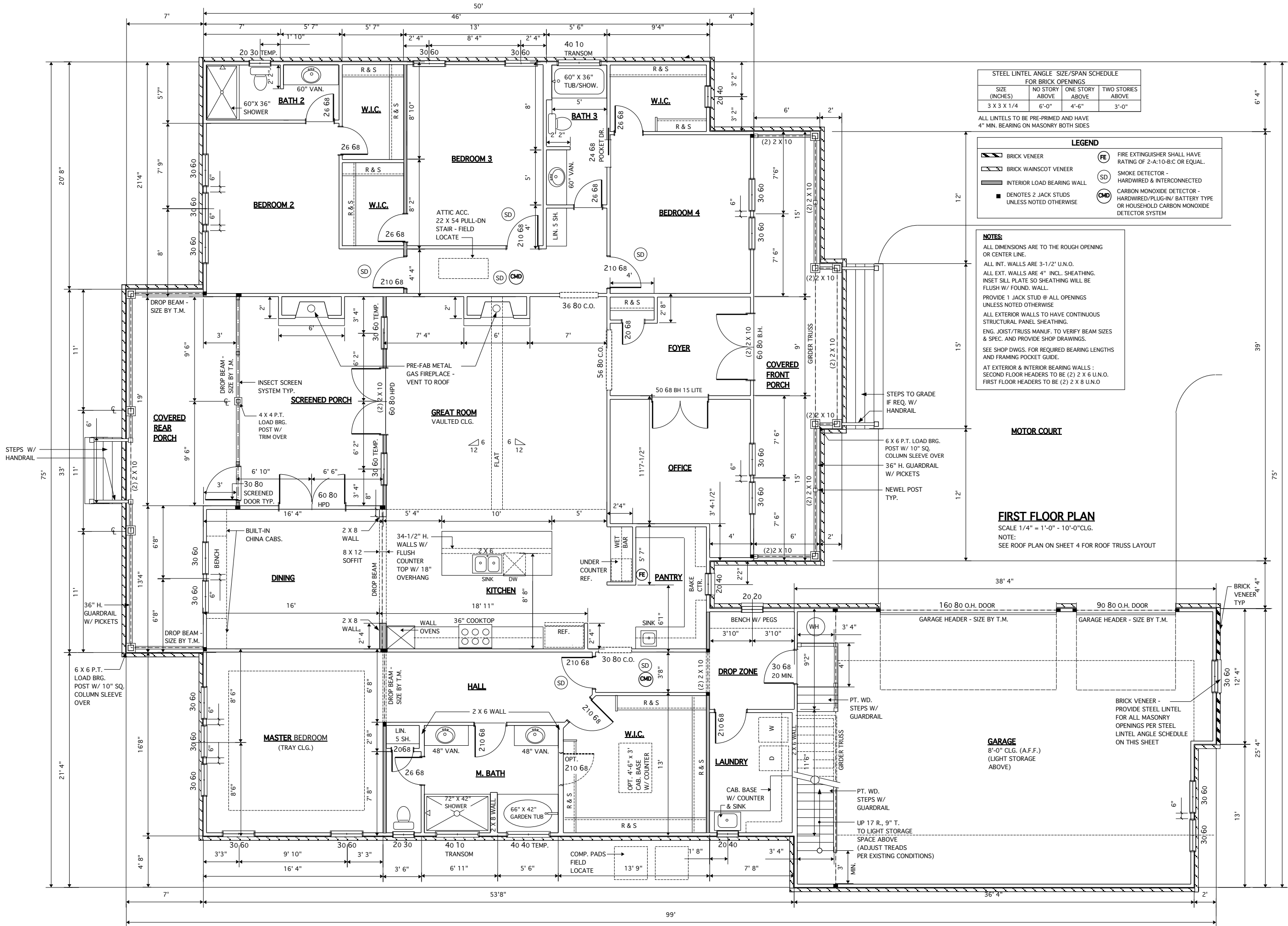


2.1



JAMES WENTLING/
ARCHITECT

LAND TITLE BUILDING
100 SOUTH BROAD STREET
SUITE 1524
PHILADELPHIA, PA 19110

(215) 568-2551
email - information@
wentlinghouseplans.com

ARCHITECTURE
LAND PLANNING
GRAPHICS



REVISIONS

MARK	DATE	DESCRIPTION
DN	11-14-23	REVIEW COMMENTS
DN	12-26-23	REDLINES REV.
DN	01-09-24	VENTED CRAWL FOUND.
JW	01-29-24	ATTIC TRUSS NOTES
JW	02-13-24	SHOP DWG. REVIEW

PROJECT NO. 144-10

DATE 10-05-23

SCALE AS NOTED

DRAWN BY DN

CHECKED BY JW

ISSUED FOR
PERMITS/CONSTRUCTION

DRAWINGS ON 11" X 17" SHEETS
ARE ONE HALF THE SCALE
THAT IS NOTED

PROJECT TITLE

PECORARO RESIDENCE
LOT 11
410 ARNIES LOOP
CAPE CHARLES, VA 23310

CLIENT

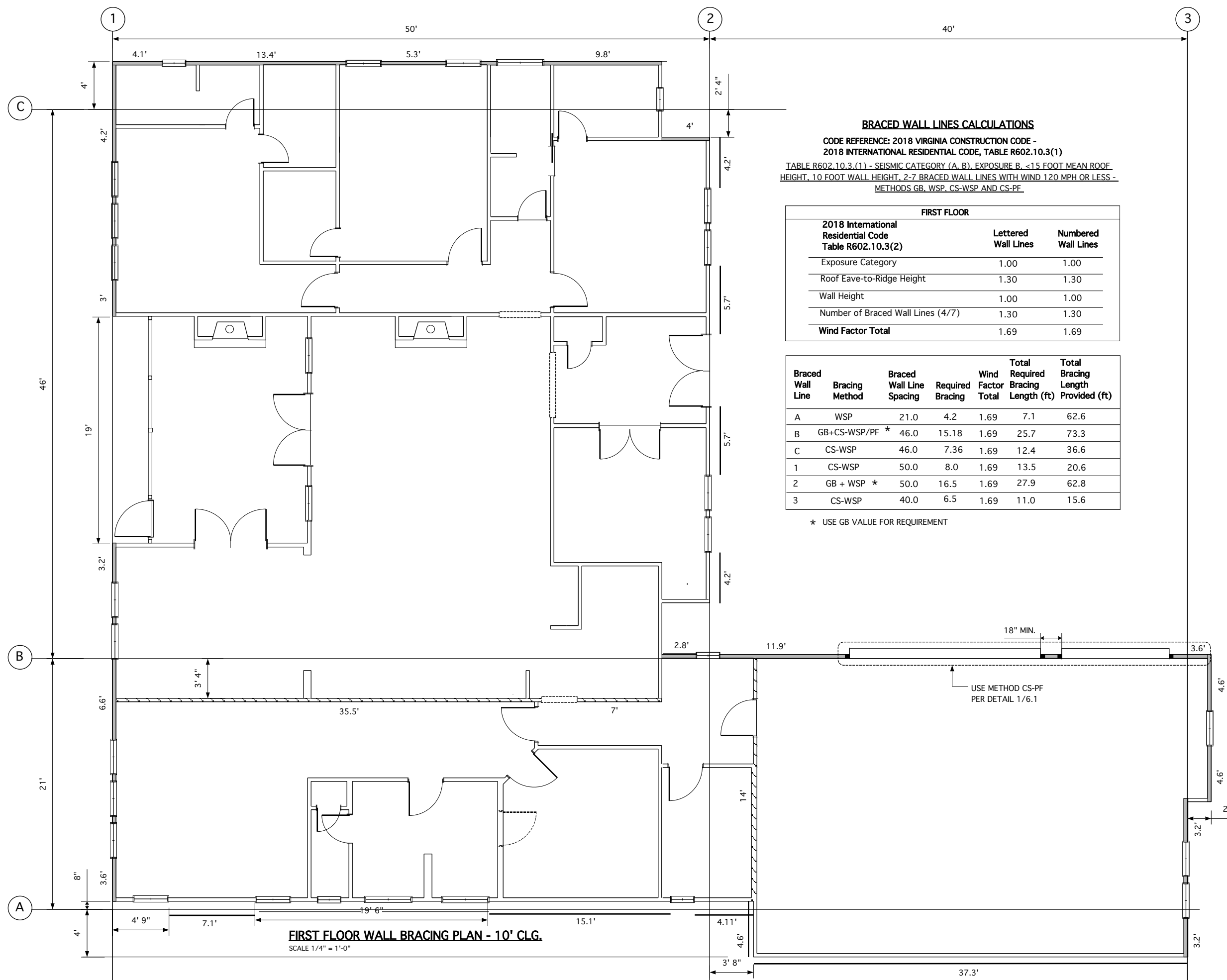
TERRY INDUSTRIES INC.
2509 George Mason Dr. #6894
Virginia Beach, VA 23456
(757) 636-8880

DRAWING TITLE

FLOOR FLOOR PLANS

SHEET

3



BRACED WALL LINES CALCULATIONS

CODE REFERENCE: 2018 VIRGINIA CONSTRUCTION CODE -
2018 INTERNATIONAL RESIDENTIAL CODE, TABLE R602.10.3(1)
TABLE R602.10.3.(1) - SEISMIC CATEGORY (A, B), EXPOSURE B, <15 FOOT MEAN ROOF
HEIGHT, 10 FOOT WALL HEIGHT, 2-7 BRACED WALL LINES WITH WIND 120 MPH OR LESS -
METHODS GB, WSP, CS-WSP AND CS-PF

