DETACHED SINGLE FAMILY DWELLING

PECORARO RESIDENCE

CAPE CHARLES. VA

GENERAL NOTES

01. GENERAL CONDITIONS

- STAIRS: ALL STAIRS
 STAIL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS ESTABLISHED
 BY THE ADOPTED BUILDING CODE. STAIR INFORMATION MAXIMUM STAIR RISER 8-1/4"; MINIMUM STAIR
 TREAD 9" WITH A 3/4" 1-1/4" MOSING ON STAIRS WITH SOLID RISER. MINIMUM STAIR HEADROOM
 6'-8" CLEAR MEASURED VERTICALLY FROM THE STAIR NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM, MINIMUM CLEAR STAIR OPENING WIDTH SHALL NOT BE LESS THAN 36 INCHES.
 STAIRS WITH OPEN RISERS SHALL BE CONSTRUCTED TO PREVENT THE PASSAGE OF A SPHERE OF 4 INCHES
 OR MORE IN DIAMETER THROUGH THE RISER OPENINGS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCHES. THE GREATEST TREAD RUN WITHIN
- ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCHES.

 2. HANDRAILS AND GUARDRAILS: HANDRAILS MUST HAVE A MINIMUM AND MAXIMUM HEIGHT OF 34 INCHES AND 38 INCHES, RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, AND SHALL BE PROVIDED ONE AT LEAST ON SIDE OF STAIRWAYS OF FOLIR OR MORE RISERS. HANDRAILS SHALL SHALL BE PROVIDED UNE AT LEAST ON SIDE OF STAIRWARTS OF TOUR OR MORE RISERS. HANDRAILS SHALL BE CONTINUOUS THE FULL ENGTH OF THE STAIRS, ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS, ALL STAIRWAY HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION WITH AND OUTSIDE DIAMETER OF AT LEAST 1-1/4 INCHES AND NOT GREATER THAN 2 INCHES MAX. OR APPROVED RAILS OF FOLIVALENT GRASPABILITY, HANDRAILS PROJECTING FROM THE WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. GUARDRAILS NOT LESS THAN 3 INCHES IN HEIGHT AND SHALL BE INSTALLED AT ALL PORCHES, BALCONIES, OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW.
- 3. WINDOW SUPPLIER IS TO CERTIFY THAT THE WINDOWS PROVIDED FOR BEDROOMS MEET THE GOVERNING . Window Supplier is to certify that the windows provided for bedrooms helt the governing building code egress and fall prevention requirements. If larger windows are required than those shown on the plans, the supplier shall notify the builder and the builder shall substitute the larger windows for those shown on the plans. The builder shall confirm WINDOW SIZES BY COMPLETING THE ROUGH FRAME OPENINGS BEFORE THE WINDOWS ARE ORDERED. GLAZING AT ALL WINDOWS, DOORS, FIXED GLASS PANELS, SIDELIGHTS, ETC. MUST MEET THE REQUIREMENTS OF THE GOVERNING CODE WITH SPECIAL ATTENTION PAID TO GLAZING AT HAZARDOUS LOCATIONS PER IRC SECTION R308.
- 4 ALL VENTED CRAWLOR ATTIC SPACES SHALL BE PROVIDED WITH VENTS TO ALLOW A FLOW OF AIR THROUGH THE SPACE. FREE VENT AREA IS TO BE AS FOLLOWS: CRAWL VENTS SHOULD EQUAL 1/150 OF GROUND AREA, ROOF VENTS 1/300 OF CEILING AREA WITH VENTS DISTRIBUTED PER THE GOVERNING BUILDING CODE PROVIDE ACCESS OPENINGS TO CRAWL (18"X 24" MIN.) AND ATTIC (22" X 30" MIN. WITH 30" HEADROOM) OR SIZED FOR REMOVAL OF MECHANICAL EQUIPMENT IF LOCATED IN ATTIC PER IRC M1305.1.3
- 5. WHERE DRAWINGS OR INFORMATION IS IN CONFLICT WITH OTHER DRAWINGS OR DETAILS, THE BUILDER SHALL NOTIFY THE ARCHITECT IN WRITING PRIOR TO THE COMMENCEMENT OF CONSTRUCTION IN ORDER THAT A CLARIFICATION NOTICE CAN BE ISSUED.
- ALL COMPONENTS AND CLADDING SHALL BE ATTACHED FOR WIND SPEED REQUIREMENTS NOTED ON THIS COVER SHEET OR PER THE GOVERNING BUILDING OFFICIAL'S REQUIREMENTS.

02. SITE WORK PRESUMED SOIL BEARING CAPACITY IS NOTED ON THIS COVER SHEET. THE BUILDER IS RESPONSIBLE

- FOR VERIFYING THIS BEARING CAPACITY. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL OF
- 2. THE BOTTOM OF ALL FOOTINGS SHALL BE BELOW THE FROST LINE AS DEFINED BY THIS COVER SHEET, THE
- DRAWINGS OR THE GOVERNING BUILDING OFFICIAL'S REQUIREMENTS AND/OR 12" MINIMUM.

 3. FOR BASEMENT CONDITIONS, THE MAXIMUM VERTICAL DISTANCE MEASURED FROM THE TOP OF A BASEMENT FLOOR SLAB TO THE OUTSIDE FINISHED GRADE SHALL NOT EXCED DISTANCES FOR THE WALL THICKNESS AS SHOWN IN IRC TABLES R-404.1.1 (1-4) OR R-404.1.2 (1-9) BASED ON WALL TYPE AND SOIL CLASS.
- 4. DO NOT BACKFILL UNTIL WALLS HAVE CURED AND THE BUILDING STRUCTURE ABOVE IS IN PLACE. BACKFILL SHALL BE CLEAN GRANULAR FILL, FREE OF ORGANIC MATERIAL, PLACED EQUALLY ON ALL SIDES, COMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D 698.
- 5 FINISHED GRADE SHALL SLOPE AWAY FROM THE RUIL DING AT A MINIMUM SLOPE OF 6 INCHES PER FOR A MINIMUM DISTANCE OF 10 FEET FROM THE BUILDING PER IRC SECTION R401.3.

 6. TERMITE TREATMENT - TREAT INTERIOR AND EXTERIOR EARTH AT PERIMETER WITH EPA APPROVED
- TERMICIDE. SPRAY BORA-CARE OR EQ. TERMICIDE & MOLD TREATMENT ON STUDS 3 FEET ABOVE SLABS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE TERMITE SHIELDS WHERE SHOWN ON PLANS

- 03. CAST-IN-PLACE CONCRETE

 1. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 2,500 PSI IF NOT EXPOSED

 TO WEATHER. EXTERIOR SLABS TO BE 3,000 PSI, MIN. 5% & MAX. 7% AIR ENTRAINED CONCRETE.
- CONCRETE PLACEMENT SHALL COMPLY WITH RECOMMENDATIONS OF ACI 332.
 CONCRETE SLABS SHALL HAVE POLYPROPYLENE FIBER ADDITIVE (1.5 LB/CY) OR WWF REINFORCEMENT 6 X 6, W1.4 X W1.4 PER ASTM A 185 LOCATED MIDWAY THROUGH THE SLAB THICKNESS. ALL SLABS ARE TO BEAR ON COMPACTED FILL TESTED FOR 95% MAXIMUM DRY DENSITY PER ASTM D698. 4. REINFORCING STEEL WHERE SHOWN ON PLANS SHALL CONFORM TO ASTM A615, GRADE 60 MIN.
- 5. PROVIDE A 6 MIL POLYETHELENE MOISTURE VAPOR BARRIER MEMBRANE UNDER INTERIOR AND GARAGE CONCRETE SLABS AND FOOTINGS WHERE INDICATED ON THE DRAWINGS. LAP SHEETS 6" MIN. AT JOINTS.
- 6. CONCRETE SLABS SHALL SLOPE AT A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAIN

04. MASONRY

- . CONCRETE MASONRY UNITS (CMU) SHALL CONFORM TO ASTM C90, GRADE N. NORMAL WEIGHT UNITS. 2. MORTAR TO BE TYPE 'M' WITH A 28 DAY COMPRESSIVE STRENGTH OF 2,000 PSI. PROVIDE CONTINUOUS HORIZONTAL JOINT REINFORCING EVERY OTHER COURSE. MORTAR TO MEET ASTM C270 STANDARDS.
- 3. GROUT SHALL MEET THE REQUIREMENTS OF ASTM C476 WITH A 28 DAY COMPRESSIVE STRENGTH OF 2 500 PSI GROUT ALL CELLS RECEIVING ANCHORS AND THE TOP COURSE OF ALL BEARING WALLS
- 4. FACE BRICK SHALL BE STANDARD SIZE AND COMPLY WITH ASTM C216, RUNNING BOND WITH TOOLED JOINT APPLICATION. SECURE BRICK VENEER TO WALL STUDS WITH 22 GA. GALV. METAL TIES ATTACHED TO STUDS WITH 8d NAILS SPACING AS SHOWN ON PLANS.
- 5. APPLY A BITUMINOUS WATERPROOF MEMBRANE TO THE EXTERIOR OF ALL BASEMENT WALLS TO BE BELOW GRADE AFTER BACKFILLING.

