



MARTIN RESIDENCE

1113 NORTH SHORE ROAD
NORFOLK, VA 23505

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BUILDING DATA:

1ST FLOOR LIVING SPACE:	X,XXX S.F.
2ND FLOOR LIVING SPACE:	X,XXX S.F.
TOTAL LIVING SPACE:	X,XXX S.F.
1ST FLOOR COVERED PORCH:	XXX S.F.
1ST FLOOR UNCOVERED PORCH:	XXX S.F.
GARAGE:	XXX S.F.
ZONING DATA:	
G-PIN:	XXXXXXXXXXXXXX
LOT No.:	XX
ADDRESS:	1113 NORTH SHORE ROAD NORFOLK, VA 23505
ZONED:	R-XX
CLIMATE ZONE:	XX

BUILDING DESIGN CRITERIA:

CODES:	
2018 VIRGINIA CONSTRUCTION CODE (VCC)	
2018 UNIFORM STATEWIDE BUILDING CODES (USBC)	
*SEE DESIGN LOADS ON GENERAL NOTES SHEET S0.1.	

GENERAL NOTES

- ALL LOCATIONS OF ELECTRICAL OUTLETS, LIGHTS, TV CABLE, TELEPHONES, THERMOSTATS, ETC. SHALL BE CONFIRMED BY THE OWNER, PRIOR TO ROUGH-IN.
- DIMENSIONS ARE TAKEN FROM FACE OF EXTERIOR SHEATHING TO FACE OF STUD TO FACE OF INTERIOR STUD, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO CONFIRM ALL PRODUCTS + MATERIALS (SUCH AS OWNER SUPPLIED ITEMS, FINISH + PLUMBING SELECTIONS, LIGHTING, ETC.) WITH OWNER PRIOR TO PURCHASING / INSTALLING SUCH ITEMS.
- OWNER, ARCHITECT, GENERAL CONTRACTOR + GENERAL CONTRACTOR'S MECHANICAL SUBCONTRACTOR SHALL MEET TO FINALIZE HVAC SYSTEMS AND DUCTWORK LAYOUT PRIOR TO BEGINNING CONSTRUCTION.

HVAC

FIRST FLOOR DUCTWORK MUST BE IN THE CEILING STRUCTURE ABOVE; AIR HANDLER MUST BE LOCATED IN THE GARAGE STORAGE AREA. SECOND FLOOR DUCTWORK AND AIR HANDLER MUST BE IN THE ATTIC. OUTDOOR UNITS MUST BE AS SHOWN ON APPROVED CIVIL SITE PLAN.

ROOF SHALL BE UNVENTED

PER SECTION R806.5 UNVENTED ATTIC ASSEMBLIES: UNVENTED ATTIC ASSEMBLIES (SPACES BETWEEN THE CEILING JOISTS OF THE TOP STORY AND THE ROOF RAFTERS) SHALL COMPLY WITH THE FOLLOWING CONDITIONS:

THE UNVENTED ATTIC SPACE SHALL BE COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE.

NO INTERIOR VAPOR RETARDERS SHALL BE INSTALLED ON THE CEILING SIDE (ATTIC FLOOR) OF THE UNVENTED ASSEMBLY.

AIR-IMPERMEABLE AND AIR-PERMEABLE INSULATION: THE AIR-IMPERMEABLE INSULATION (2" OF CLOSED CELL FOAM) SHALL BE APPLIED IN DIRECT CONTACT WITH THE UNDERSIDE OF THE STRUCTURAL ROOF SHEATHING AS SPECIFIED IN TABLE R806.4 FOR CONDENSATION CONTROL. THE AIR PERMEABLE BATT INSULATION SHALL BE INSTALLED DIRECTLY UNDER THE AIR-IMPERMEABLE INSULATION, FOR A TOTAL ROOF/CEILING R-VALUE OF R-38.

SLEEPING ROOM EMERGENCY ESCAPE

DOORS AND WINDOWS ON FLOOR PLANS MARKED WITH THE WORD 'EXIT' ARE TO COMPLY WITH SLEEPING ROOM EGRESS REQUIREMENTS PER THE 2018 VIRGINIA CONSTRUCTION CODE, IRC SECTION R310.1 G.C. MUST NOTIFY ARCHITECT IF SPECIFIED WINDOWS DO NOT COMPLY PRIOR TO PLACING WINDOW ORDER!