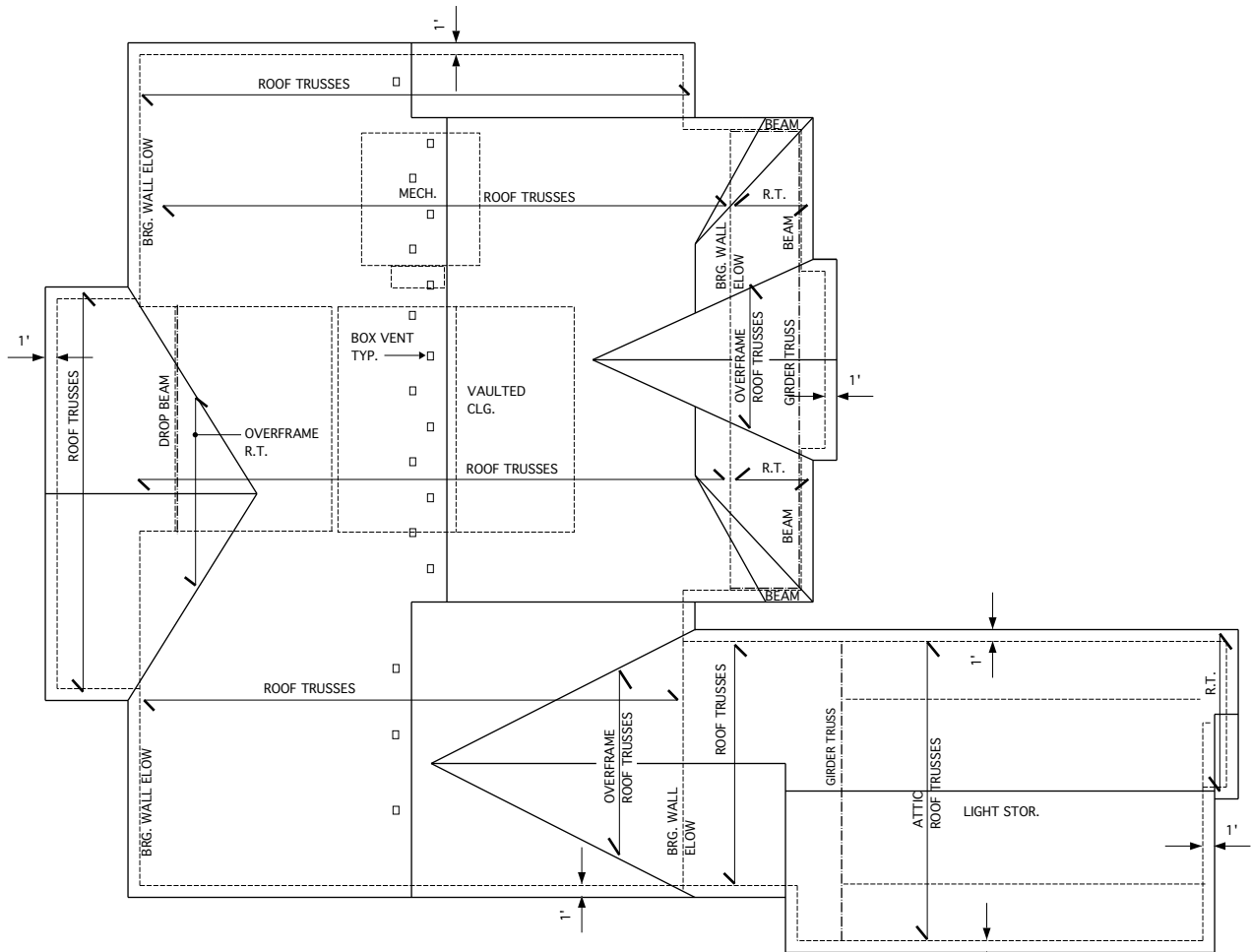
FIRST FLOOR		
2018 International Residential Code Table R602.10.3(2)	Lettered Wall Lines	Numbered Wall Lines
Exposure Category	1.00	1.00
Roof Eave-to-Ridge Height	1.30	1.30
Wall Height	1.00	1.00
Number of Braced Wall Lines (4/7)	1.30	1.30
Wind Factor Total	1.69	1.69

Braced Wall Line	Bracing Method	Braced Wall Line Spacing	Required Bracing	Wind Factor Total	Total Required Bracing Length (ft)	Total Bracing Length Provided (ft)
A	WSP	21.0	4.2	1.69	7.1	62.6
B	GB+CS-WSP/PF *	46.0	15.18	1.69	25.7	73.3
C	CS-WSP	46.0	7.36	1.69	12.4	36.6
1	CS-WSP	50.0	8.0	1.69	13.5	20.6
2	GB + WSP *	50.0	16.5	1.69	27.9	62.8
3	CS-WSP	40.0	6.5	1.69	11.0	15.6

* USE GB VALUE FOR REQUIREMENT

FIRST FLOOR WALL BRACING PLAN - 10' CLG.
SCALE 1/4" = 1'-0"

<div style="border: 1px solid black; border-radius: 50%; width: 150px; height: 150px; margin: 0 auto; position: relative;"><div style="position: absolute; top: 0; left: 0; width: 100%; height: 100%; background: radial-gradient(circle, transparent 1%, black 1%); background-size: 4px 4px;"></div><div style="position: absolute; top: 10px; left: 10px; width: 80%;"><p>JAMES WENTLING/ ARCHITECT</p><p>LAND TITLE BUILDING 100 SOUTH BROAD STREET SUITE 1524 PHILADELPHIA, PA 19110</p><p>(215) 568-2551 email - information@ wentlinghouseplans.com</p></div></div>		
<p>ARCHITECTURE</p> <p>LAND PLANNING</p> <p>GRAPHICS</p>		
<div style="border: 1px solid black; border-radius: 50%; width: 150px; height: 150px; margin: 0 auto; position: relative;"><div style="position: absolute; top: 0; left: 0; width: 100%; height: 100%; background: radial-gradient(circle, transparent 1%, black 1%); background-size: 4px 4px;"></div><div style="position: absolute; top: 10px; left: 10px; width: 80%;"><p>COMMONWEALTH OF VIRGINIA</p><p><i>James W. Wentling</i></p><p>JAMES W. WENTLING</p><p>No. 008412</p><p>ARCHITECT</p><p>2/13/24</p></div></div>		
REVISIONS		
MARK	DATE	DESCRIPTION
DN	11-14-23	REVIEW COMMENTS
PROJECT NO.		
144-10		
DATE		
10-26-23		
SCALE		
AS NOTED		
DRAWN BY		
DN		
CHECKED BY		
JW		
ISSUED FOR		
PERMITS/CONSTRUCTION		
<p>DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED</p>		
PROJECT TITLE		
<p>PECORARO RESIDENCE</p> <p>LOT 11</p> <p>410 ARNIES LOOP</p> <p>CAPE CHARLES, VA 23310</p>		
CLIENT		
<p>TERRY INDUSTRIES INC.</p> <p>2509 George Mason Dr. #6894</p> <p>Virginia Beach, VA 23456</p> <p>(757) 636-8880</p>		
DRAWING TITLE		
<p>WALL BRACING DIAGRAMS</p>		
SHEET		
<p>3.1</p>		



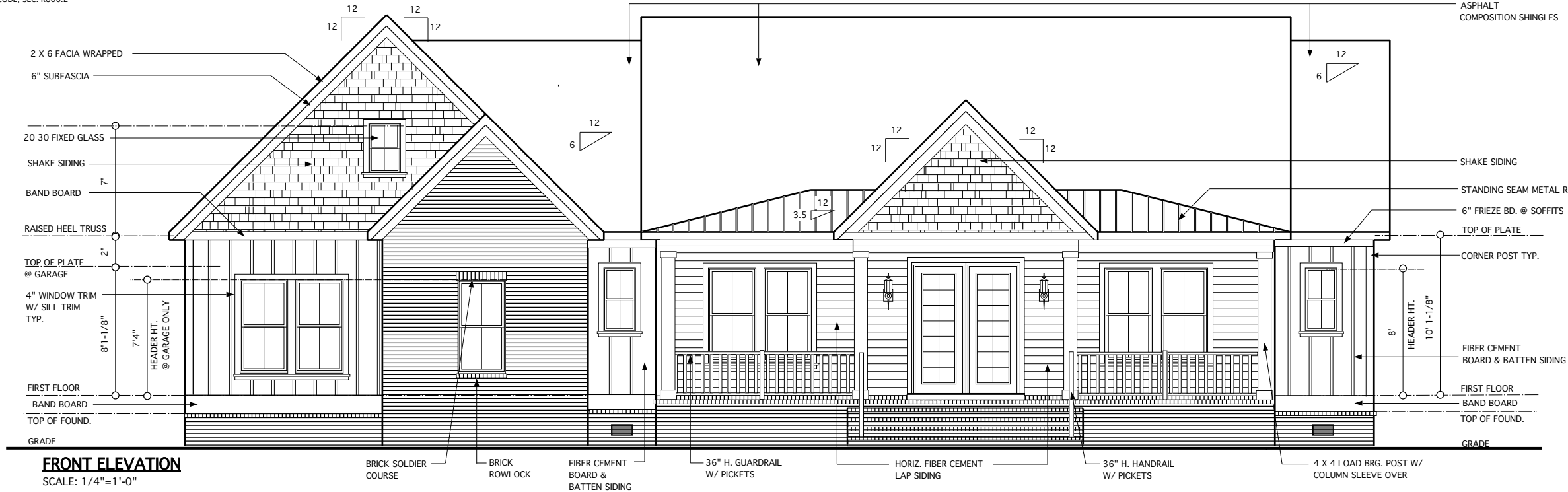
REQUIRED VENTILATION SCHEDULE		
	3,205 SQ. FT. OF CEILING AREA / 300	= 10.68 SQ. FT. REQ.
ROOF VENTS	10.68 X 0.5 = 5.34 SQ. FT. 5.34 SQ. FT. X 144 = 769 SQ. IN. 769 SQ. IN. / 50 SQ. IN. = 16 (50 SQ. IN. ALUM. LOUVER/EACH)	= 16 BOX VENTS REQ.
SOFFIT VENTS	10.68 X 0.5 = 5.34 SQ. FT. 5.34 SQ. FT. X 144 = 769 SQ. IN. 769 SQ. IN. / 9 SQ. IN. = 86 LIN. FT. (9 SQ. IN. VENT PER LIN. FT.)	= 86 LIN. FT. REQ. 223 LIN. FT PROVIDED