 6. MANUFACTURED STONE WHERE SHOWN ON PLANS, SHALL BE INSTALLED IN STRICT ACCORDANCE
- WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND DETAILS AND THE MASONRY VENEER MANUFACTURERS ASSOCIATION (MVMA) "INSTALLATION GUIDE AND DETAILING OPTIONS FOR COMPLIANCE

05. STRUCTURAL STEEL

- 1. STEEL BEAMS AND PLATES SHALL CONFORM WITH ASTM A36. STEEL COLUMNS SHALL CONFORM
- 2. ALL STRUCTURAL STEEL SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT AISC SPECIFICATIONS AND "STEEL CONSTRUCTION MANUAL." ALL PIPE COLUMNS SHALL BE STANDARD WEIGHT STEEL COLUMNS IN ACCORDANCE WITH ASTM A501 AND FINISHED WITH CORROSION RESISTANT COATING PER ASTM B117. STEEL COLUMNS AT BASEMENT LOCATIONS SHALL PENETRATE THE BASEMENT

- 06. WOOD

 1. FRAMING LUMBER SHALL BE IDENTIFIED BY A GRADE MARK OR EVALUATION STAMP WHICH PROVIDES THE FOLLOWING MINIMUM DESIGN VALUES:
- MEMBER GRADE FRAMING LUMBER HEM/SYP/SPE #2 OR BETTER Fb = 875 PSI PRESSURE TREATED LUMBER SYP #2 OR BETTER Fh = 975 PSI HEM/SYP/SPF #3 BLOCKING STANDARD Fb = 275 PSI
- 2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICAN WOOD COUNCIL (AWC) "WOOD FRAME CONSTRUCTION MANUAL" (WFCM) AND SHALL COMPLY WITH IRC R301.1 TO SUPPORT AND TRANSFER ALL LOADS SAFELY TO THE FOUNDATION.

 3. THE DESIGN LOADS FOR PREFABRICATED WOOD TRUSSES ARE PER THESE SPECS., THE GOVERNING BUILDING CODE
- AND CURRENT EDITIONS OF TPI -1AND NDS. THE TRUSS MANUF, SHALL PROVIDE SHOP DRAWINGS. SFALED BY A STATE-AND CORRENT EDITIONS OF 1P1-1AND NDS. THE RUSS MANUE. SHALL PROVIDE SHOP DRAWINGS, SEALED BT A LICENSED DESIGN PROFESSIONAL, FOR APPROVAL PRIOR TO FABRICATION. INSTALL TRUSSES AND ENGINEERED LUMBER IN STRICT ACCORDANCE WITH THE SHOP DRAWINGS AND WTCA-B1 AND WTCA-B2. ALL POINT LOADS, PARTIAL UNIFORM LOADS OR COMBINATIONS THEREOF SHALL BE DETERMINED BY THE TRUSS MANUFACTURER AND ACCOUNTED FOR IN THE DESIGN OF THE ROOF AND/OR FLOOR SYSTEM.
- ACCOUNTED FOR IN THE DESIGN OF THE ROOF AND/OR FLOOR STSTEM.

 4. PREFABRICATED WOOD-JOISTS SHALL BE RATED PER ASTM DSOSS AND INSTALLED PER SHOP DRAWINGS AND DETAILS PROVIDED BY THE MANUFACTUER.

 5. HANGERS, ANCHORS AND FASTENERS, WHEN CALLED FOR IN SHOP DRAWINGS OR THESE DRAWINGS,
- SHALL BE INSTALLED IN COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

 ALL HANGERS, FRAMING ANCHORS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD TO BE STAINLESS

 STEEL OR GALVANIZED PER G185 RATING 'Z-MAX' COATING BY SIMPSON OR 'TRIPLE ZINC' BY USP.
- 6. BEAMS AND HEADERS ARE TO BEAR ON JACK STUDS AS NOTED ON THE PLANS. SHOP DRAWINGS, OR PER CODE. PROVIDE SOLID BLOCKING BELOW ALL JACK STUDS FORMING A CONTINUOUS BEARING LINE TO THE FOUNDATION. ALL LUMBER IN CONTACT WITH EARTH, CONCRETE OR MASONRY SHALL BE PRESSURE TREATED. FIELD TREAT SAWED, DRILLED OR NOTCHED TREATED LUMBER PER AWPA M4-15.
- 8. PROVIDE STRUCTURAL SHEATHING WHERE NOTED ON PLANS. ALL WOOD SHEATHING SHALL BE APA RATED
- FOR INTENDED USE AND SUPPORT SPANS. INSTALL ROOF SHEATHING WITH "H" CLIPS BETWEEN TRUSSES.

 9. INSTALL FIREBLOCKING PER R302.11 TO CUT OFF DRAFT OPENINGS AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, BETWEEN STORIES, AND BETWEEN THE TOP STORY AND ROOF.
- 10. STUDS FOR EXTERIOR WALLS SHALL BE SIZED PER THE INTERNATIONAL RESIDENTIAL CODE. TABLE R602.3.1
- 11. ALL NOTCHES AND CUTS IN FRAMING SHALL NOT EXCEED MAX. DIMENSIONS AS DEFINED IN THE IRC R602.6..

- 07. THERNAL AND MOISTURE PROTECTION

 1. INSTALL INSULATION MATERIALS TO MEET THE 'R' VALUES AS SHOWN ON THE DRAWINGS. FIT INSULATION TIGHT
- INTO SPACES AND LEAVE NO GAPS OR VOIDS. PROVIDE RIGID INSULATION WHERE SHOWN ON PLANS. AT INTERIOR WALLS SEAL ALL JOINTS, SEAMS AND PENETRATIONS TO PREVENT AIR LEAKAGE PER N1102.4.

 INSTALL FIBERGLASS/ASPHALT ROOF SHINGLES IN ACCORDANCE WITH MANUE. INSTRUCTIONS AND ASPHALT ROOFING MANUFACTURERS ASSOC. "ASPHALT ROOFING RESIDENTIAL MANUAL." SHINGLES ARE TO BE CERTIFIED MIN. CLASS C FIRE RESISTANCE PER ASTM F108 OR UL 790 AND WIND RESISTANCE CLASS PER ASTM D3161 OR D7158 FOR WIND SPEED.
- THE RESISTANCE PER AST ME LOW OF DELTO WHO WHO DESISTANCE CLEAST PER AST ME DETO TO BE DETO.

 INSTALL UNDERLAYMENT PER ROOF SLOPE AND IRC R905.2.2 AND CONFORMING TO ASTM D226.

 3. INSTALL FLASHING, SHEET METAL, GUTTERS AND DOWNSPOUTS PER PLANS AND PER "ASPHALT ROOFING RESIDENTIAL MANUAL" AND "ARCHITECTURAL SHEET METAL MANUAL" BY SMACNA. INSTALL FLASHING AT ALL. ROOF TO WALL CONDITIONS, EXTERIOR OPENINGS AND ELSEWHERE WHERE REQUIRED.
- 1. INSTALL A WEATHER-RESISTANT BARRIER ON ALL WALLS. HOUSEWRAPS SHOULD MEET ASTM D5034 FOR DURABILITY,
 D779 FOR WATER RESISTANCE, E96 FOR PERMEABILITY AND E2178 FOR AIR TIGHTNESS AND BE INSTALLED PER
- PRE-WEATHERIZED SHEATHING SHALL BE TAPED AND SECURED PER MANUF, INSTALLATION INSTRUCTIONS INSTALL SIDING AND ACCESSORY COMPONENTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. WIND PRESSURE RESISTANCE TO BE DETERMINED BY ASTM E330.

08. DOORS, WINDOWS AND GLASS

- 18. DOWS, WINDOWS AND GLASS

 1. INSTALL DOORS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTALLATION RECOMMENDATIONS.

 2. ALL ALUMINUM AND/OR VINYL (PVC) AND/OR WOOD WINDOWS AND DOORS SHALL CONFORM TO CLASS R WITH DP PERFORMANCE GRADE AS NOTED ON THE COVER SHEET, TESTED PER AAMA/WDMA/CSA 101/I.S.2/A440-17 FOR THE APPLICABLE WINDOW AND DOOR TYPES SHOWN ON THE DRAWINGS. INSTALL TEMPERED GLASS AND WINDOWS WHERE NOTED ON PLANS OR AS REQUIRED BY CODE. ENERGY PERFORMANCE RATINGS FOR U VALUES AND SHGC SHALL BE AS NOTED ON THE COVER SHEET AND TESTED PER NFRC 100 AND NFRC 200 RESPECTIVELY.

