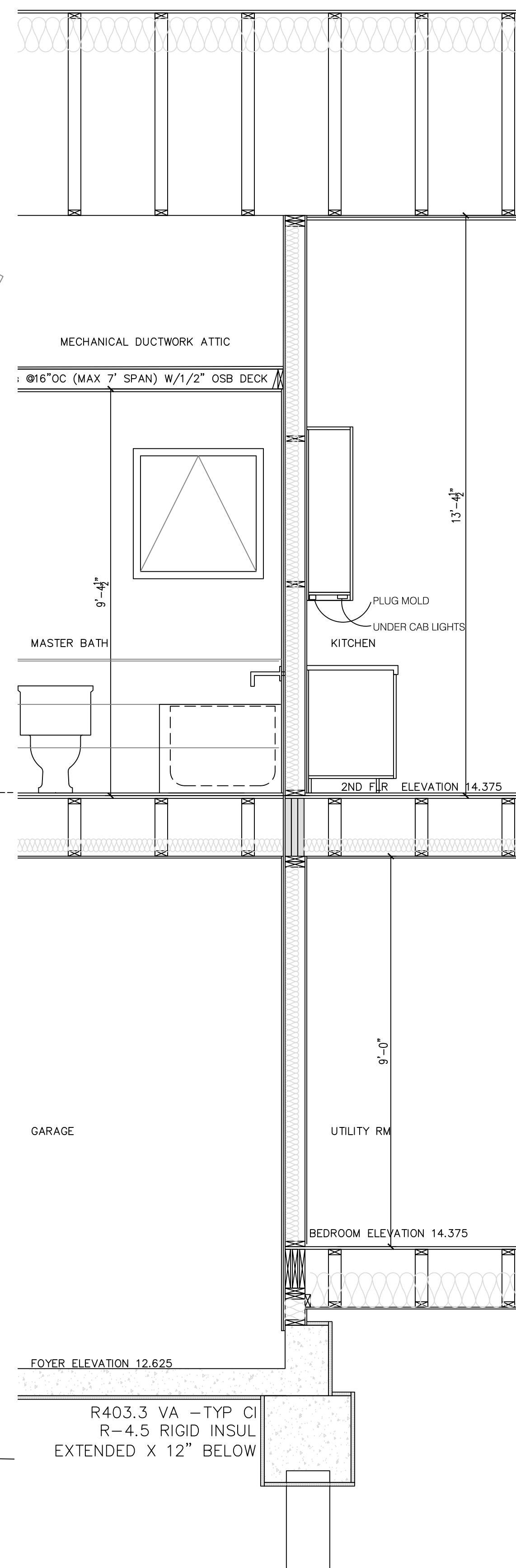
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3 STAIR SECTION  
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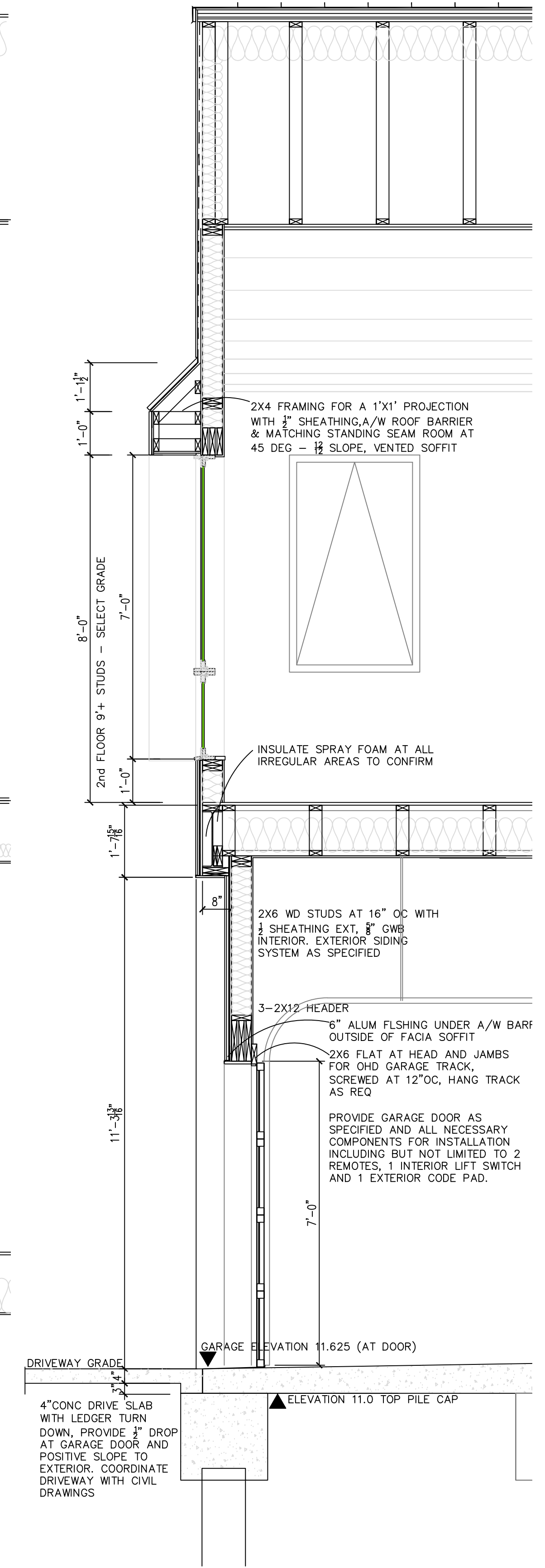