ROOF PLAN

SCALE: 1/8"=1'-0"

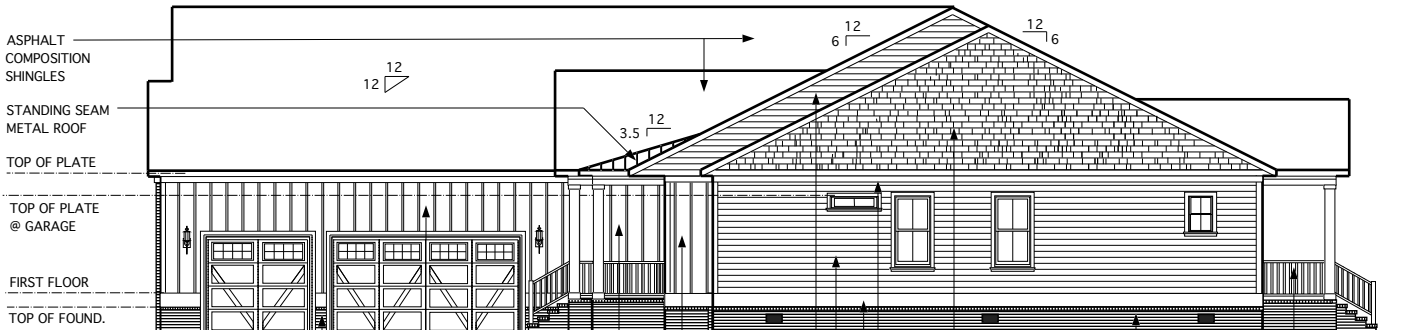
NOTE:
BUILDING ELEMENTS ARE TO BE APPLIED TO MEET
LOCAL WINDLOAD REQUIREMENTS

CODE REFERENCE: 2018 VA RESIDENTIAL CODE, SEC. R806.2



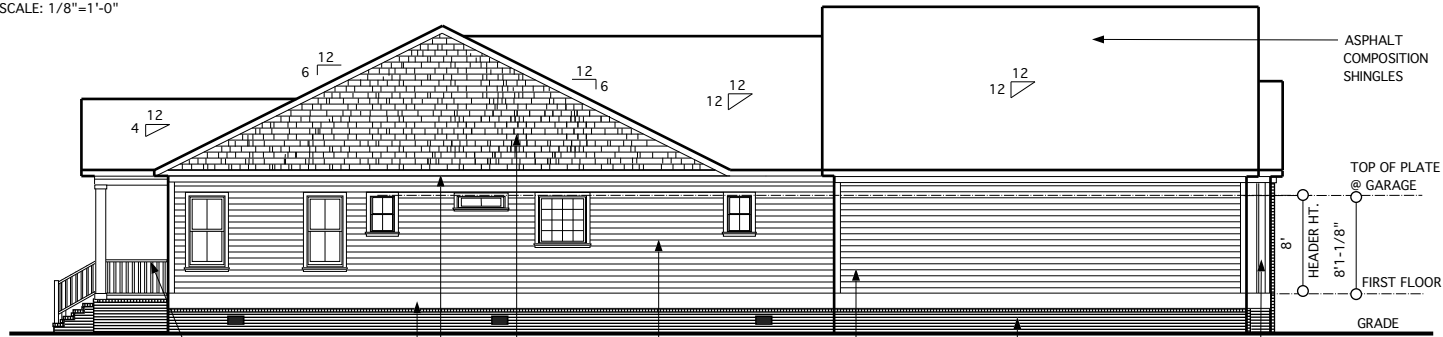
FRONT ELEVATION

SCALE: 1/4"=1'-0"



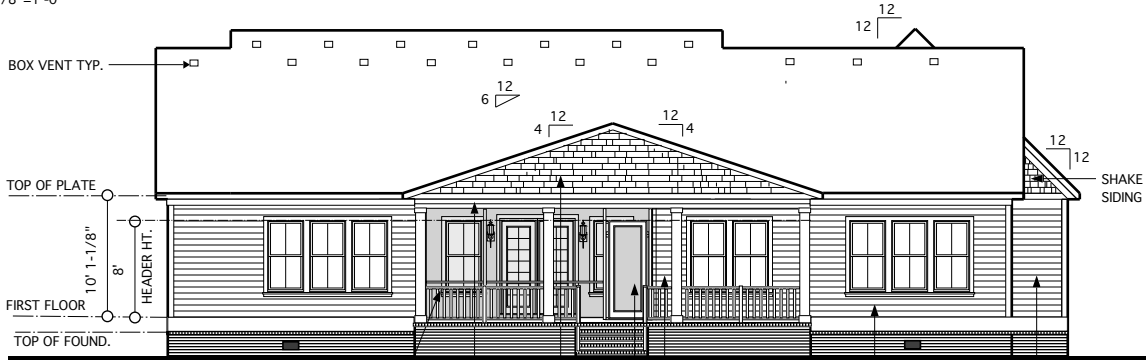
RIGHT ELEVATION

SCALE: 1/8"=1'-0"



LEFT ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"

JAMES WENTLING/
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ARCHITECTURE
LAND PLANNING
GRAPHICS



REVISIONS

MARK	DATE	DESCRIPTION
DN	10-26-23	REVIEW COMMENTS
DN	11-14-23	REVIEW COMMENTS
DN	01-02-24	REDLINES REV.
DN	01-09-24	VENTED CRAWL FOUND.
JW	02-13-24	SHOP DWG. REVIEW

PROJECT NO.	144-10
DATE	10-05-23
SCALE	AS NOTED
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