 3. INSTALLATION AND FLASHING OF WINDOWS AND DOORS TO BE IN ACCORDANCE WITH MANUFACTURERS WRITTEN
- INSTALLATION INSTRUCTIONS AND ASTM E2112.
- 4. INSECT SCREENS TO BE IN ACCORDANCE WITH ANSI/SMA 1004, ANSI/SMA 2006, OR ANSI/SMA 3001
- 5. PROVIDE AND INSTALL HARDWARE PER BUILDER'S SCHEDULE.
 6. GARAGE DOORS SHALL BE CERTIFIED IN ACCORDANCE WITH ASTM/DASMA 108 FOR THE
- APPLICABLE WIND PRESSURES AS NOTED ON THE COVER SHEET, GARAGE DOORS TO HAVE A PERMANENT LABEL FROM MANUFACTURER WITH WIND PRESSURE RATINGS AND REPLACEMENT INFORMATION.

1. GYPSUM WALL BOARD, GYPSUM SHEATHING MATERIALS AND ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH IRC R702.3 AND WITH GA-253 "APPLICATION OF GYPSUM SHEATHING" PUBLISHED BY THE GYPSUM ASSOCIATION. . INSTALL FLOOR COVERINGS AS SHOWN ON PLANS OR PER OWNER'S SCHEDULE PER MANUF. INSTALLATION INSTRUCTIONS

. PROVIDE KITCHEN AND BATH CABINETS FIXTURES AND APPLIANCES, FIREPLACE, HARDWARE AND MISC. ITEMS PER BUILDER'S SCHEDULE. INSTALLATIONS TO BE IN ACCORDANCE WITH APPROVED SHOP DRAWINGS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. PRE-FAB FIREPLACES TO BE UL LISTED AND COMPLY WITH UL 127.

11-14. N/A

- 15. MECHANICAL

 1. INSTALL VENTILATORS AND HEATING AND AIR CONDITIONING SYSTEMS AS SHOWN ON PLANS OR PER OWNER'S SCHEDULE. SIZE ALL EQUIPMENT PER ACCA MANUAL S AND J AND INSTALL FOR FUTURE ACCESS SERVICE AND REMOVAL. PROVIE COMBUSTION AIR WHEN REQUIRED PER M1701. ALL DUCTWORK AND PIPING LOCATED IN UNCONDITIONED SPACES SHALL BE INSULATED AND SEALED PER CODE. INSTALL DRYER DUCT TO OUTSIDE WITH SMOOTH METAL DUCTING WITHOUT SCREWS AND WITH MINIMUM BENDS, MAXIMUM DUCT LENGTH PER IRC M1502.

 2. VENTING: ALL DRYERS, BATH EXHAUSTS MUST BE VENTED DIRECT TO THE EXTERIOR OF THE STRUCTURE WITH A BACKDRAFT DAMPER IN ACCORDANCE WITH THE CURRENT CODE.
- 3. PROVIDE A PROGRAMABLE THERMOSTAT, MANUALS FOR MECHANICAL AND WATER HEATING EQUIPMENT ENERGY EFFICENCY CERTIFICATE AND ALL OTHER REQUIREMENTS OF THE CURRENT ENERGY CODE

- . TERMINAL HOOK UP IS REQUIRED FOR ALL FIXTURES, APPLIANCES, MOTORS, FANS AND CONTROLS, LOCATION OF OUTLETS AND EQUIPMENT ON PLANS IS APPROXIMATE, EXACT ROUTING OF WIRING AND OUTLETS SHALL BE GOVERNED BY STRUCTURAL CONDITIONS AND OBSTRUCTIONS.

 2. ALL ELECTRICAL BREAKERS AND CONTROLS SHALL BE PROPERLY LABELED. INSTALL GFCI PROTECTED AND AFCI
- OUTLETS WHERE SHOWN ON PLANS OR AS REQUIRED BY CODE. MATERIAL AND EQUIPMENT SHALL BEAR A UL LABEL. LIGHT FIXTURES MUST MEET CLEARANCES STATED IN THE NEC. INSTALL LIGHT SWITCHES AT 3' 6" A.F.F. AND OUTLETS
- 12" A.F. TO CENTERLINE U.N.O.

 3. INSTALL ELECTRIC SMOKE DETECTORS, CARBON MONOXIDE/ALARMS WHERE SHOWN ON PLANS. ALL DETECTORS MUST BE INTER-CONNECTED AND INCORPORATE A BATTERY BACK-UP. INSTALL PER NFPA 72 AND UL 217 REQUIREMENTS CO ALARMS TO COMPLY WITH NFPA 720 AND UL 2075. COMBINATION SMOKE/CO ALARMS MUST BE LISTED PER UL 2034. OVIDE HIGH EFFICACY LAMPS IN PERMANENT FIXTURES PER CURRENT ENERGY CODE.

17. PLUMBING

. INSTALL PLUMBING FIXTURES, SUPPLY AND WASTELLINES PER GOVERNING CODE, ALL NOTCHES AND CUTS IN FRAMING SHALL NOT EXCEED MAX. DIMENSIONS AS DEFINED IN THE BUILDING CODE. PROTECT PLUMBING LINES AND REINFORCE STUD WALL NOTCHES WITH 16 GA. METAL PLATES.

CONTENTS

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- 3.1 WALL BRACING DIAGRAMS
- **ELEVATIONS**
- BUILDING SECTIONS
- CRAWL FOUNDATION, WALL AND SOFFIT DETAILS
- 6.1 STANDARD AND PORTAL FRAME BRACING DETAILS
- 6.2 CRAWL FOUNDATION DETAILS

AREA SCHEDULE	
FIRST FLOOR HEATED	3,246 SF
TOTAL HEATED AREA	3,246 SF
GARAGE	938 SF
SCREENED PORCH	253 SF
COVERED FRONT PORCH	264 SF
COVERED REAR PORCH	288 SF
TOTAL COVERED AREA	4,989 SF

BUILDING CODE SUMMARY

Location:	Cape Charle	s, VA	
Proposed Use:	Detached Sir	ngle Family Dwelling	
Owner: Contact Person:	Terry Industri	ies Inc.	
Contact reison.	Laura Zito	Telephone #: (757) 636-8880	E-mail: laura@tihomebuilders.com

Designer	Name	License #	Telephone #:	E-mail:
Architect	James W. Wentling	VA-Arch. # 006412	(215) 568-2551	JamesWentling
				@wentlinghouseplans.cor

BUILDING DATA

Year Edition of Code:	2018 Virginia Residential Code (VRC)
	2018 International Residential Code for One- and Two- Family Dwellings (IRC)

DESIGN LIVE LOADS

Roof Live Load:	Attic With Fixed Stair:	30 PSF
Floor Live Load:	Attic With Limited Storage:	20 PSF
	 Attic Without Storage:	10 PSF

Ground Snow Load:	10 PSF			Design Pressure Ratings:	
Design Wind Speed: Seismic Design Catego		Exposure: Risk Category:	<u>В</u>	Walls, Windows & Doors: Roofing Components:	30 PSF
Weathering: Frost Line:	Moderate 12"	riisk Galegory.		Hooling Components.	45 PSF
Termite Decay:	Moderate to Heavy				
Weathering Decay:	Moderate to Severe				
Winter Decign Tomp :	20 Dogrado				

Minimum Insulation and Fenestration Requirements:

R-19 R-10 - 2 F 0.32 Max. 0.40 Max. Floors

Presumptive Bearing Capacity: 1,500 PSF

TEXT		DESCRIPTION	TEXT		DESCRIPTION
A.F.F.	:	ABOVE FINISHED FLOOR	LVP	:	LUXURY VINYL PLANK FLOORING
ALUM.	:	ALUMINUM	MAX.	:	MAXIMUM
BRG.	:	BEARING	MIN.	:	MINIMUM
С	:	CARPET	0.C.	:	ON CENTER
CLG.	:	CEILING	OPT.	:	OPTIONAL
C.J.	:	CEILING JOISTS	OSB	:	ORIENTED STRAND BOARD
CONC.	:	CONCRETE	P.T.	:	PRESSURE TREATED
COND.	:	CONDITION	R.	:	RISERS
DBL. JST.	:	DOUBLE JOIST	REF.	:	REFIGERATOR
DIA.	:	DIAMETER	REQ.	:	REQUIRED
DWG.	:	DRAWING	R & S	:	ROD AND SHELF
E. M.	:	ELECTRIC METER	R.R.	:	ROOF RAFTERS
ENG.	:	ENGINEERED	R.T.	:	ROOF TRUSSES
E.P.	:	ELECTRICAL PANEL	S.C.	:	SOLID CORE - 1-3/4" THICK OR 20 MIN. RATED DOOR
EQ.	:	EQUAL	S.S.	:	SELECT STRUCTURAL
EXT.	:	EXTERIOR	SHOW.	:	SHOWER
FOUND.	:	FOUNDATION	S.L.	:	SIDE LITE
FTG.	:	FOOTING	SPEC.	:	SPECIFICATIONS
H.P.D.	:	HINGED PATIO DOOR	T.	:	TREADS
H.	:	HIGH	TEMP.	:	TEMPERED
НВ	:	HOSE BIBB	T.O.F.	:	TOP OF FOUNDATION
INCL.	:	INCLUDED	TYP.	:	TYPICAL
INT.	:	INTERIOR	U.N.O.	:	UNLESS NOTED OTHERWISE
J.M.	:	JOIST MANUFACTURER	v	:	VINYL
J.S.		JACK STUDS	W/	:	WITH

ocation:	Cape Charles	s, VA			
roposed Use:	Detached Sir	gle Family Dwell	ling		
wner: ontact Person:	Terry Industri	es Inc.			
Ontact reison.	Laura Zito	Telephone #:	(757) 636-8880	E-mail:	laura@tihomebuilders.com