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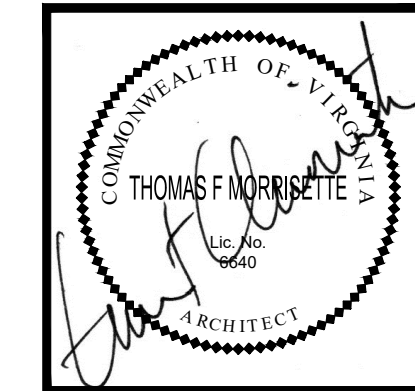
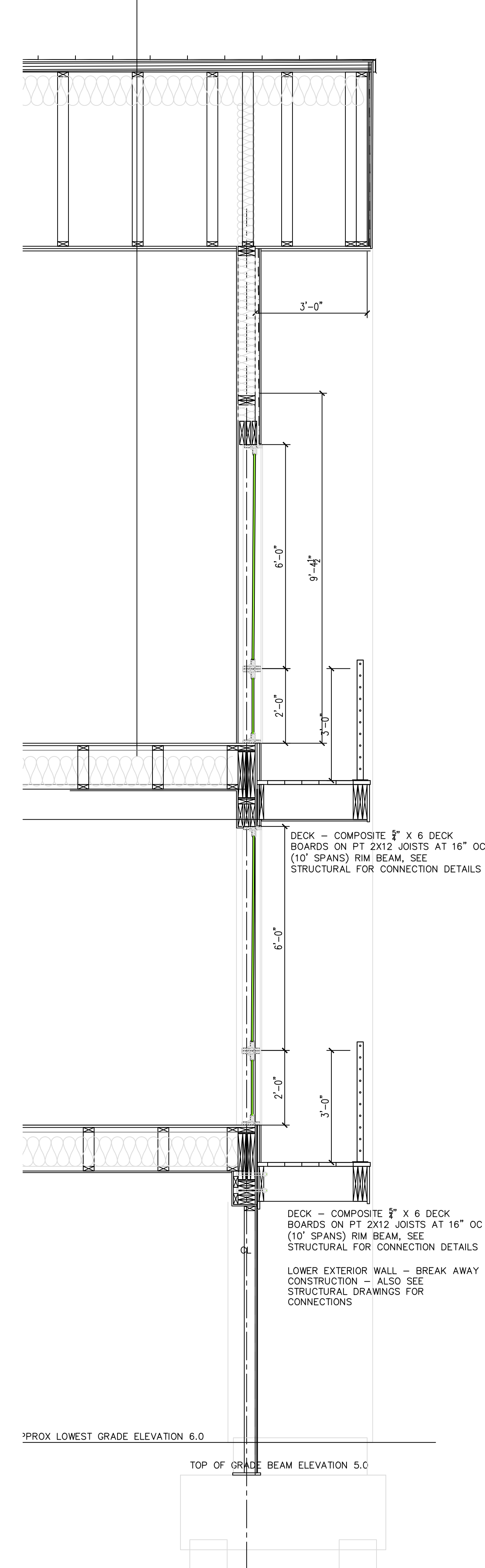
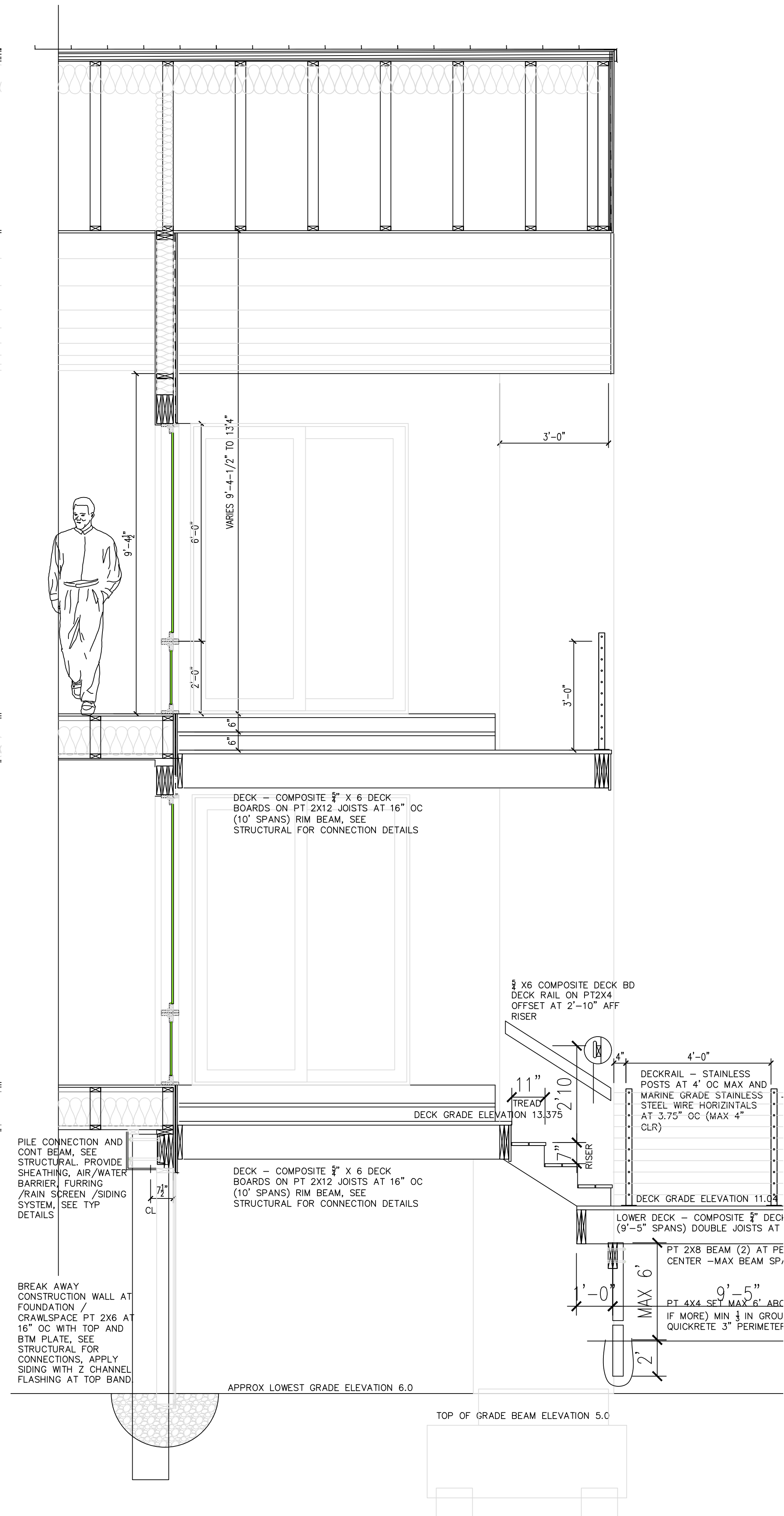
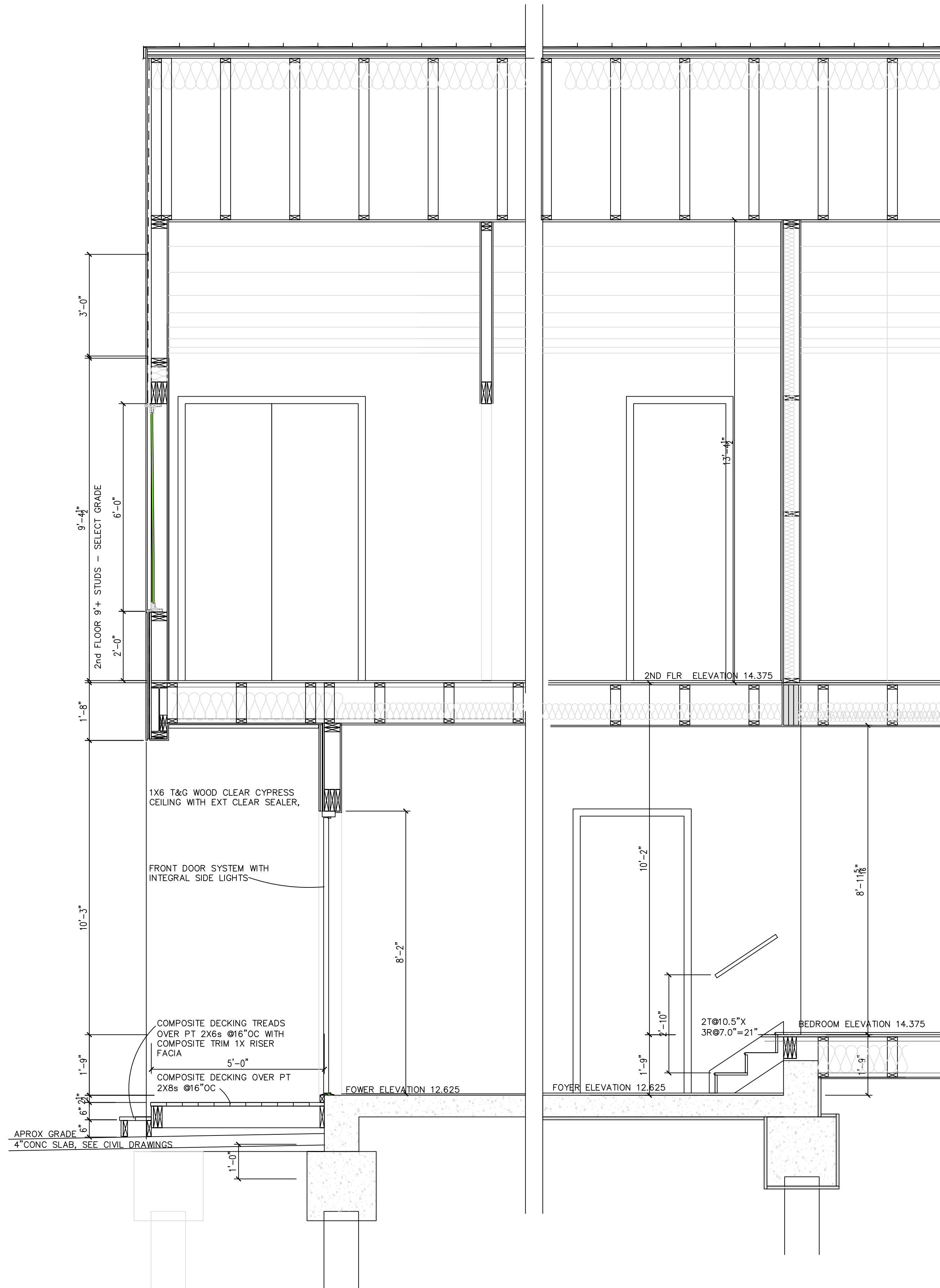