DRAWINGS ON 11" X 17" SHEETS
ARE ONE HALF THE SCALE
THAT IS NOTED

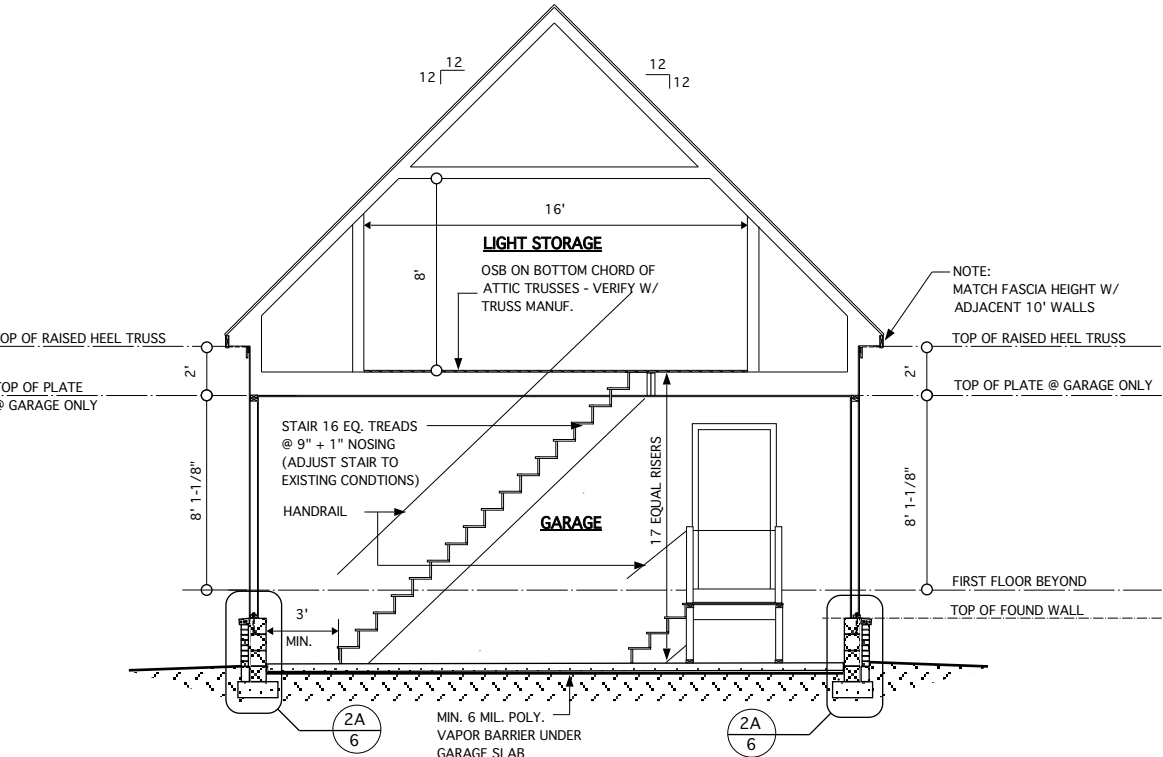
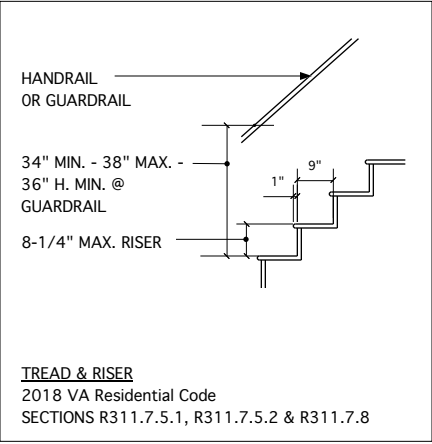
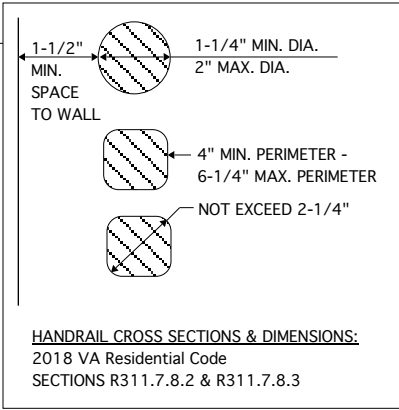
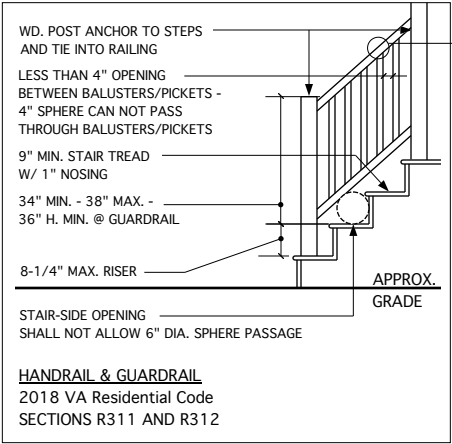
PROJECT TITLE
PECORARO RESIDENCE
LOT 11
410 ARNIES LOOP
CAPE CHARLES, VA 23310

CLIENT
TERRY INDUSTRIES INC.
2509 George Mason Dr. #6894
Virginia Beach, VA 23456
(757) 636-8880

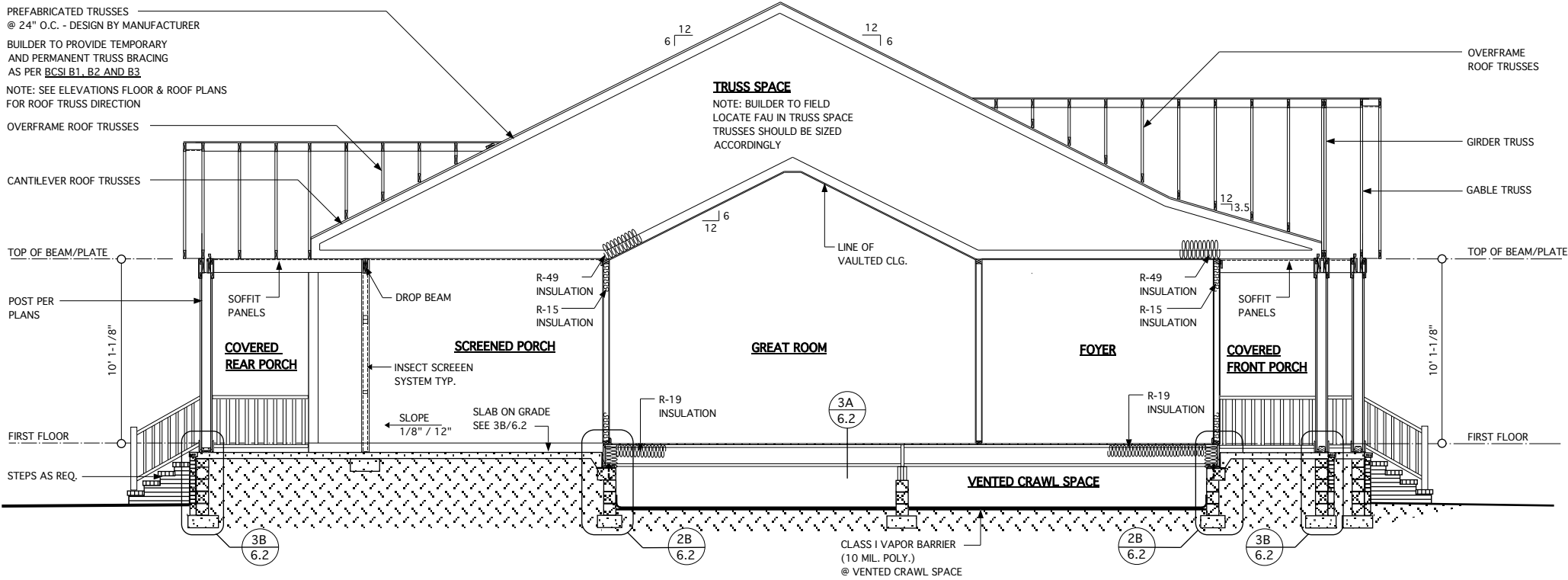
DRAWING TITLE
ELEVATIONS

SHEET

4



TYPICAL BUILDING SECTION @ GARAGE
SCALE: 1/4" = 1'-0"



TYPICAL BUILDING SECTION @ CRAWL CONDITION
SCALE: 1/4" = 1'-0"

JAMES WENTLING/ ARCHITECT

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SUITE 1524
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ARCHITECTURE
LAND PLANNING
GRAPHICS

COMMONWEALTH OF VIRGINIA
JAMES W. WENTLING
No. 008412
ARCHITECT
2/15/24

REVISIONS		
MARK	DATE	DESCRIPTION
DN	01-02-23	REDLINES REV./CRAWL FOUND. COND.
DN	01-09-24	VENTED CRAWL FOUND.
JW	01-29-24	ATTIC TRUSS NOTES
JW	02-13-24	SHOP DWG. REVIEW