DESIGNER OF RECORDS

Designer	<u>Name</u>	License #	Telephone #:	E-mail:
Architect	James W. Wentling	VA-Arch. # 006412	(215) 568-2551	JamesWentling
				@wentlinghouseplans.con

ition of Code:	2018 Virginia Residential Code (VRC)
	2018 International Residential Code for One- and Two- Family Dwellings (IRC)

Roof Live Load: 20 PSF Floor Live Load: 40 PSF	Attic With Fixed Stair: Attic With Limited Storage: Attic Without Storage:	30 PSF 20 PSF 10 PSF
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10 PSF 120 MPH gory: A Moderate 12" Moderate to Heavy	Exposure: Risk Category:	<u>В</u> <u>Ш</u>	Design Pressure Ratings: Walls, Windows & Doors: Roofing Components:	<u>3</u>

ENERGY EFFICIENCY:

SOIL BEARING CAPACITIES:

TEXT		DESCRIPTION	TEXT		DESCRIPTION
LF.F.	:	ABOVE FINISHED FLOOR	LVP	:	LUXURY VINYL PLANK FLOORING
LUM.	:	ALUMINUM	MAX.	:	MAXIMUM
RG.	:	BEARING	MIN.	:	MINIMUM
	:	CARPET	O.C.	:	ON CENTER
LG.	:	CEILING	OPT.	:	OPTIONAL
J.	:	CEILING JOISTS	OSB	:	ORIENTED STRAND BOARD
ONC.	:	CONCRETE	P.T.	:	PRESSURE TREATED
OND.	:	CONDITION	R.	:	RISERS
BL. JST.	:	DOUBLE JOIST	REF.	:	REFIGERATOR
IA.	:	DIAMETER	REQ.	:	REQUIRED
WG.	:	DRAWING	R & S	:	ROD AND SHELF
. M.	:	ELECTRIC METER	R.R.	:	ROOF RAFTERS
NG.	:	ENGINEERED	R.T.	:	ROOF TRUSSES
.P.	:	ELECTRICAL PANEL	S.C.	:	SOLID CORE - 1-3/4" THICK OR 20 MIN. RATED DOOR
Q.	:	EQUAL	S.S.	:	SELECT STRUCTURAL
XT.	:	EXTERIOR	SHOW.	:	SHOWER
OUND.	:	FOUNDATION	S.L.	:	SIDE LITE
TG.	:	FOOTING	SPEC.	:	SPECIFICATIONS
.P.D.	:	HINGED PATIO DOOR	T.	:	TREADS
L	:	HIGH	TEMP.	:	TEMPERED
В	:	HOSE BIBB	T.O.F.	:	TOP OF FOUNDATION
ICL.	:	INCLUDED	TYP.	:	TYPICAL
П.	:	INTERIOR	U.N.O.	:	UNLESS NOTED OTHERWISE
М.	:	JOIST MANUFACTURER	v	:	VINYL
.S.	:	JACK STUDS	W/	:	WITH

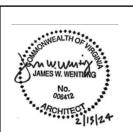
JAMES WENTLING/

ARCHITECT LAND TITLE BUILDING 100 SOUTH BROAD STREET

SUITE 1524 PHILADELPHIA, PA 19110



ARCHITECTURE LAND PLANNING GRAPHICS



١.					
	REVISIONS				
	MARK	DATE	DESCRIPTION		
	DN	11-14-23	REVIEW COMMENTS		
	DN	01-02-24	REDLINES REV/ADD CRAWL FOUND. PLANS		
	DN	01-09-24	VENTED CRAWL FOUND.		
	JW	01-29-24	ATTIC TRUSS NOTES		
	JW	02-13-24	SHOP DWG. REVIEW		

JW	02-13-24	SHOP DWG. REVIEW			
PROJECT	PROJECT NO.				
	1	144-10			
DATE		10-05-23			
SCALE		NO SCALE			
DRAWN BY		DN			
CHECKE	D RV	JW			
CHECKE	ББТ	J 11			
ISSUED F	ISSUED FOR				
т	DEDMITS	CONSTRUCTION			
1	PERMITS/CONSTRUCTION				

DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED

PROJECT TITLE

PECORARO RESIDENCE 410 ARNIES LOOP CAPE CHARLES, VA 23310

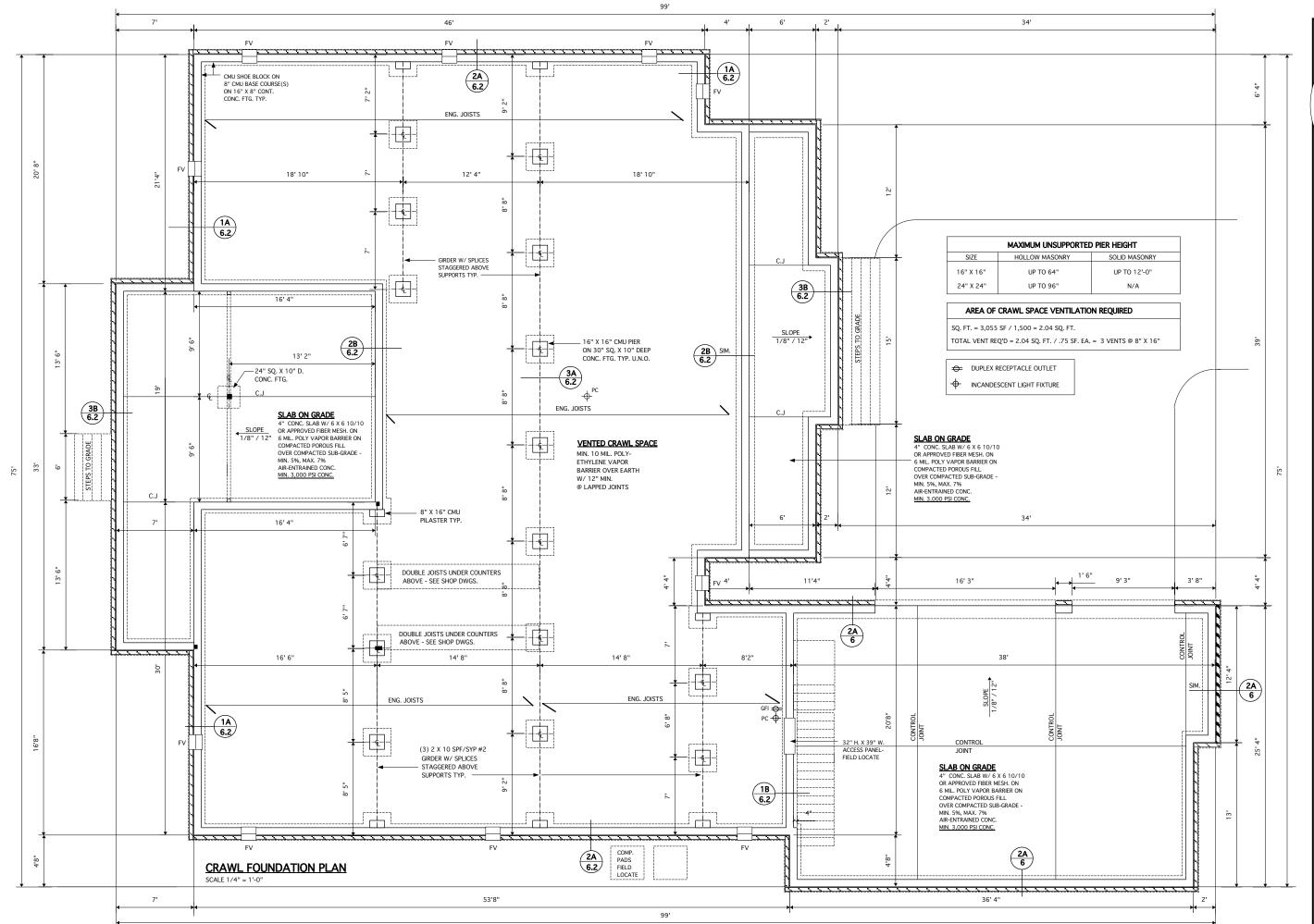
CLIENT

TERRY INDUSTRIES INC. 2509 George Mason Dr. #6894 Virginia Beach, VA 23456 (757) 636-8880