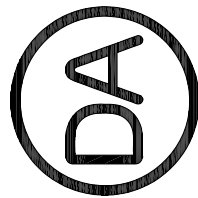
SAFETY GLAZING IN HAZARDOUS LOCATIONS

GLAZING IN ALL DOORS, AND IN WINDOWS ON FLOOR PLANS MARKED THUS  ARE TO COMPLY WITH THE SAFETY GLAZING REQUIREMENTS OF THE 2018 IRC SECTION R308.4. G.C. MUST NOTIFY ARCHITECT IF OTHER GLAZED AREAS MUST COMPLY PRIOR TO PLACING ORDER.

SMOKE / CARBON MONOXIDE ALARMS

COMBINATION OF SMOKE AND CARBON MONOXIDE DETECTORS MUST BE LOCATED WHERE SHOWN ON PLANS AND MUST BE HARDWIRED AND INTERCONNECTED, WITH BATTERY BACK-UP, AS REQUIRED BY THE 2018 IRC SECTION R314.

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MARTIN RESIDENCE
RENOVATION AND ADDITION

1113 NORTH SHORE RD
NORFOLK, VIRGINIA

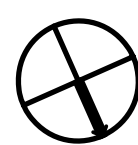
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	DATE:	1/11/2022
	SCALE:	AS NOTED
	JOB NO.:	21004

SHEET NO.