PROJECT NO. 144-10

DATE 10-26-23

SCALE AS NOTED

DRAWN BY DN

CHECKED BY JW

ISSUED FOR PERMITS/CONSTRUCTION

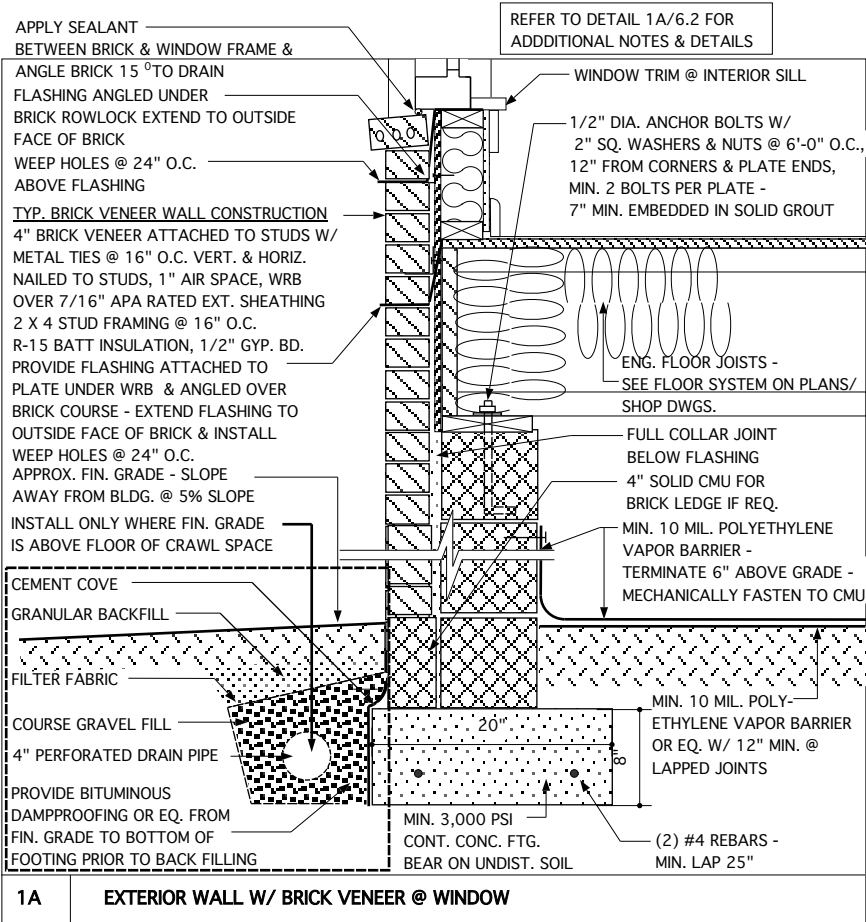
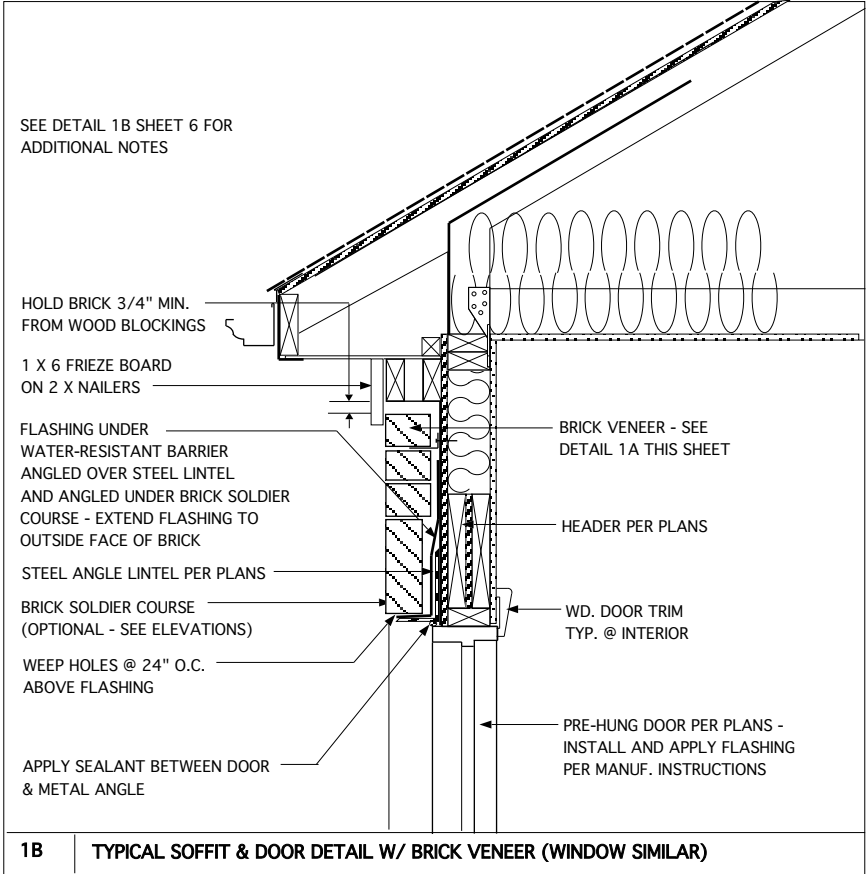
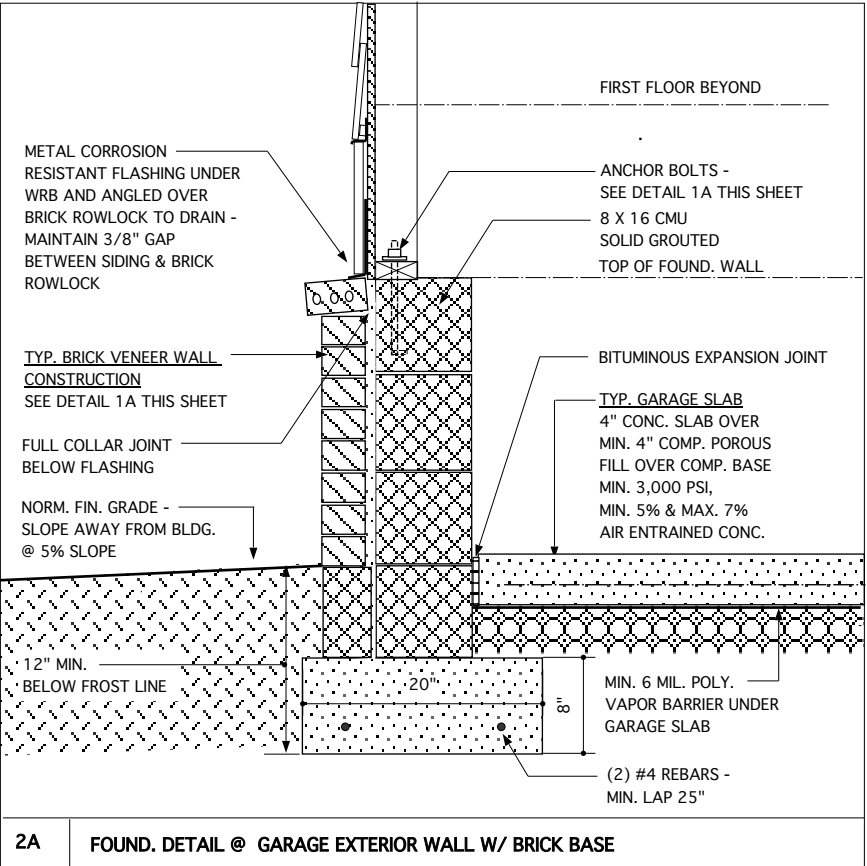
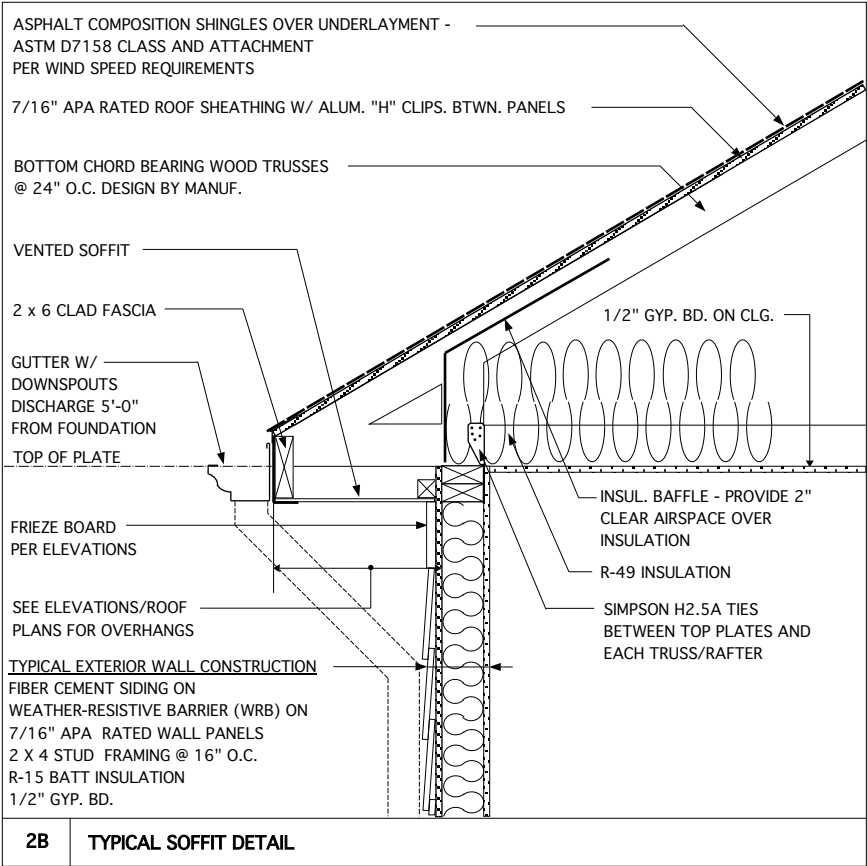
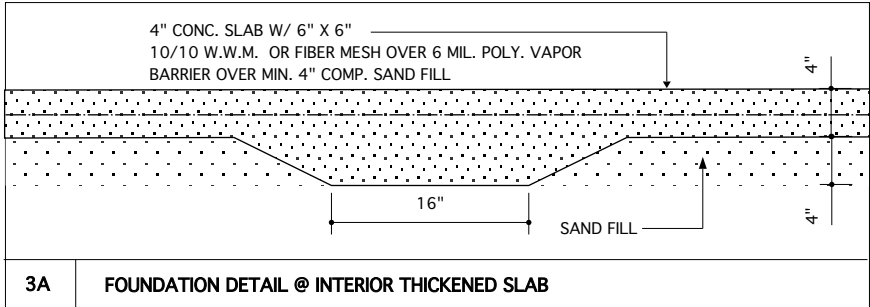
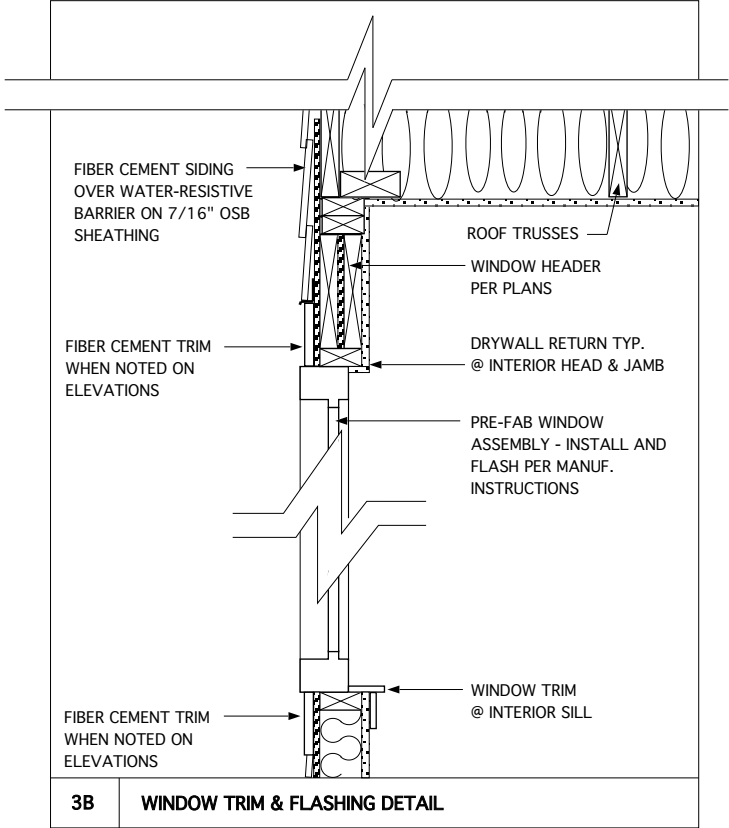
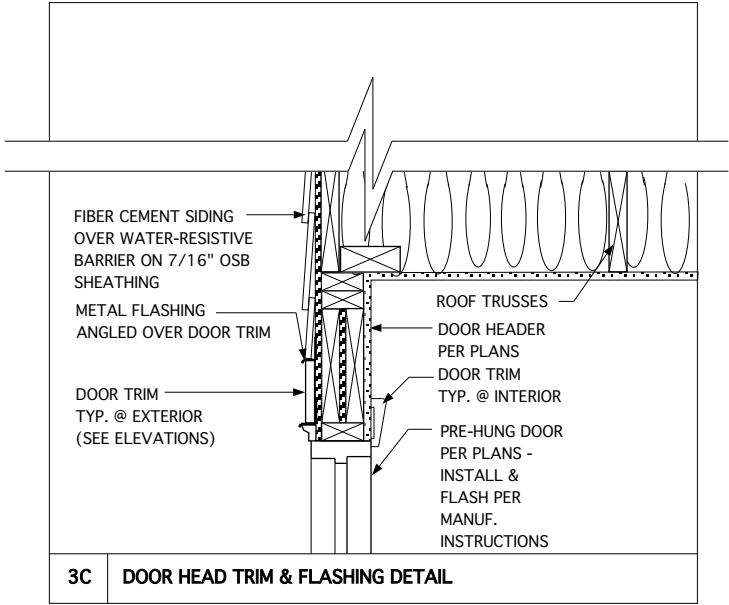
DRAWINGS ON 11" X 17" SHEETS ARE ONE HALF THE SCALE THAT IS NOTED