DRAWING TITLE

GENERAL INFORMATION

SHEET



JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREE SUITE 1524 PHILADELPHIA, PA 19110

(215) 568-2551 email -information@ wentlinghouseplans

ARCHITECTURE LAND PLANNING GRAPHICS



REVISIO	REVISIONS				
MARK	DATE	DESCRIPTION			
DN	01-02-24	CRAWL FOUND. PLAN			
DN	01-09-24	VENTED CRAWL FOUND.			
JW	02-13-24	SHOP DWG. REVIEW			

PROJECT NO.	144-10	
DATE	12-21-23	
SCALE	AS NOTED	
DRAWN BY	DN	
CHECKED BY	JW	
ISSUED FOR		
PERMI	TS/CONSTRUCTION	

DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED

PROJECT TITLE

PECORARO RESIDENCE LOT 11 410 ARNIES LOOP CAPE CHARLES, VA 23310

CLIENT

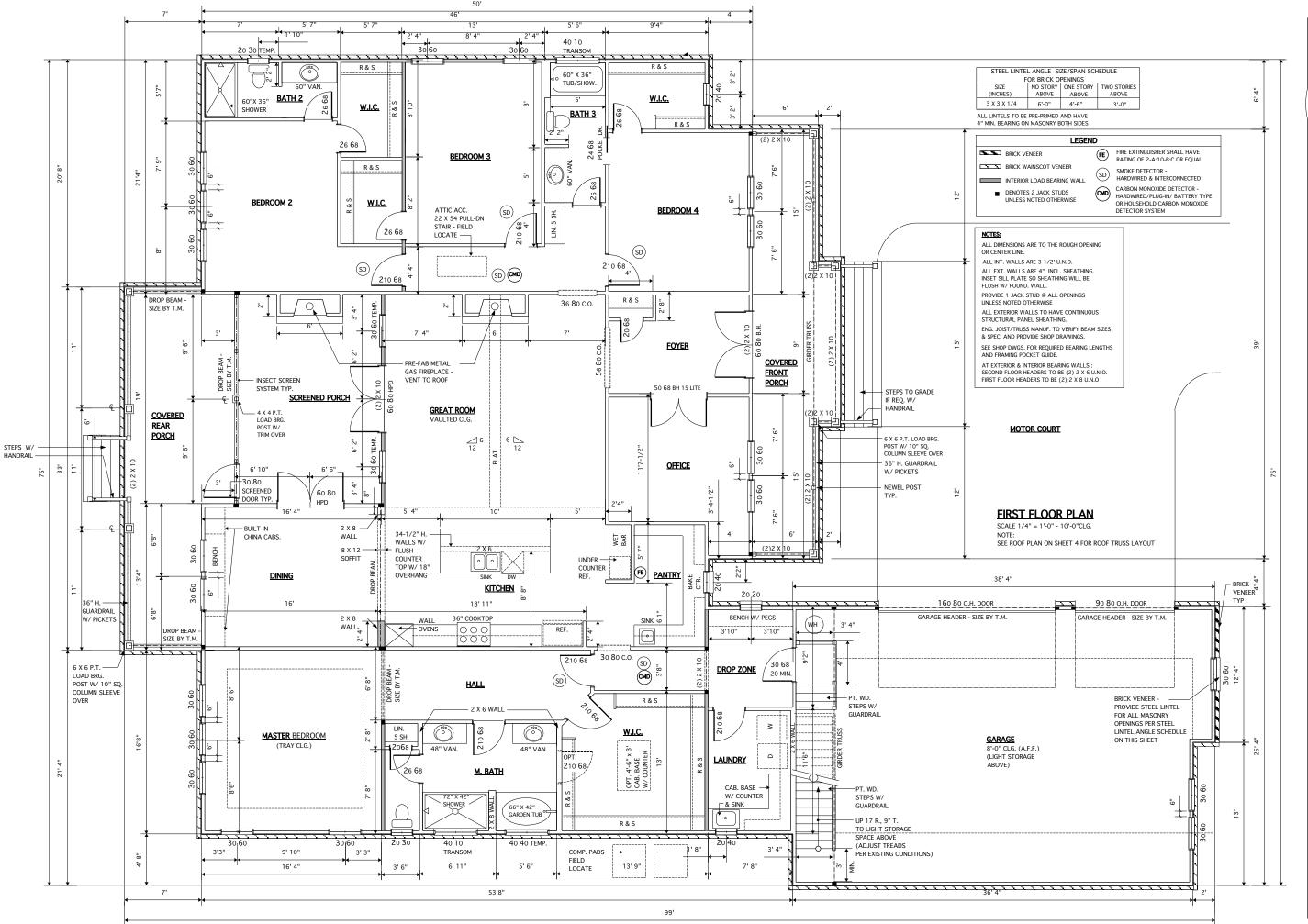
TERRY INDUSTRIES INC. 2509 George Mason Dr. #6894 Virginia Beach, VA 23456 (757) 636-8880

DRAWING TITLE

CRAWL FOUNDATION PLAN

7

2.1





ARCHITECTURE LAND PLANNING

GRAPHICS

~ www.y

JAMES W. WENTING

REVISIONS				
MARK	DATE	DESCRIPTION		
DN	11-14-23	REVIEW COMMENTS		
DN	12-26-23	REDLINES REV.		
DN	01-09-24	VENTED CRAWL FOUND.		
JW	01-29-24	ATTIC TRUSS NOTES		
JW	02-13-24	SHOP DWG. REVIEW		

PROJECT NO.	144-10
DATE	10-05-23
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	
PERM	TS/CONSTRUCTION

DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED

PROJECT TITLE

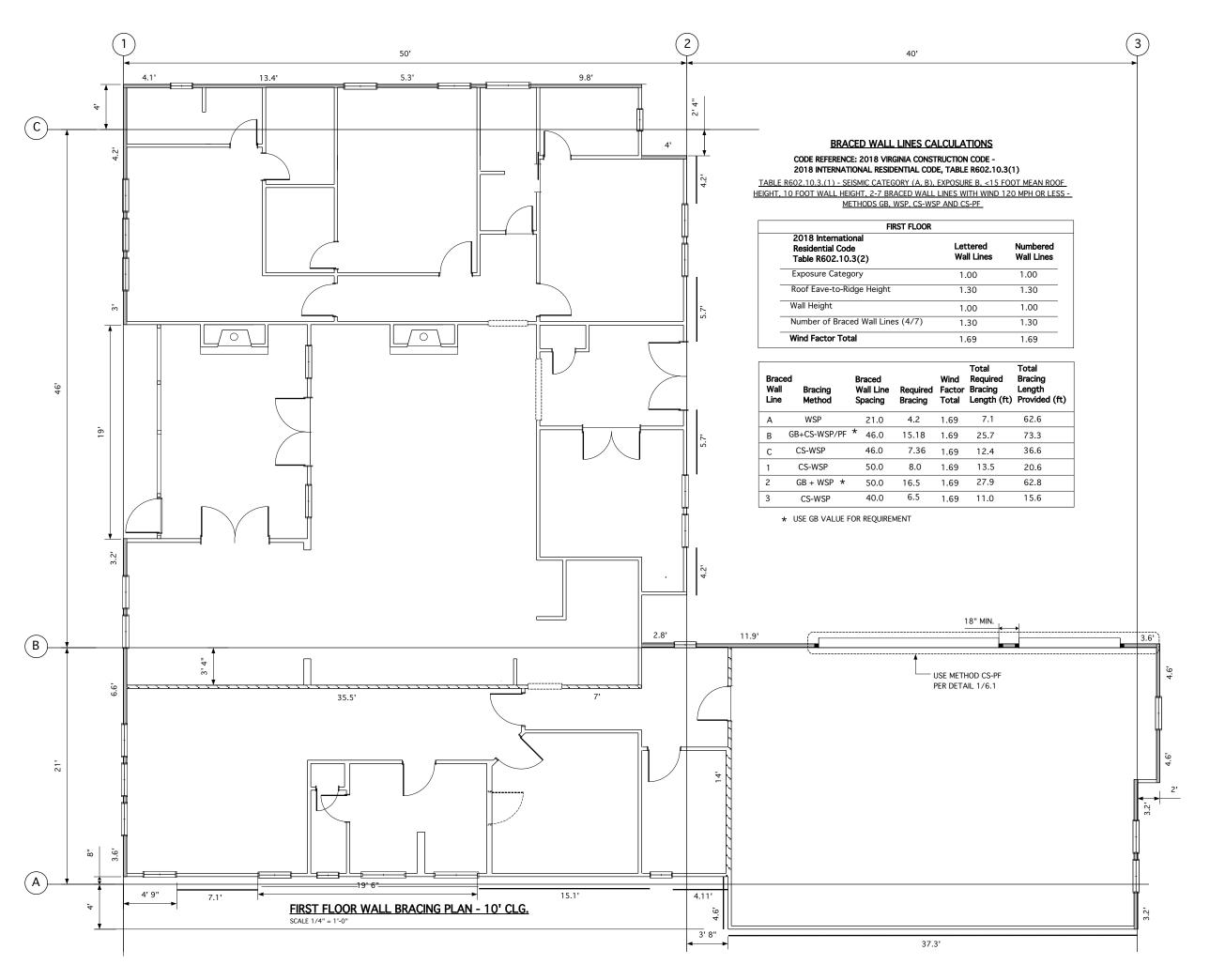
PECORARO RESIDENCE LOT 11 410 ARNIES LOOP CAPE CHARLES, VA 23310

CLIENT

TERRY INDUSTRIES INC. 2509 George Mason Dr. #6894 Virginia Beach, VA 23456 (757) 636-8880