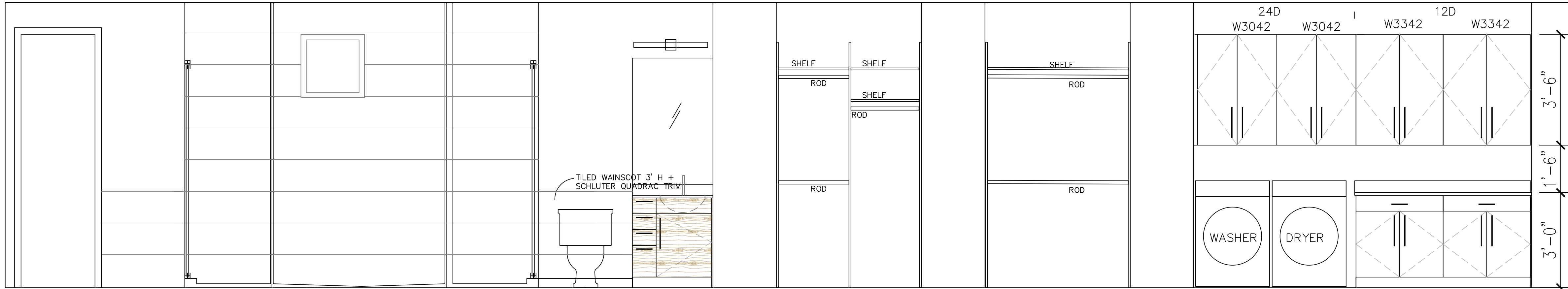
4 BLDG SECTION  
A-6 SCALE 3/4" = 1'-0"



5 BLDG SECTION  
A-6 SCALE 3/4" = 1'-0"







A  
BATH 105 + 109

B  
C

D  
CLO 106 + 110

E  
UTILITY 111

CASEWORK NOTES

PLASTIC LAMINATE FACES IN UTILITY RM/ALL OTHER – WALNUT QUARTER SAWN VENEER HORIZONTAL GRAIN ON 3/4"PLYWOOD/BOX/BOX CONSTRUCTION CABINETS, 3/4" MDFB DOOR/FRONTS WITH LAMINATE OR WOOD VENEER AS SPECIFIED. SOFT CLOSE DRAWERS AND DOORS, REV A SHELF DUEL TRASH PULL OUT.