PROJECT TITLE
PECORARO RESIDENCE
LOT 11
410 ARNIES LOOP
CAPE CHARLES, VA 23310

CLIENT
TERRY INDUSTRIES INC.
2509 George Mason Dr. #6894
Virginia Beach, VA 23456
(757) 636-8880

DRAWING TITLE
BUIDLING SECTIONS

SHEET
5



JAMES WENTLING/
ARCHITECT

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ARCHITECTURE
LAND PLANNING
GRAPHICS

COMMONWEALTH OF VIRGINIA

James W. Wentling

JAMES W. WENTLING

No. 008412

ARCHITECT

2/15/24

REVISIONS

MARK	DATE	DESCRIPTION
DN	11-14-23	MINOR UPDATES
DN	01-02-24	UPDATE FOUND. DTL. W/ BRICK/ADD CRAWL DTL.S.
DN	01-09-24	VENTED CRAWL FOUND.
JW	02-13-24	SHOP DWG. REVIEW

PROJECT NO.

144-10

DATE

10-26-23

SCALE

1-1/2" = 1' 0"

DRAWN BY

DN

CHECKED BY

JW

ISSUED FOR

PERMITS/CONSTRUCTION

DRAWINGS ON 11" X 17" SHEETS
ARE ONE HALF THE SCALE
THAT IS NOTED

PROJECT TITLE

PECORARO RESIDENCE

LOT 11

410 ARNIES LOOP

CAPE CHARLES, VA 23310

CLIENT

TERRY INDUSTRIES INC.

2509 George Mason Dr. #6894

Virginia Beach, VA 23456

(757) 636-8880

DRAWING TITLE

CRAWL FOUNDATION,
WALL & SOFFIT
DETAILS

SHEET

6

LOW SLOPE APPLICATIONS

Asphalt strip shingles may be used on slopes ranging from 2"-4" per foot if special procedures are followed. Never use shingles on slopes lower than 2" per foot.

Low slopes can lead to problems because water drains slowly from these slopes, creating the greater possibility of water backup and damage from ice dams. The special application method described below for applying shingles on low slopes ensures that the roof remains weather-tight.

A. Underlayment

There are two methods of applying underlayment for low slope application. There is the traditional method shown in Figure 12-1 that is described below. The second method uses the self-adhered shingle underlayment in place of the non-perforated asphalt saturated felt.

On low slope applications, cover the deck with two layers of non-perforated asphalt saturated felt or one layer of an appropriate self-adhered shingle underlayment. Begin by fastening a 19" wide strip of underlayment placed along the eave. Place a full width sheet over the starter sheet with the long edge placed along the eave and completely overlapping the initial layer.

All succeeding courses will be a minimum of 36" wide and should be positioned to overlap the preceding course by 19". Secure each course by using only enough fasteners to hold it in place until the shingles are applied. End laps should be 12" wide and located at least 6 feet from end laps in the preceding course.

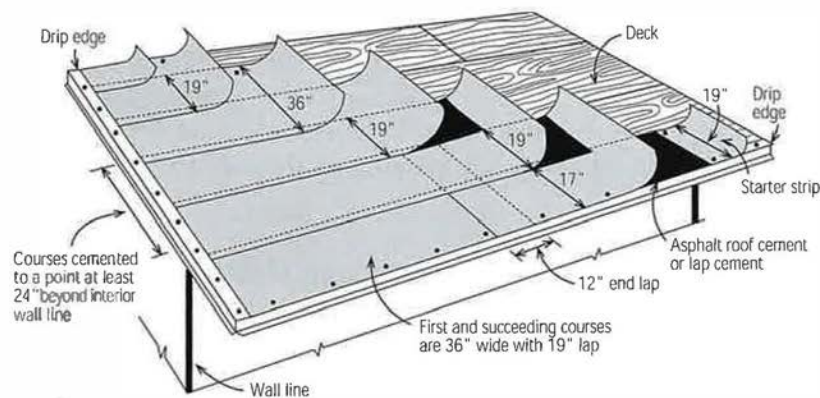


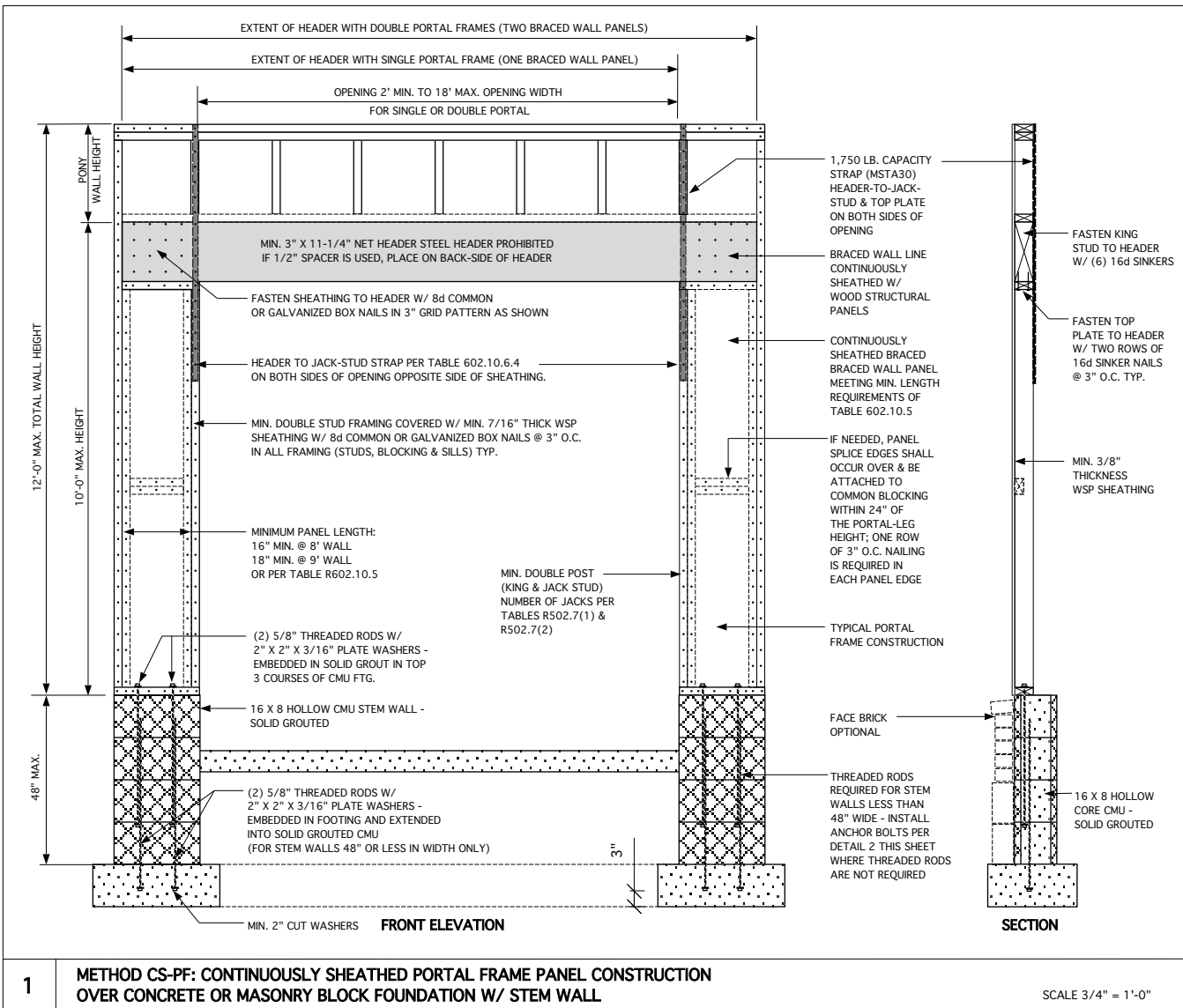
Figure 12-1
Application of underlay-
ment on low slopes
where icing along the
eave is anticipated

[Note]
Self-adhered shingle underlayments are commonly used for ice dam protection. If one of these products is used, follow the manufacturer's application instructions.