DRAWING TITLE

FLOOR FLOOR PLANS



JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET SUITE 1524 PHILADELPHIA, PA 19110

(215) 568-2551 email -information@ wentlinghouseplans.co

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ARCHITECTURE LAND PLANNING

GRAPHICS



REVISIONS		
MARK	DATE	DESCRIPTION
DN	11-14-23	REVIEW COMMENTS

PROJECT NO.	144-10
DATE	10-26-23
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	

DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED

PERMITS/CONSTRUCTION

PROJECT TITLE

PECORARO RESIDENCE LOT 11 410 ARNIES LOOP CAPE CHARLES, VA 23310

CLIENT

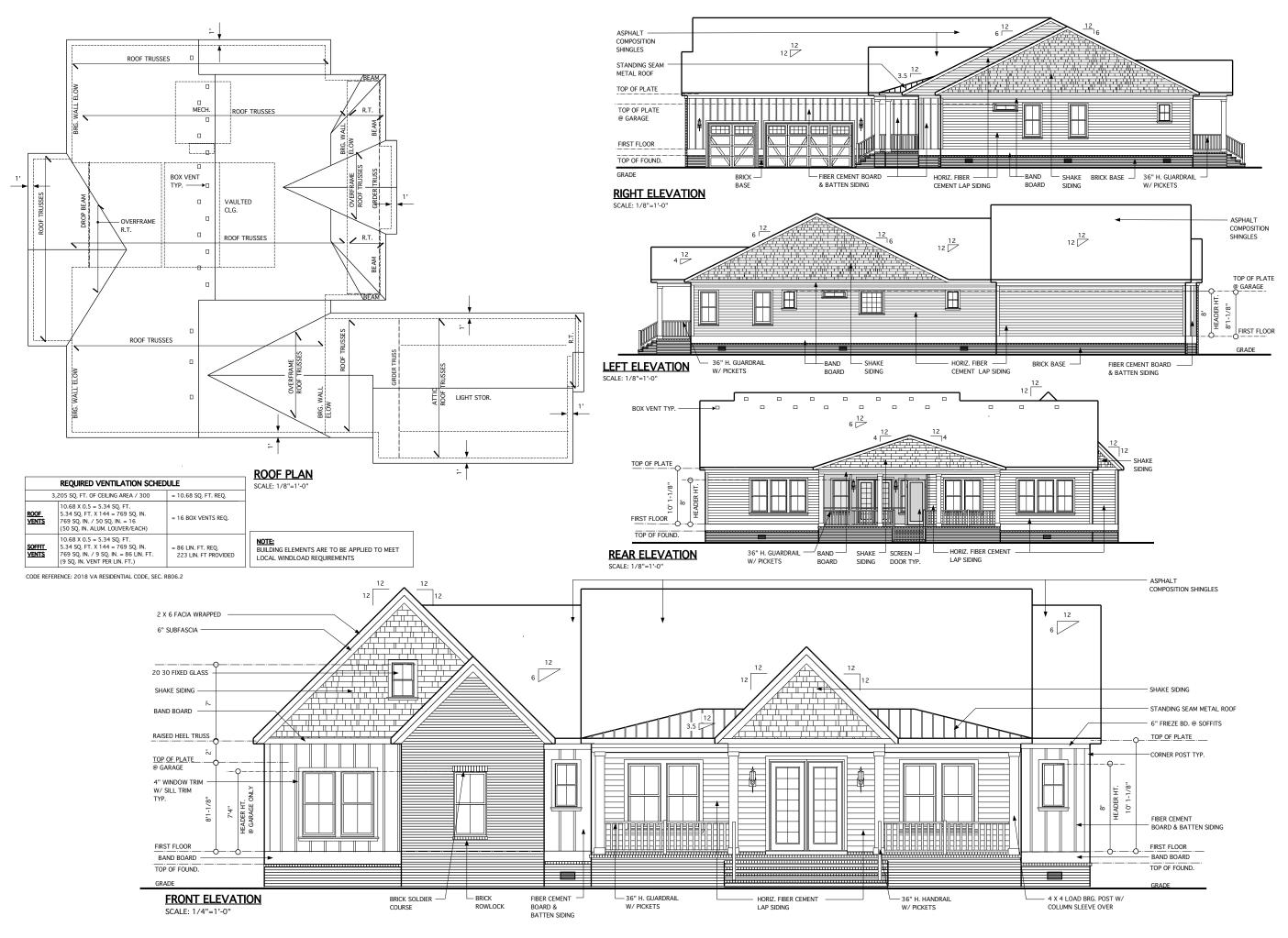
TERRY INDUSTRIES INC. 2509 George Mason Dr. #6894 Virginia Beach, VA 23456 (757) 636-8880

DRAWING TITLE

WALL BRACING DIAGRAMS

SHEET

3.1





ARCHITECTURE LAND PLANNING GRAPHICS



REVISIONS				
MARK	DATE	DESCRIPTION		
DN	10-26-23	REVIEW COMMENTS		
DN	11-14-23	REVIEW COMMENTS		
DN	01-02-24	REDLINES REV.		
DN	01-09-24	VENTED CRAWL FOUND.		
JW	02-13-24	SHOP DWG. REVIEW		

PROJECT N	D. 144-10	
DATE	10-05-23	_
SCALE	AS NOTED	
DRAWN BY	DN	
CHECKED E	Y JW	
ISSUED FOI		
PF	MITS/CONSTRUCTION	

DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED

PROJECT TITLE

PECORARO RESIDENCE LOT 11 410 ARNIES LOOP CAPE CHARLES, VA 23310

CLIENT

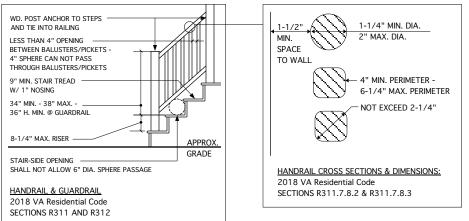
TERRY INDUSTRIES INC. 2509 George Mason Dr. #6894 Virginia Beach, VA 23456 (757) 636-8880

DRAWING TITLE

ELEVATIONS

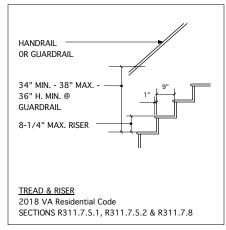
СПЕЕТ

4



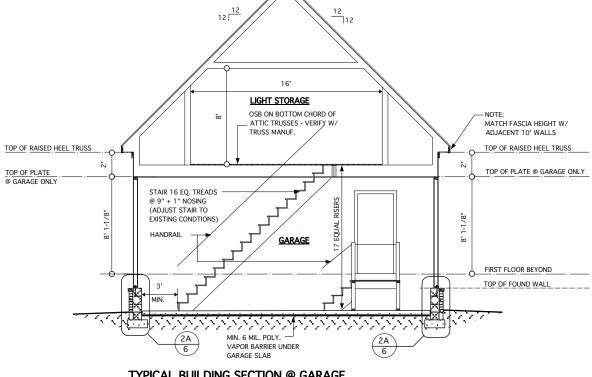
TYPICAL RAILING @ PORCH/DECK

(PROVIDE GUARDRAIL BOTH SIDES WHEN HEIGHT ABOVE GRADE EXCEEDS 30"/ PROVIDE HANDRAIL ONE SIDE OF STEPS WITH 4 OR MORE RISERS)