UTILITY RMS PLASTIC LAMINATE COUNTER TOPS W/ 4" BACK SPLASH (RETURN @ CORNERS)  
3CM QUARTZ COUNTERS IN LAV +KITCHEN WITH UNDERMOUNT SINKS

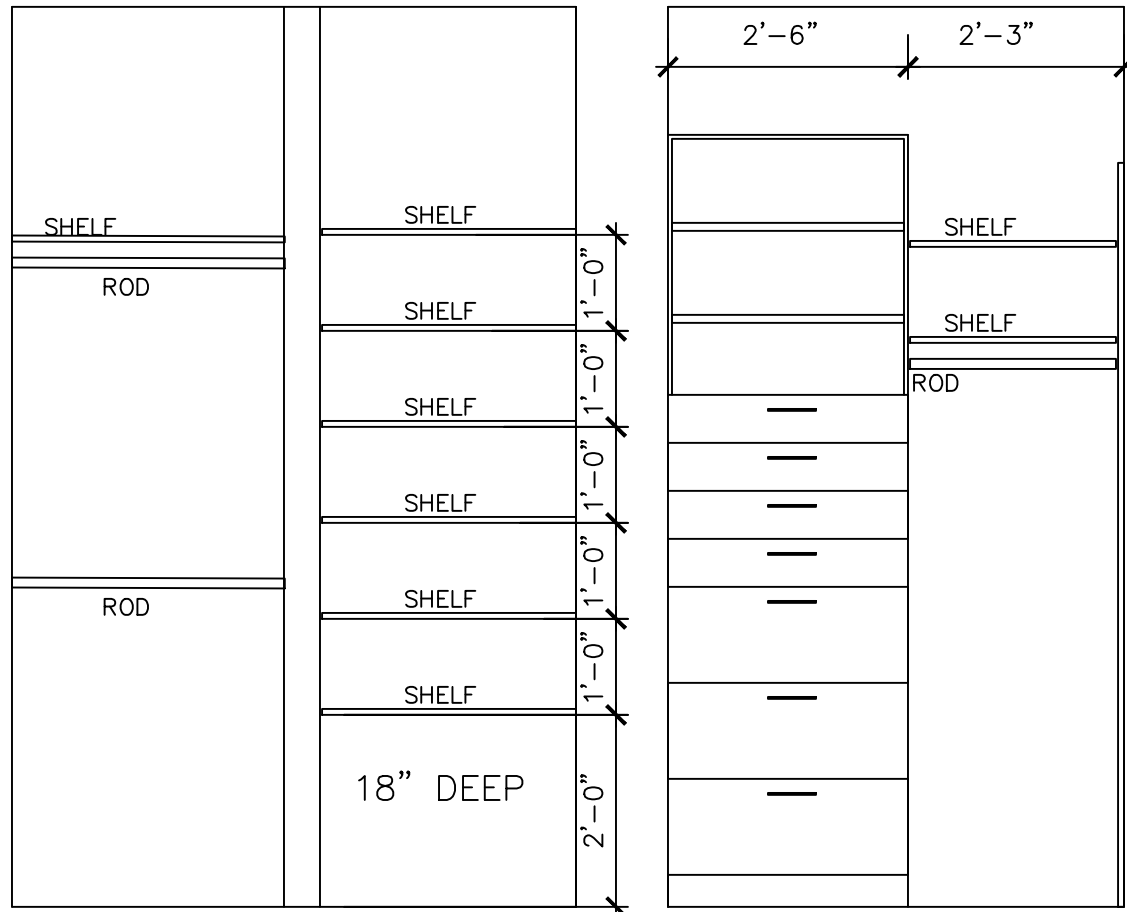
PROVIDE MATCHING FILLER PANELS/SCRIBES AS REQUIRED

PULLS, LIBERTY 11" SN FINISH (UNLESS SPECIFIED OTHERWISE).

EUROPEAN BLUM HINGES W/ 1/8" MAX. GAP BETWEEN DOORS

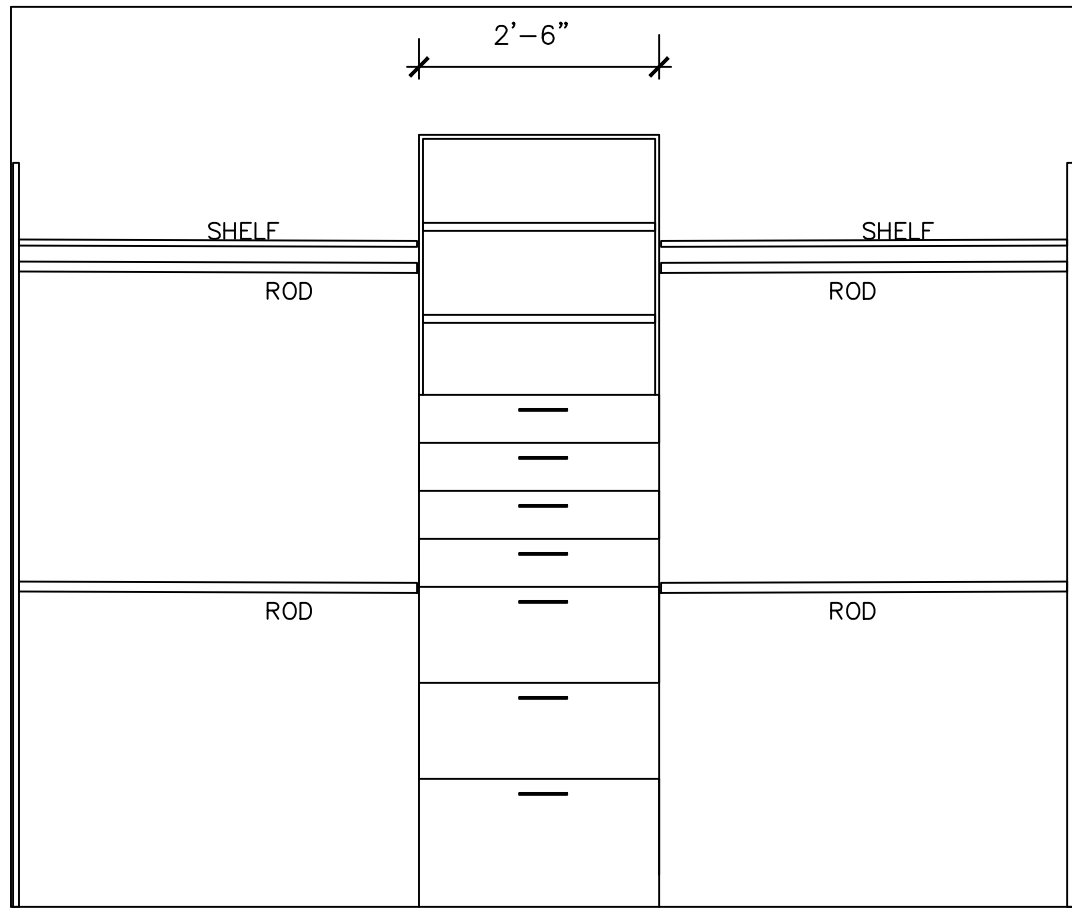
VERIFY ALL DIMENSIONS PRIOR TO FABRICATION. CONFIRM ANY DISCREPANCIES WITH ARCHITECT PRIOR TO FABRICATIONS