2A LOW SLOPE (LESS THAN 4:12) UNDERLAYMENT APPLICATION

N.T.S.

FIGURE REFERENCE: ASPHALT ROOFING RESIDENTIAL MANUAL



1 METHOD CS-PF: CONTINUOUSLY SHEATHED PORTAL FRAME PANEL CONSTRUCTION OVER CONCRETE OR MASONRY BLOCK FOUNDATION W/ STEM WALL

SCALE 3/4" = 1'-0"

CODE REFERENCE: 2018 VIRGINIA RESIDENTIAL CODE, FIGURE R602.10.6.4

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ARCHITECTURE
LAND PLANNING
GRAPHICS



REVISIONS

MARK	DATE	DESCRIPTION
DN	12-26-23	UPDATE DTL. 2A/6.1

PROJECT NO.

144-10

DATE

10-26-23

SCALE

3/4" = 1'-0" U.N.O.

DRAWN BY

DN

CHECKED BY

JW

ISSUED FOR

PERMITS/CONSTRUCTION

**DRAWINGS ON 11" X 17" SHEETS
ARE ONE HALF THE SCALE
THAT IS NOTED**

PROJECT TITLE

PECORARO RESIDENCE
LOT 11
410 ARNIES LOOP
CAPE CHARLES, VA 23310

CLIENT

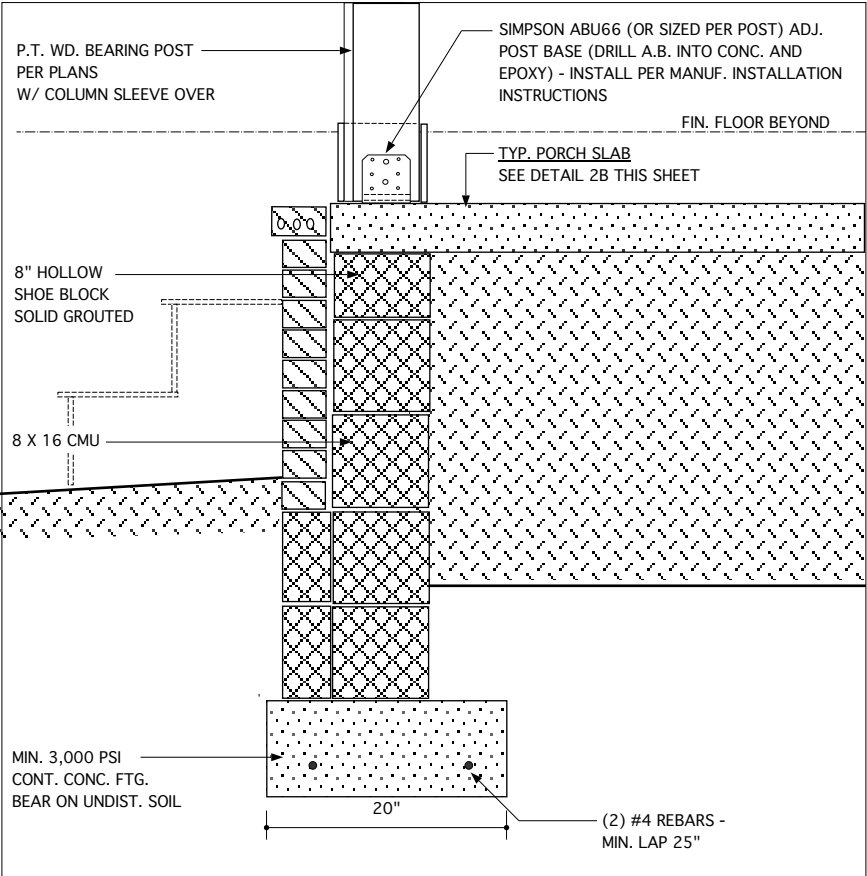
TERRY INDUSTRIES INC.
2509 George Mason Dr. #6894
Virginia Beach, VA 23456
(757) 636-8880