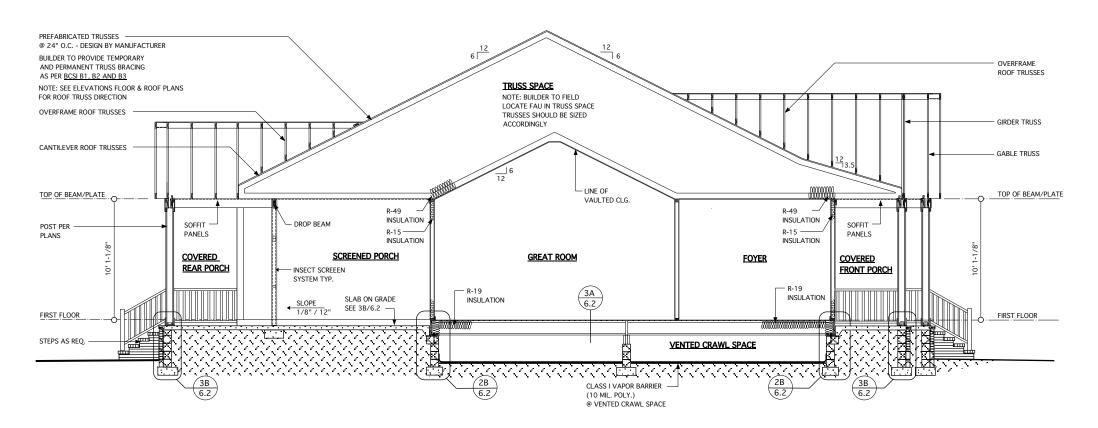
TYPICAL STAIR/STEP SECTION

SCALE: 1/2" = 1'-0" ALL STAIR AND GUARD REQUIREMENTS TO COMPLY W/ 2018 VA Residential Code R311 & R312



TYPICAL BUILDING SECTION @ GARAGE

SCALE: 1/4" = 1'-0"



TYPICAL BUILDING SECTION @ CRAWL CONDITION

SCALE: 1/4" = 1'-0"

JAMES WENTLING/ ARCHITECT

LAND TITLE BUILDING 100 SOUTH BROAD STREET SUITE 1524 PHILADELPHIA, PA 19110

ARCHITECTURE LAND PLANNING GRAPHICS



REVISIO	REVISIONS			
MARK	DATE	DESCRIPTION		
DN	01-02-23	REDLINES REV/CRAWL FOUND. COND.		
DN	01-09-24	VENTED CRAWL FOUND.		
JW	01-29-24	ATTIC TRUSS NOTES		
JW	02-13-24	SHOP DWG. REVIEW		

PROJECT NO.	144-10
DATE	10-26-23
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	
DEDM	ITS/CONSTRUCTION

DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED

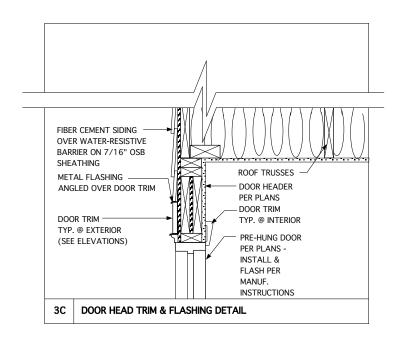
PROJECT TITLE

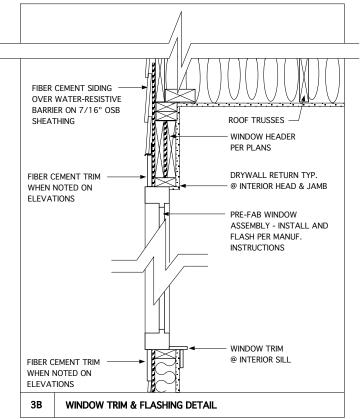
PECORARO RESIDENCE LOT 11 410 ARNIES LOOP CAPE CHARLES, VA 23310

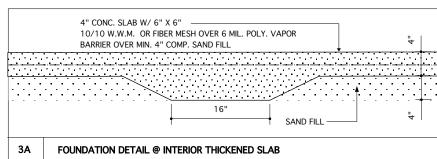
TERRY INDUSTRIES INC. 2509 George Mason Dr. #6894 Virginia Beach, VA 23456 (757) 636-8880

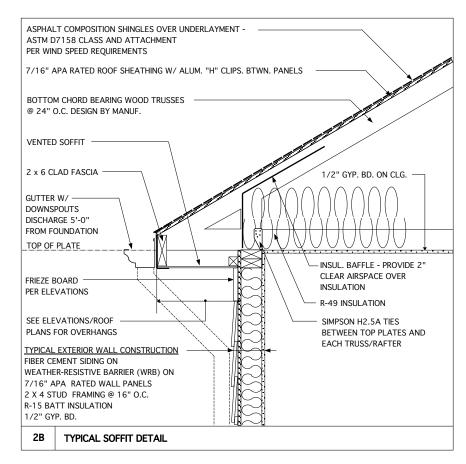
DRAWING TITLE

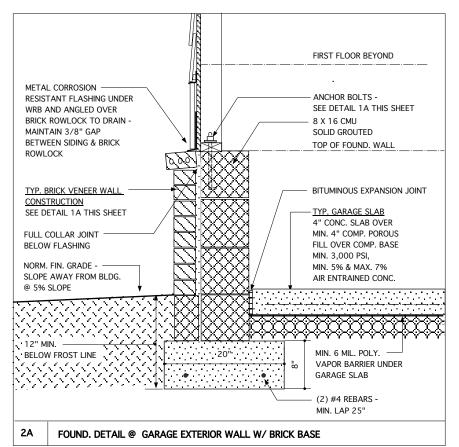
BUIDLING SECTIONS

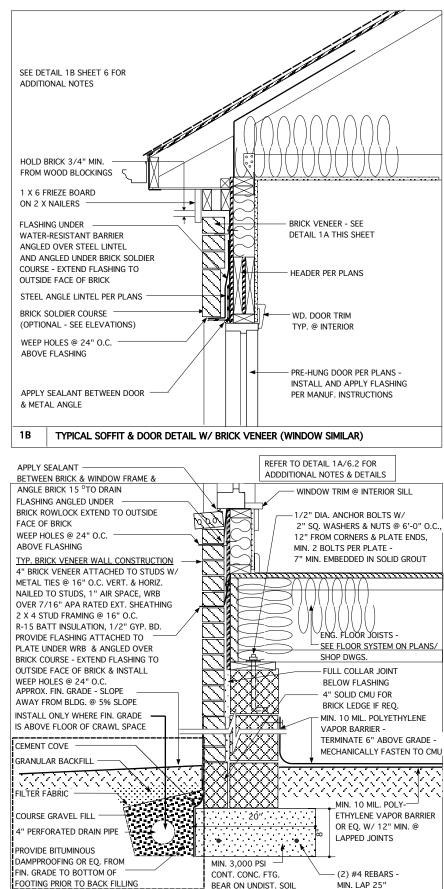














ARCHITECTURE LAND PLANNING GRAPHICS



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Ш	REVISIONS		
Ш	MARK	DATE	DESCRIPTION
Ш	DN	11-14-23	MINOR UPDATES
Ш	DN	01-02-24	UPDATE FOUND. DTL. W/ BRICK/ADD CRAWL DTLS.
	DN	01-09-24	VENTED CRAWL FOUND.
Ш	JW	02-13-24	SHOP DWG. REVIEW
Ш			

PROJE	CT NO.	1	144-10			
DATE		1	10-26-2	3		
SCALE		1-1	/2" = 1'	0"		
DRAW	N BY		DN			
CHECK	ED BY		JW			
ISSUE	FOR					
I I	DEDM	TTC	CONC	TDIIC	TION	

DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED

PROJECT TITLE

PECORARO RESIDENCE LOT 11 410 ARNIES LOOP CAPE CHARLES, VA 23310

CLIENT

TERRY INDUSTRIES INC. 2509 George Mason Dr. #6894 Virginia Beach, VA 23456 (757) 636-8880

CRAWL FOUNDATION, WALL & SOFFIT DETAILS

SHEET

MIN. LAP 25"

BEAR ON UNDIST. SOIL

EXTERIOR WALL W/ BRICK VENEER @ WINDOW



LOW SLOPE APPLICATIONS

Asphalt strip shingles may be used on slopes ranging from 2"-4" per foot if special procedures are followed. Never use shingles on slopes lower than 2" per foot.

Low slopes can lead to problems because water drains slowly from these slopes, creating the greater possibility of water backup and damage from ice dams. The special application method described below for applying shingles on low slopes ensures that the roof remains weather-tight.

A. Underlayment

There are two methods of applying underlayment for low slope application. There is the traditional method shown in Figure 12-1 that is described below. The second method uses the self-adhered shingle underlayment in place of the non-perforated asphalt saturated felt.

On low slope applications, cover the deck with two layers of non-perforated asphalt saturated felt or one layer of an appropriate self-adhered shingle underlayment. Begin by fastening a 19" wide strip of underlayment placed along the eave. Place a full width sheet over the starter sheet with the long edge placed along the eave and completely overlapping the initial layer.