MASTER CLOSET BUILT-INS – CUSTOM OR CLOSET MAID OR APPROVED EQUAL

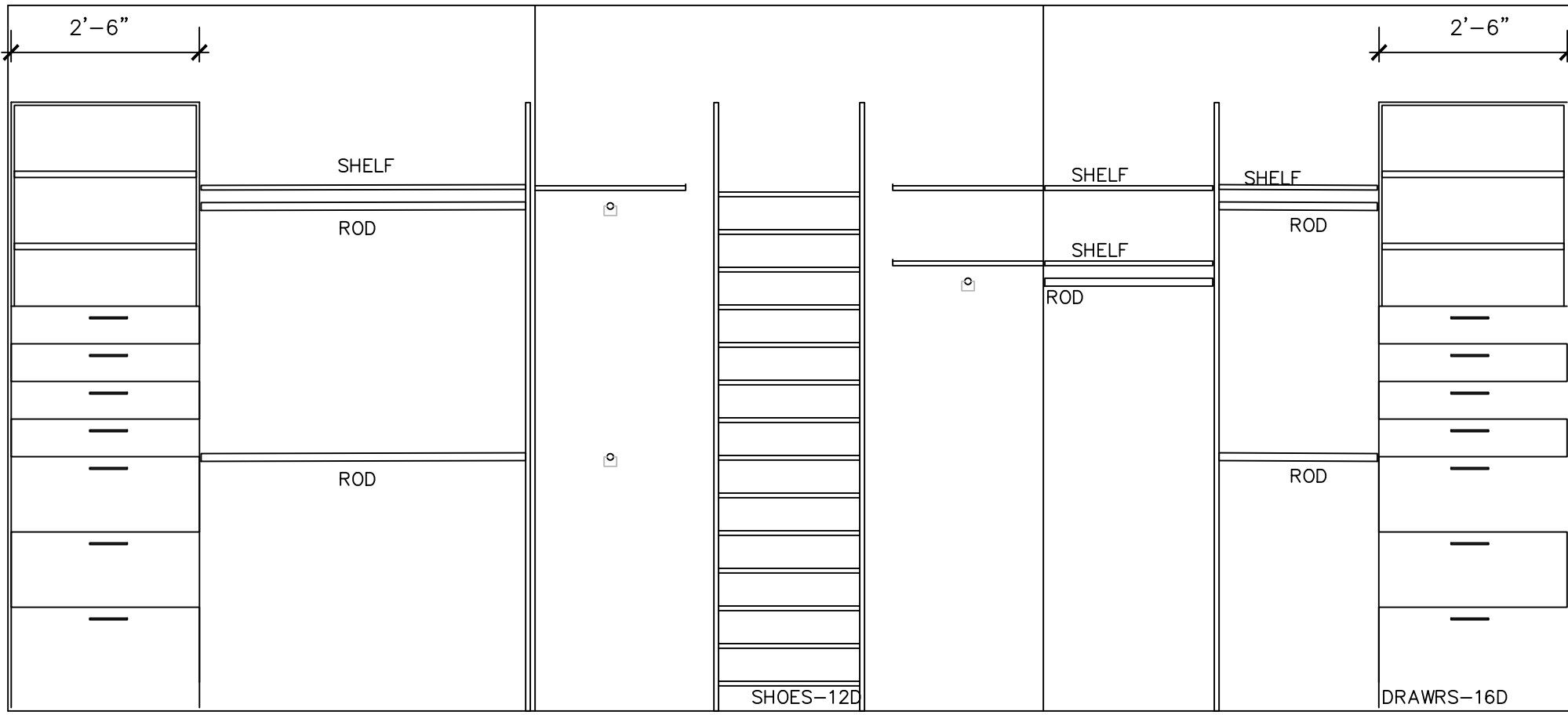


G  
CLO 207+208

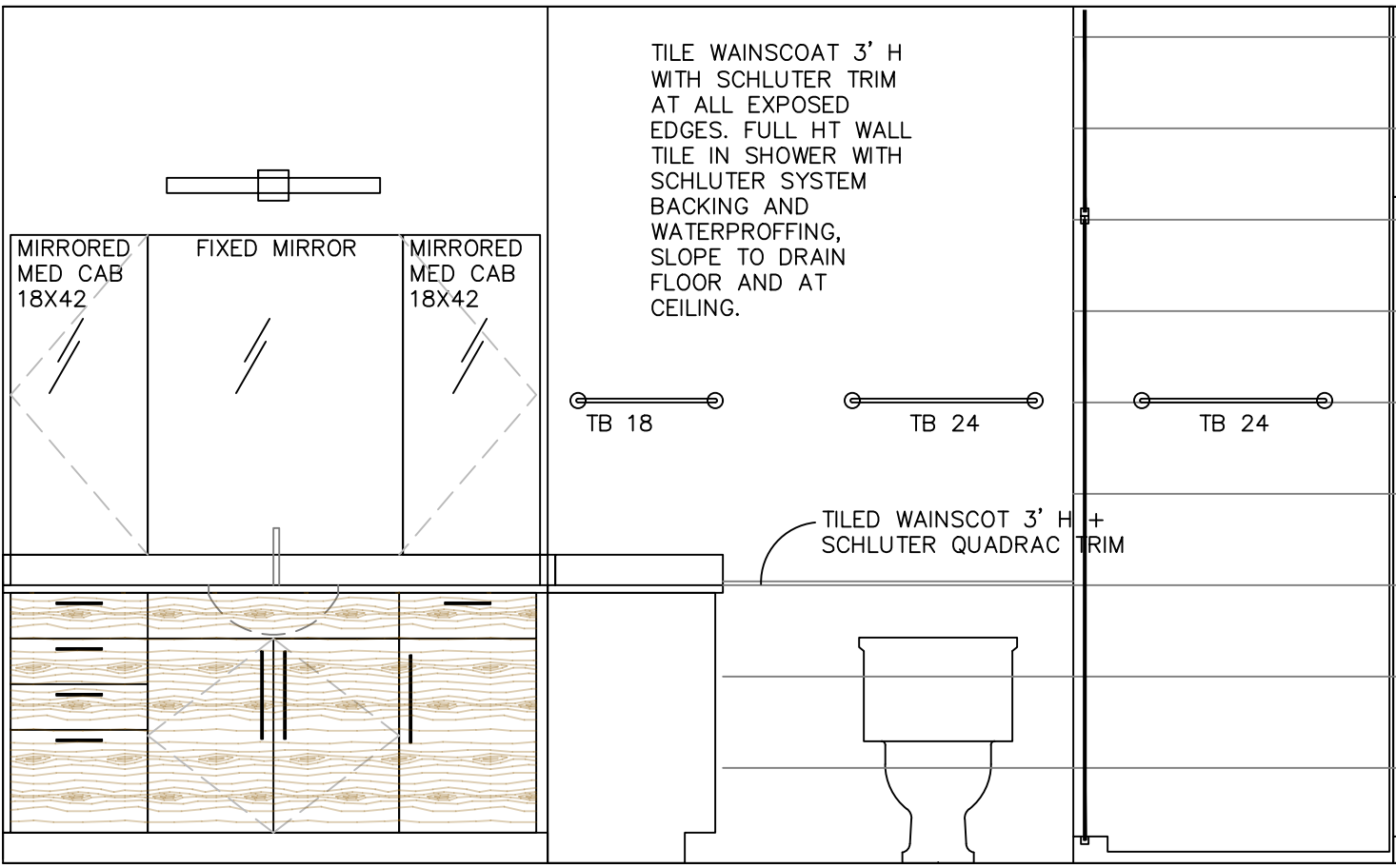
H  
MASTER CLO 210



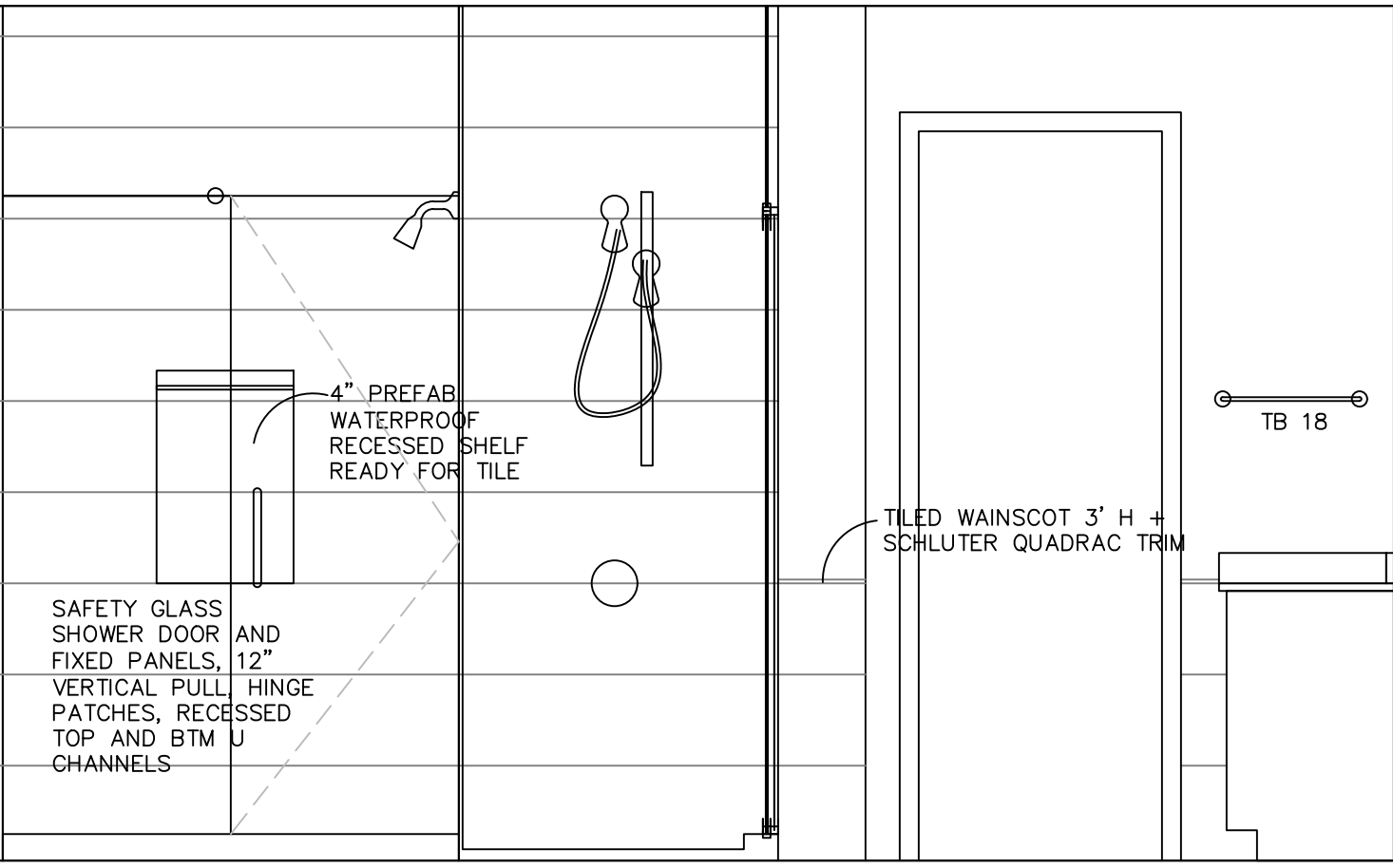
I  
MASTER CLO 213



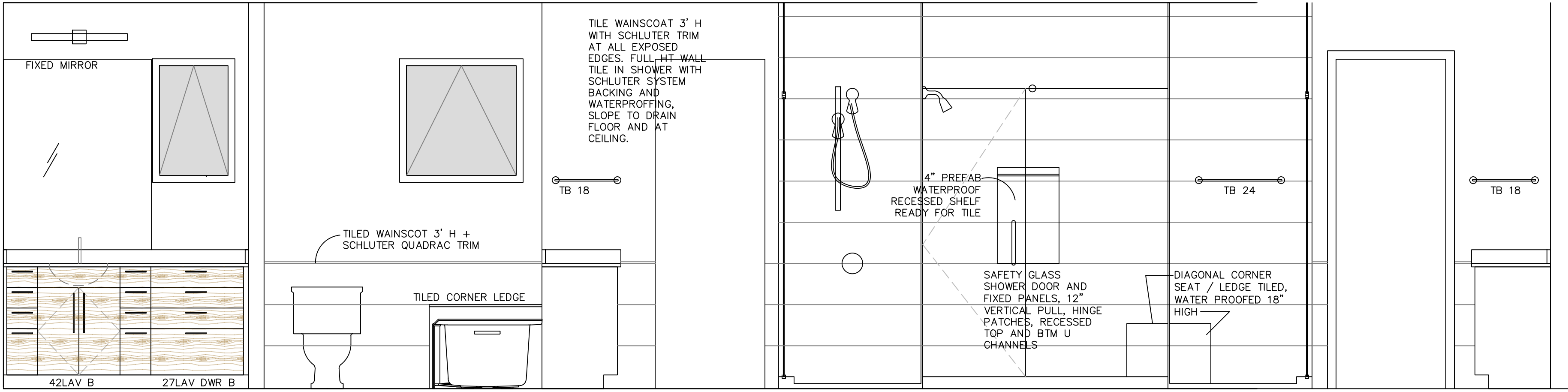
J  
K  
J2