DRAWING TITLE

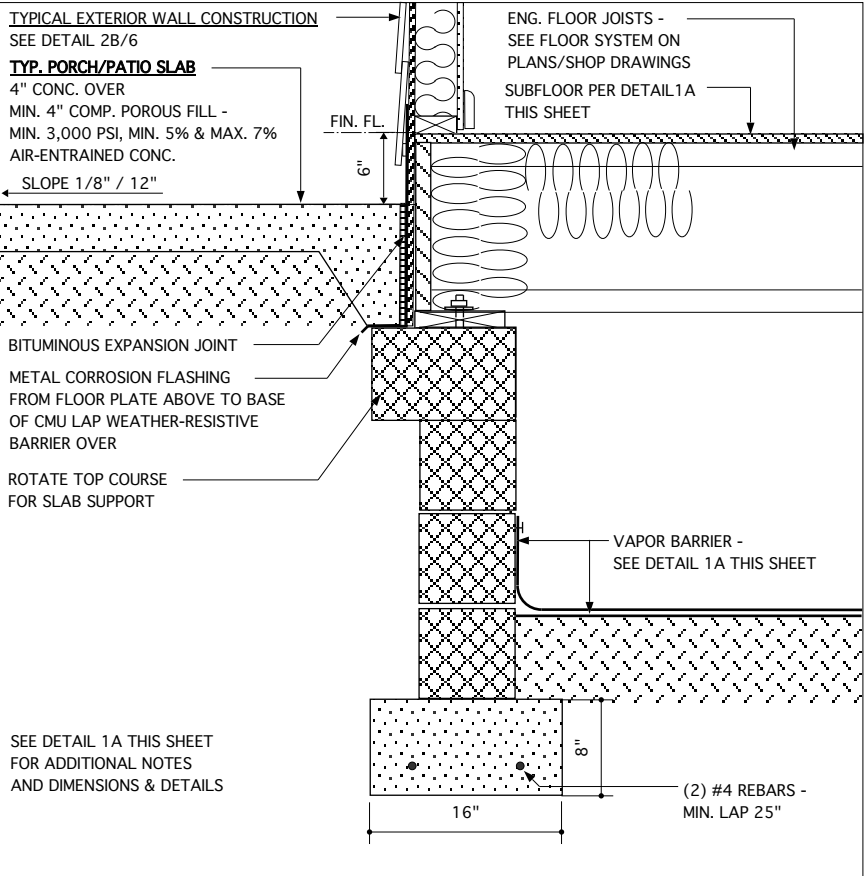
**STANDARD AND
PORTAL WALL
BRACING DETAILS**

SHEET

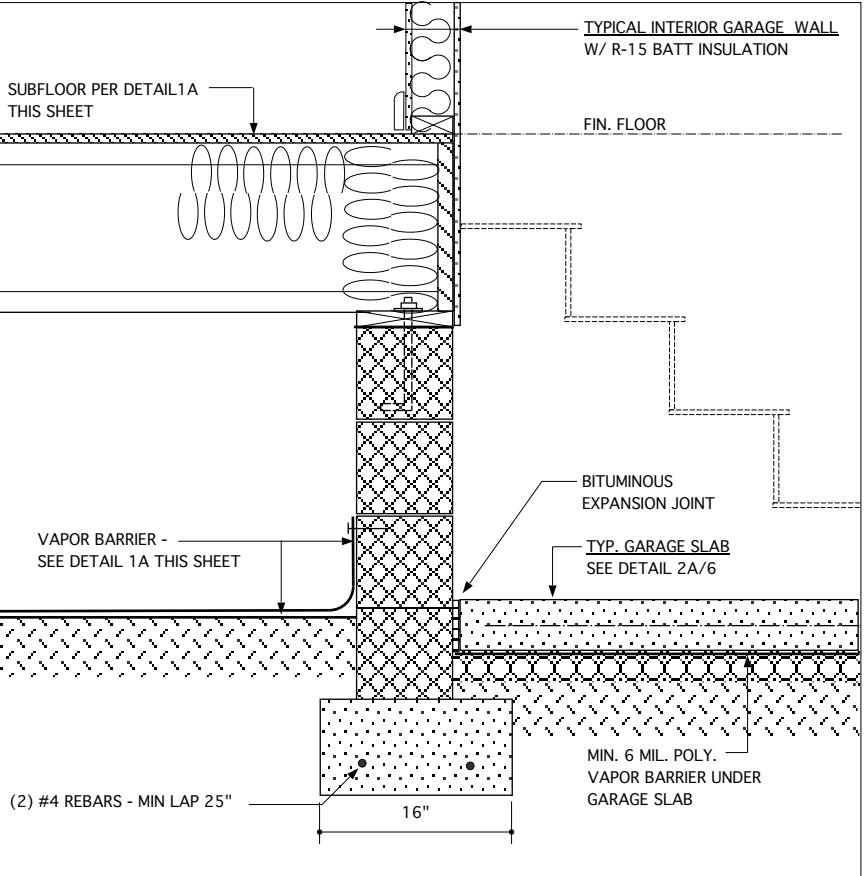
6.1



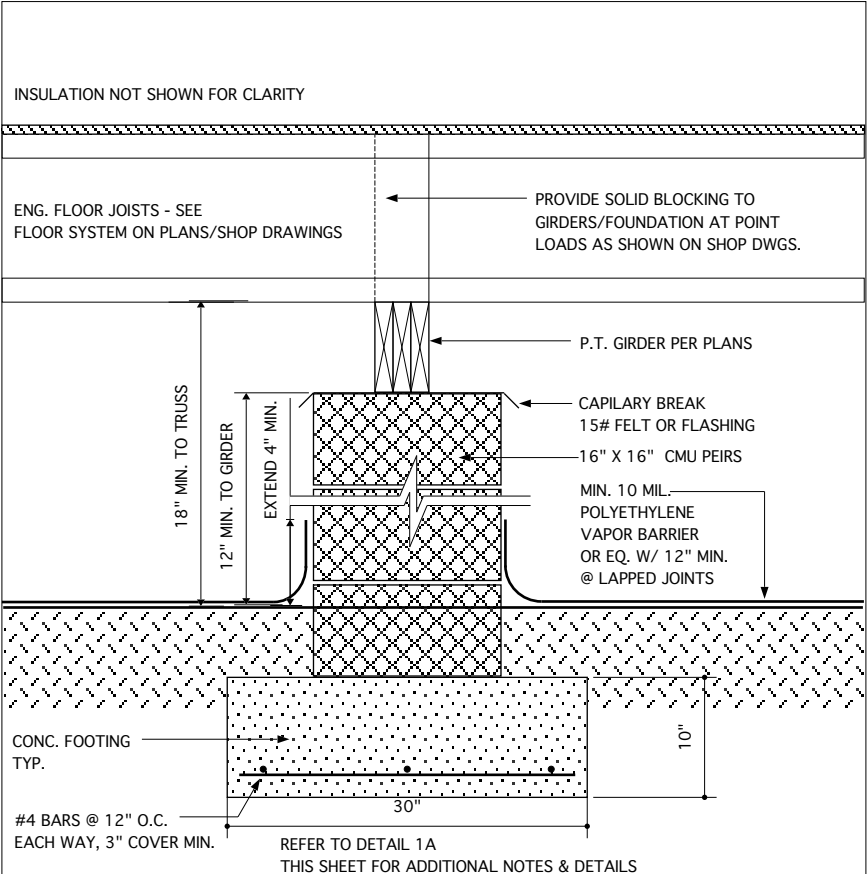
3B FOUND. DETAIL @ PORCH SLAB



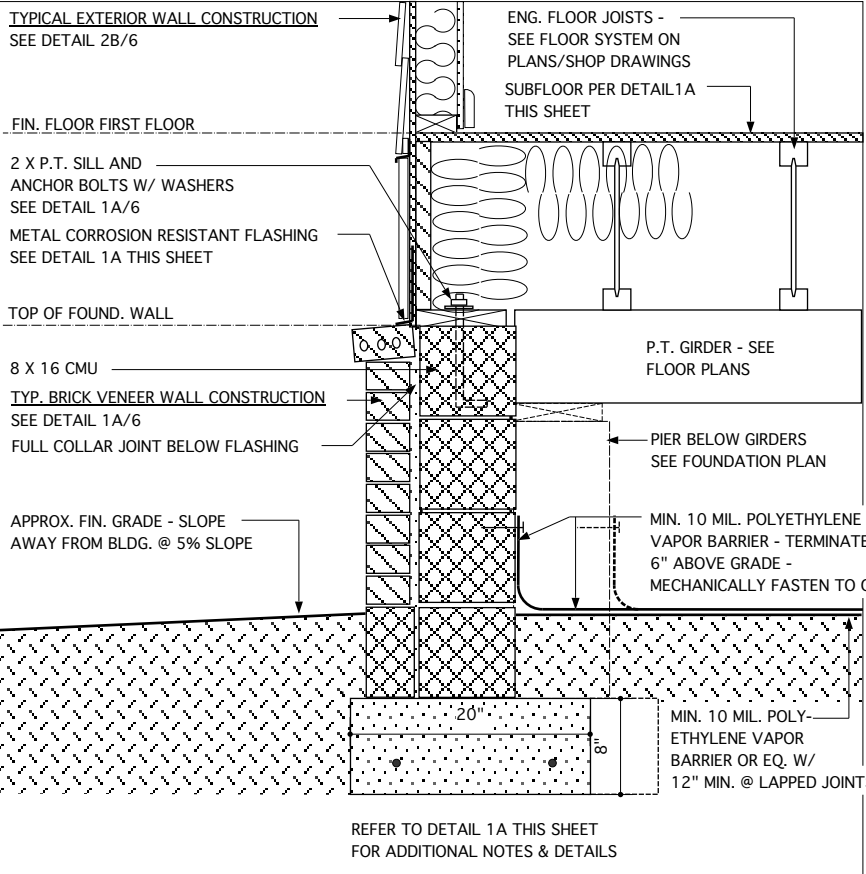
2B FOUND. DETAIL @ PORCH/PATIO & INTERIOR



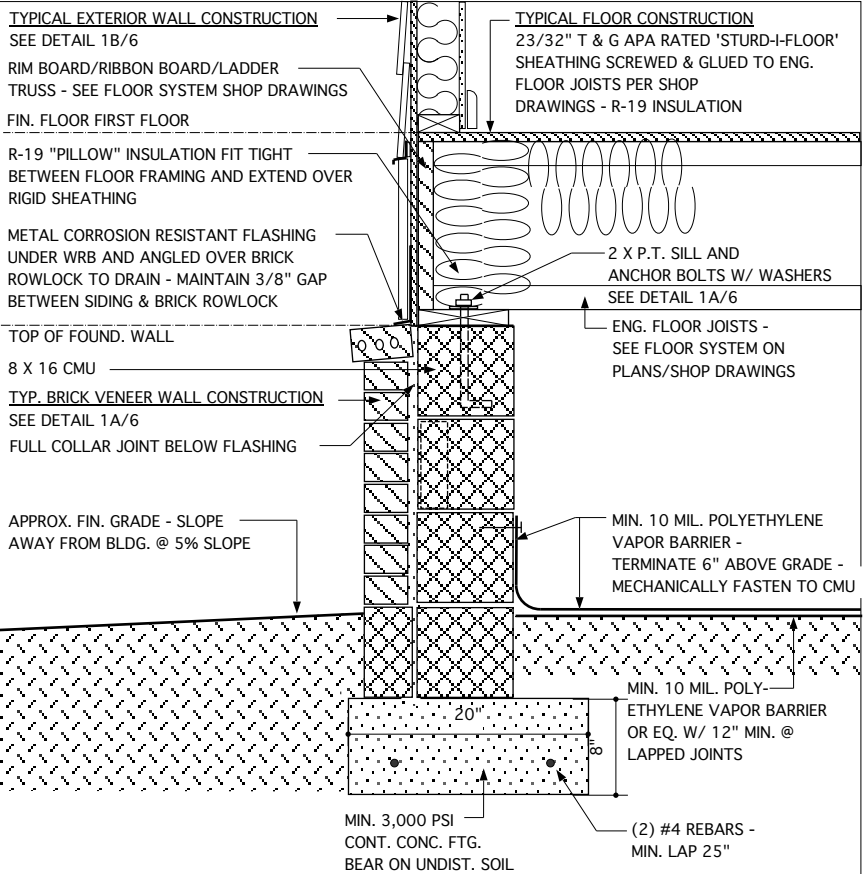
1B CRAWL FOUND. DETAIL GARAGE/INTERIOR WALL



3A INTERIOR PIER DETAIL



2A FOUND. DETAIL @ EXT. WALL (JOISTS PARALLEL TO WALL)



1A FOUND. DETAIL @ EXT. WALL (JOISTS PERPENDICULAR TO WALL)

JAMES WENTLING/
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ARCHITECTURE
LAND PLANNING
GRAPHICS

COMMONWEALTH OF VIRGINIA
JAMES W. WENTLING
No. 008412
ARCHITECT
2/15/24

REVISIONS		
MARK	DATE	DESCRIPTION
DN	01-09-24	VENTED CRAWL FOUND.
JW	02-13-24	SHOP DWG. REVIEW

PROJECT NO.	144-10
DATE	01-02-24
SCALE	1-1/2" = 1'-0"
DRAWN BY	DN
CHECKED BY	JW
ISSUED FOR	PERMITS/CONSTRUCTION

DRAWINGS ON 11" X 17" SHEETS
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THAT IS NOTED

PROJECT TITLE

PECORARO RESIDENCE
LOT 11
410 ARNIES LOOP
CAPE CHARLES, VA 23310

CLIENT

TERRY INDUSTRIES INC.
2509 George Mason Dr. #6894
Virginia Beach, VA 23456
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DRAWING TITLE

CRAWL FOUNDATION
DETAILS

SHEET

6.2