All succeeding courses will be a minimum of 36" wide and should be positioned to overlap the preceding course by 19". Secure each course by using only enough fasteners to hold it in place until the shingles are applied. End laps should be 12" wide and located at least 6 feet from end laps in the preceding course.

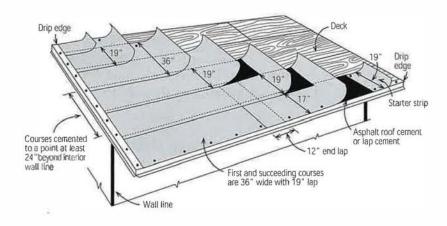


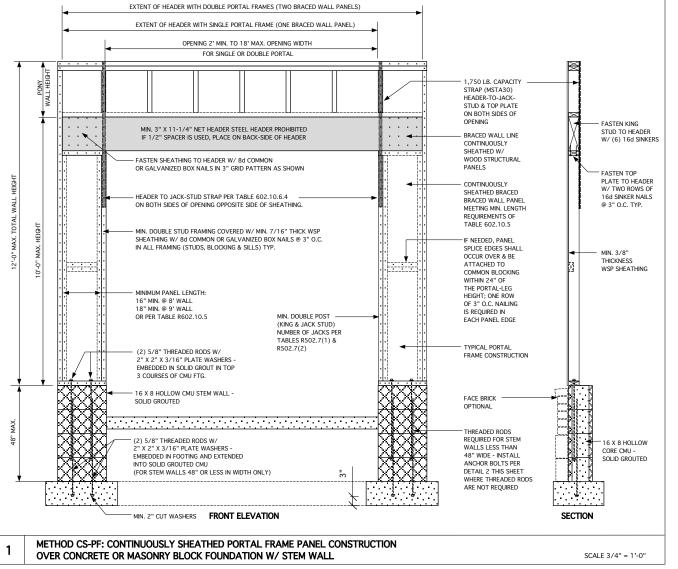
Figure 12-1
Application of underlayment on low slopes
where icing along the
eave is anticipated

[Note]
Self-adhered shingle underlayments are commonly used for ice dam protection. If one of these products is used, follow the manufacturer's application instructions.

LOW SLOPE (LESS THAN 4:12) UNDERLAYMENT APPLICATION

N.T.S.

FIGURE REFERENCE: ASPHALT ROOFING RESIDENTIAL MANUAL



JAMES WENTLING/
ARCHITECT
LAND TITLE BUILDING
100 SOUTH BROAD STREET
SUITE 1524
PHILADELPHIA, PA 19110

(215) 568-2551 email -information@

ARCHITECTURE LAND PLANNING GRAPHICS



REVISIONS		
MARK	DATE	DESCRIPTION
DN	12-26-23	UPDATE DTL. 2A/6.1

PROJECT NO. 144-10

DATE 10-26-23

SCALE 3/4" = 1'-0" U.N.O.

DRAWN BY DN

CHECKED BY JW

ISSUED FOR

DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED

PERMITS/CONSTRUCTION

PROJECT TITL

PECORARO RESIDENCE LOT 11 410 ARNIES LOOP CAPE CHARLES, VA 23310

CLIENT

TERRY INDUSTRIES INC.

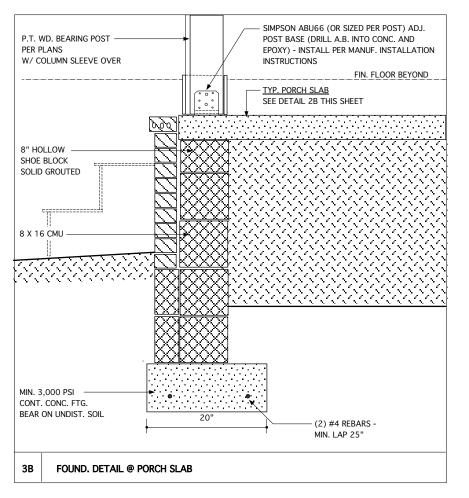
2509 George Mason Dr. #6894 Virginia Beach, VA 23456 (757) 636-8880

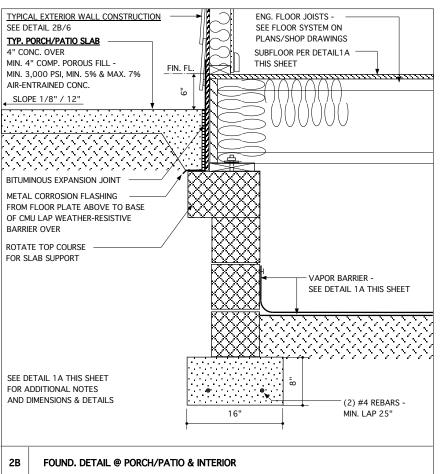
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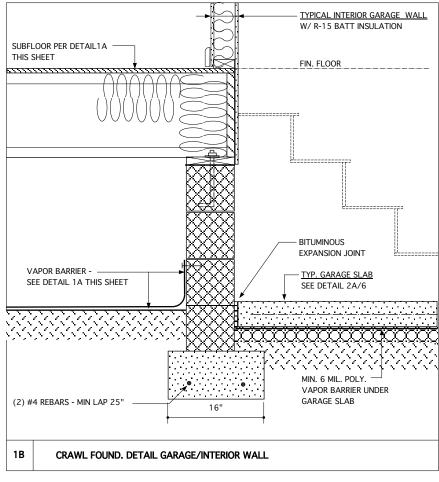
STANDARD AND PORTAL WALL BRACING DETAILS

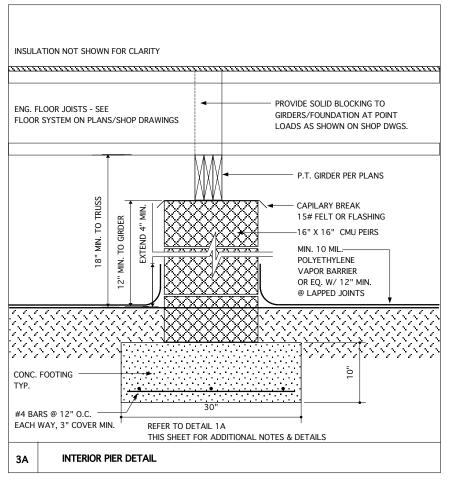
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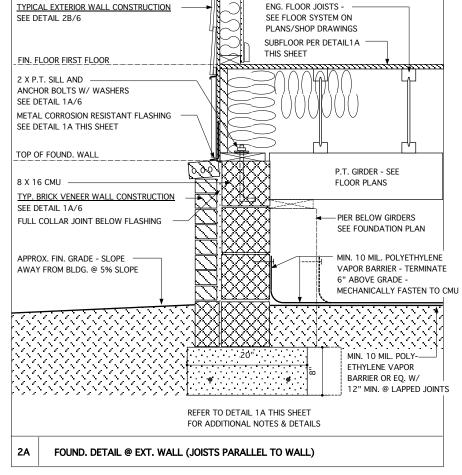
CODE REFERENCE: 2018 VIRGINIA RESIDENTIAL CODE, FIGURE R602.10.6.4

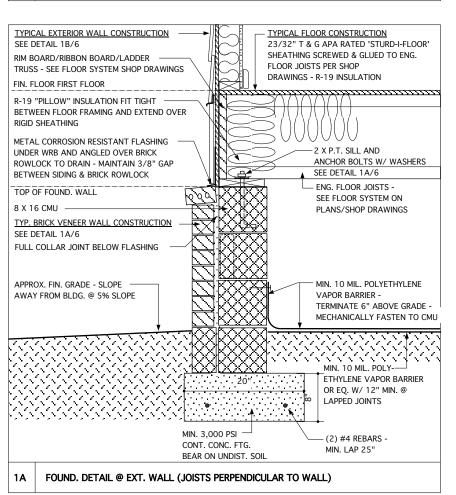


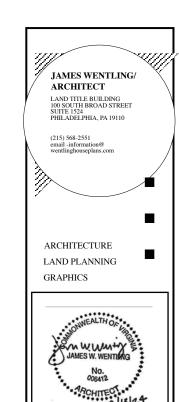












REVISIONS		
MARK	DATE	DESCRIPTION
DN	01-09-24	VENTED CRAWL FOUND.
JW	02-13-24	SHOP DWG. REVIEW
PROJEC		44.10

PROJECT NO.	144-10
DATE	01-02-24
SCALE	1-1/2" =1'-0"
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	
PERM	TTS/CONSTRUCTION

DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED

PROJECT TITLE

PECORARO RESIDENCE LOT 11 410 ARNIES LOOP CAPE CHARLES, VA 23310

CLIENT

TERRY INDUSTRIES INC. 2509 George Mason Dr. #6894 Virginia Beach, VA 23456 (757) 636-8880

DRAWING TI

CRAWL FOUNDATION DETAILS

6

6.2