L  
MASTER BATH 210

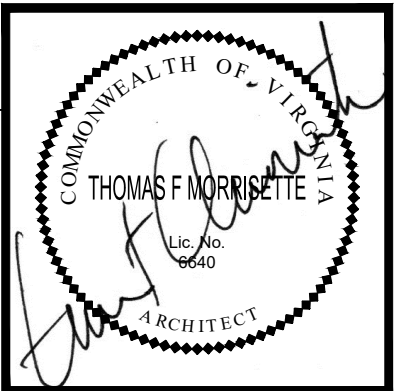


N  
O

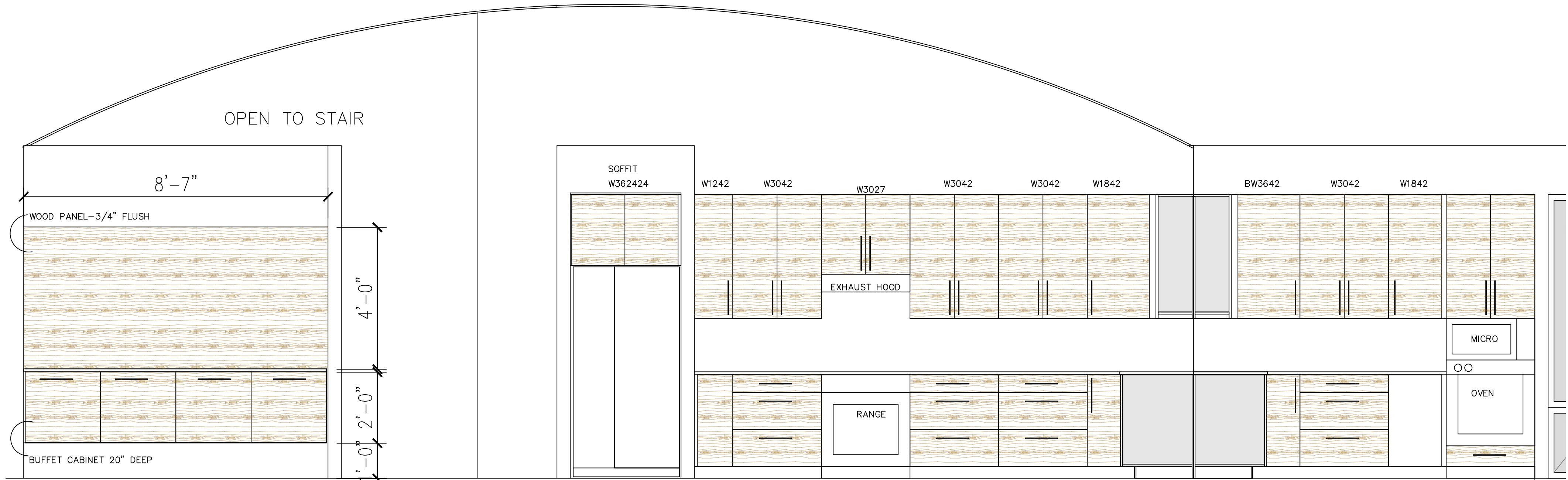


P  
MASTER BATH 212

TILE WAINSCOT 3' H WITH SCHLUTER TRIM AT ALL EXPOSED EDGES. FULL HT WALL TILE IN SHOWER WITH SCHLUTER SYSTEM BACKING AND WATERPROOFING. SLOPE TO DRAIN FLOOR AND AT CEILING.

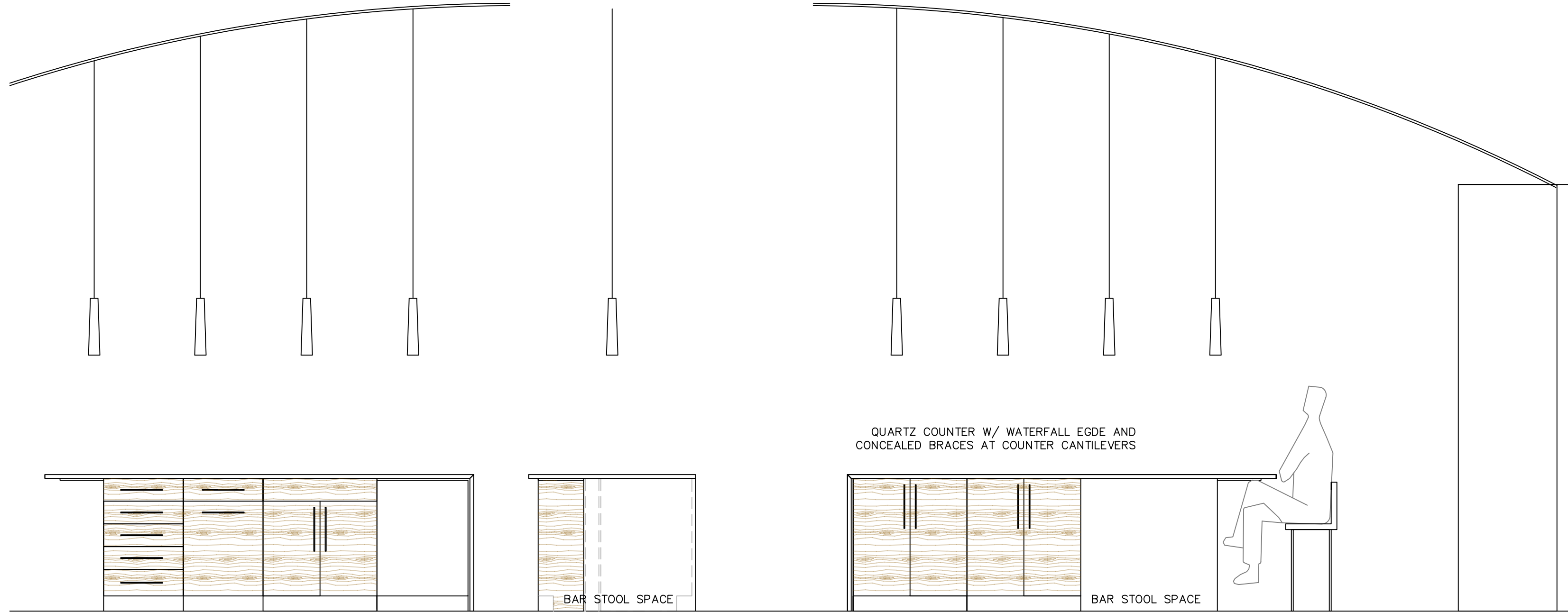




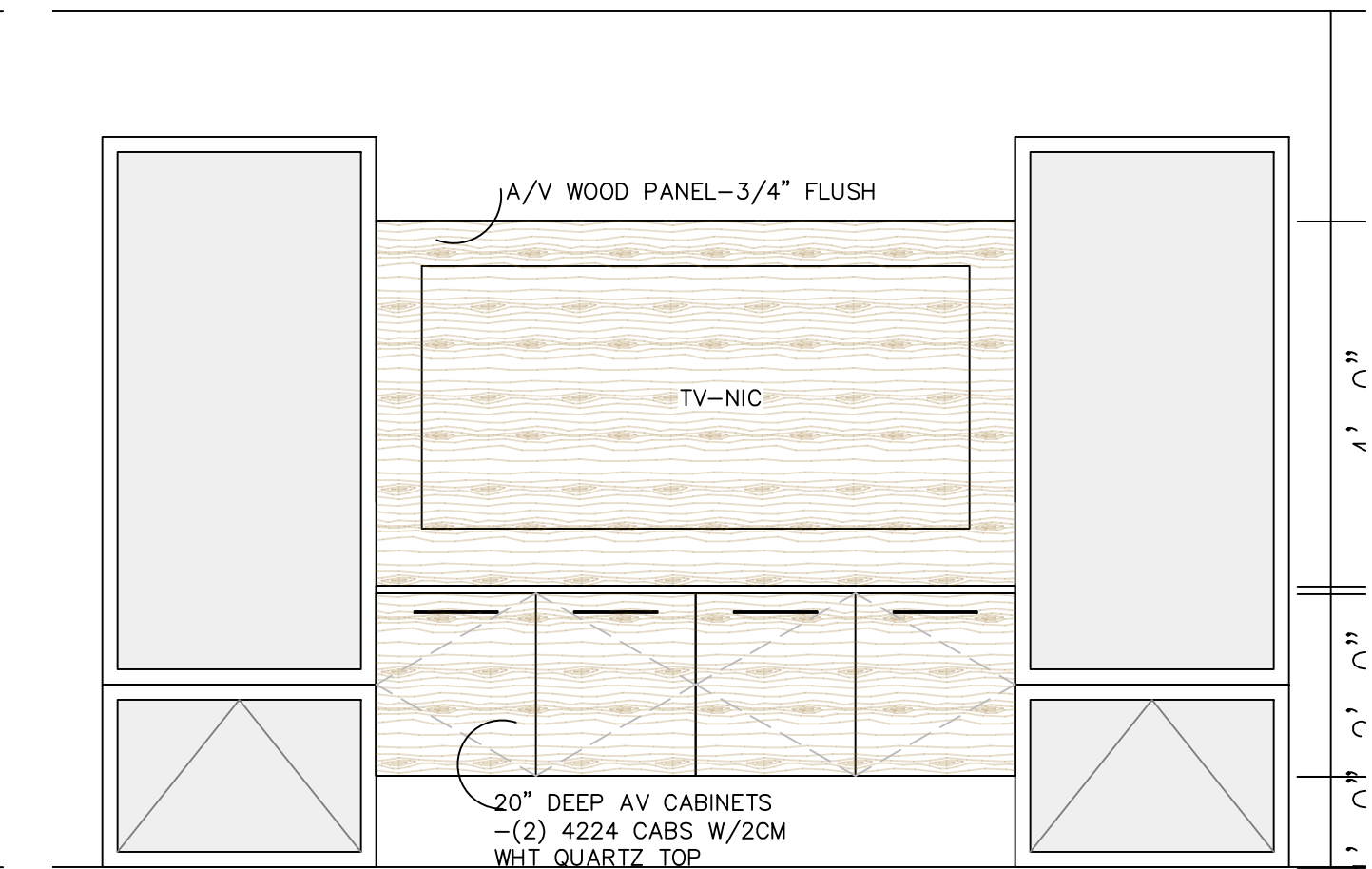


T  
DINING 202

U  
KITCHEN 203



W  
KITCHEN ISLAND



Z  
GREAT RM 202