T-1

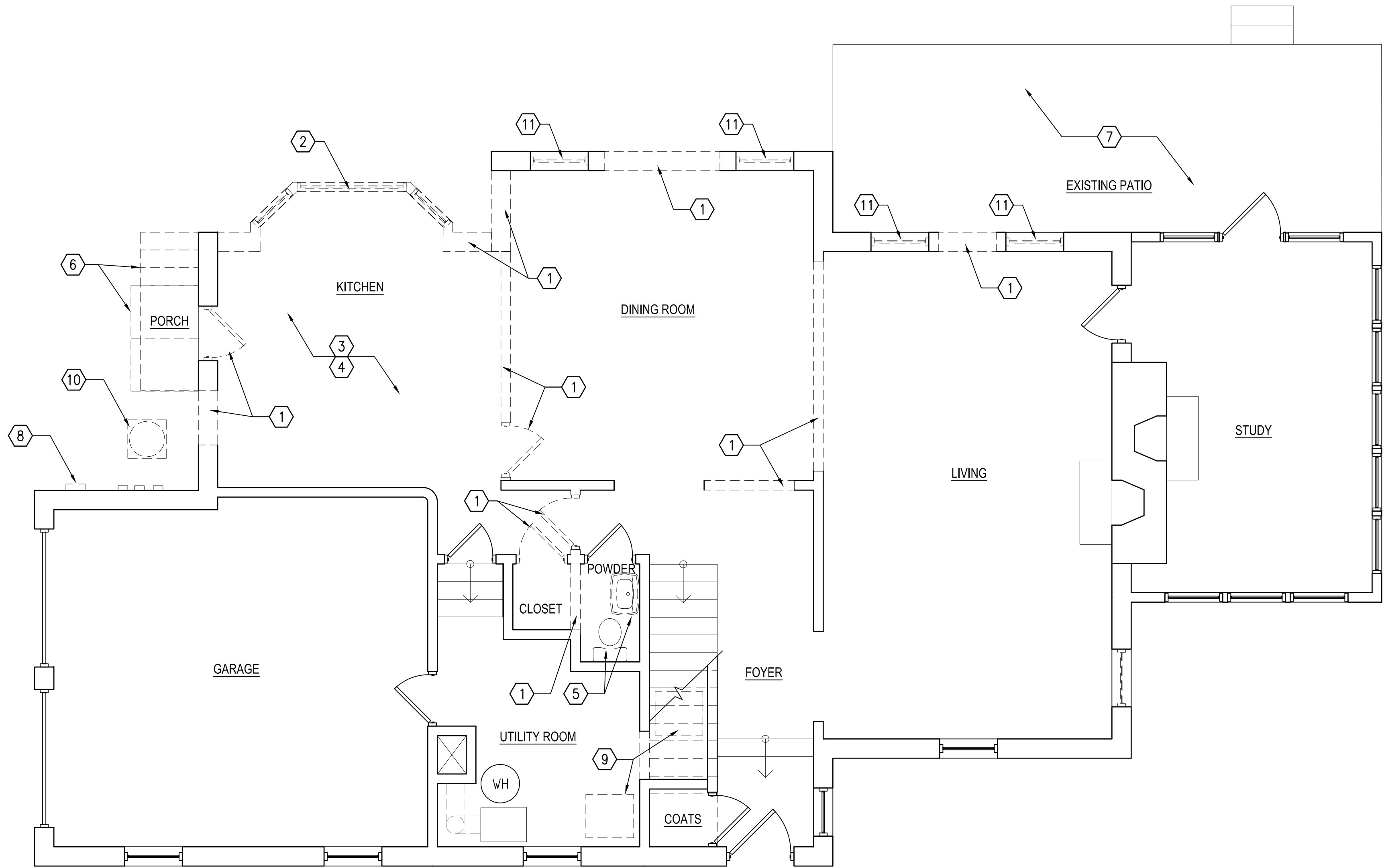
SHT. 1 OF 13

TITLE SHEET



FIRST FLOOR DEMOLITION PLAN

1/4" = 1'-0"



GENERAL NOTES:

- SALVAGE AND STORE ALL EXISTING INTERIOR DOORS SHOWN TO BE REMOVED, FOR POSSIBLE INSTALLATION IN NEW LOCATIONS, UNTIL END OF PROJECT.

DEMOLITION NOTES:

- 1 REMOVE WINDOW, DOOR, AND/OR WALL AS INDICATED, PREPARE OPENINGS TO RECEIVE NEW WINDOW, DOOR OR INFILL AS SHOWN ON NEW WORK PLAN.
- 2 REMOVE EXISTING WINDOW BAY, FOUNDATION, AND ROOF, COMPLETE.
- 3 REMOVE ALL EXISTING CASEWORK, APPLIANCES, AND PLUMBING FIXTURES AS REQUIRED FOR NEW WORK. REFER TO NEW WORK PLANS.
- 4 REMOVE FLOORING/TILES DOWN TO SUBFLOOR IN THIS ROOM, PREPARE FLOORS TO RECEIVE NEW FINISHES.
- 5 REMOVE EXISTING PLUMBING FIXTURE.
- 6 REMOVE EXISTING EXTERIOR PORCH, COMPLETE.
- 7 REMOVE EXISTING MASONRY PAVERS. FOUNDATION WALLS AND STEPS TO REMAIN.
- 8 COORDINATE O.H. POWER LINE AND ELECTRICAL DEMO / RELOCATION WITH ELECTRICAL CONTRACTOR.
- 9 REMOVE AND DISCARD EXISTING WASHER & DRYER
- 10 RELOCATE EXISTING HVAC UNIT PER NEW WORK PLAN
- 11 REMOVE EXISTING WINDOW; PREPARE OPENING TO RECEIVE NEW WINDOW AND / OR DOORS

GRAPHIC SCALE:



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MARTIN RESIDENCE
RENOVATION AND ADDITION

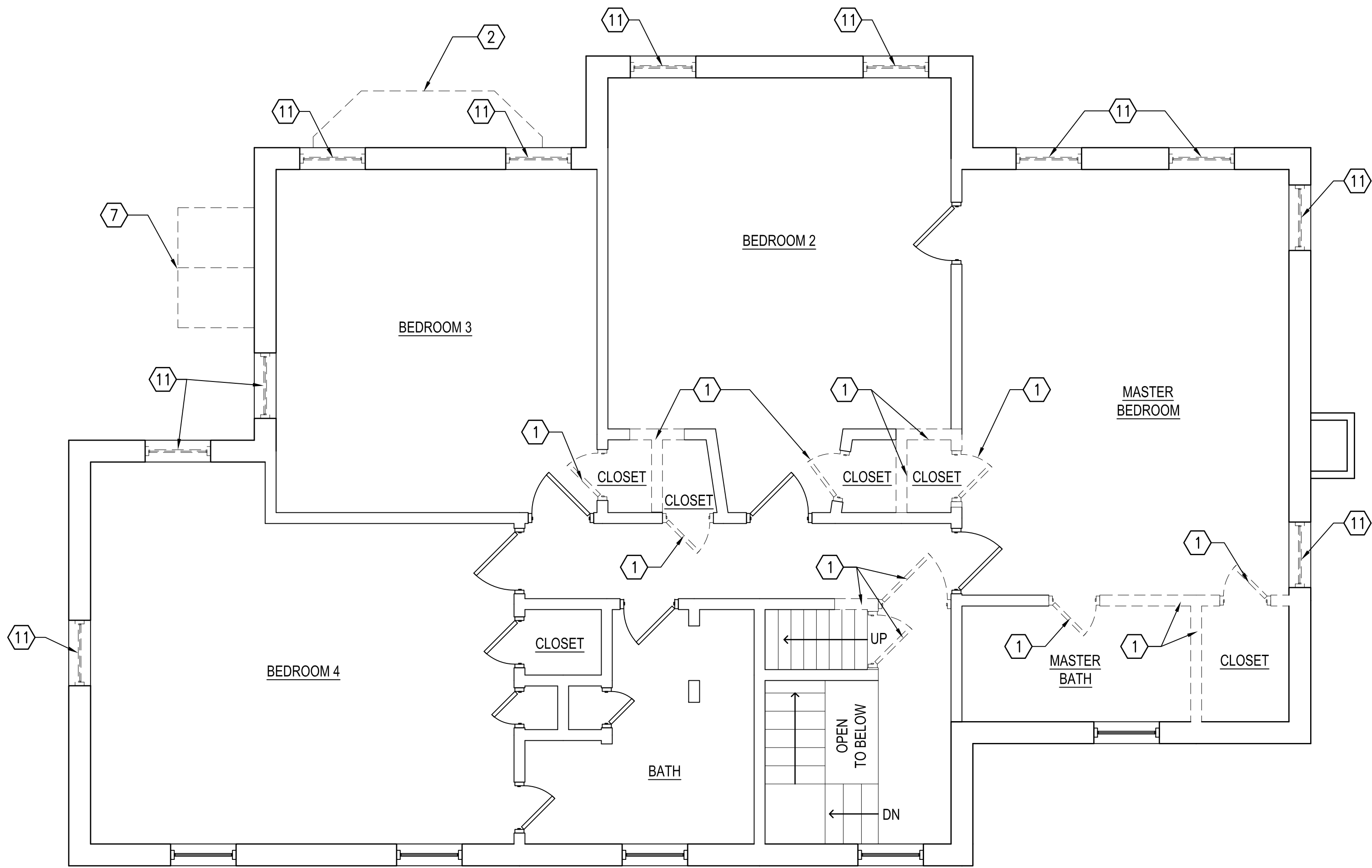
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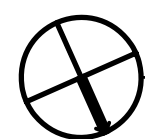
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SHEET NO.

AD 1.0

SHT. 2 OF 13



 **SECOND FLOOR DEMOLITION PLAN**
1/4" = 1'-0"

GENERAL NOTES:

- SALVAGE AND STORE ALL EXISTING INTERIOR DOORS SHOWN TO BE REMOVED, FOR POSSIBLE INSTALLATION IN NEW LOCATIONS, UNTIL END OF PROJECT.

DEMOLITION NOTES:

- 1 REMOVE WINDOW, DOOR, AND/OR WALL AS INDICATED, PREPARE OPENINGS TO RECEIVE NEW WINDOW, DOOR OR INFILL AS SHOWN ON NEW WORK PLAN.
- 2 REMOVE EXISTING WINDOW BAY, FOUNDATION, AND ROOF, COMPLETE.
- 3 REMOVE ALL EXISTING CASEWORK, APPLIANCES, AND PLUMBING FIXTURES AS REQUIRED FOR NEW WORK. REFER TO NEW WORK PLANS.
- 4 REMOVE FLOORING/TILES DOWN TO SUBFLOOR IN THIS ROOM, PREPARE FLOORS TO RECEIVE NEW FINISHES.
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- 10 RELOCATE EXISTING HVAC UNIT PER NEW WORK PLAN
- 11 REMOVE EXISTING WINDOW; PREPARE OPENING TO RECEIVE NEW WINDOW AND / OR DOORS

GRAPHIC SCALE:



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MARTIN RESIDENCE RENOVATION AND ADDITION

1113 NORTH SHORE RD
NORFOLK, VIRGINIA

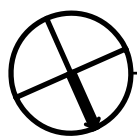
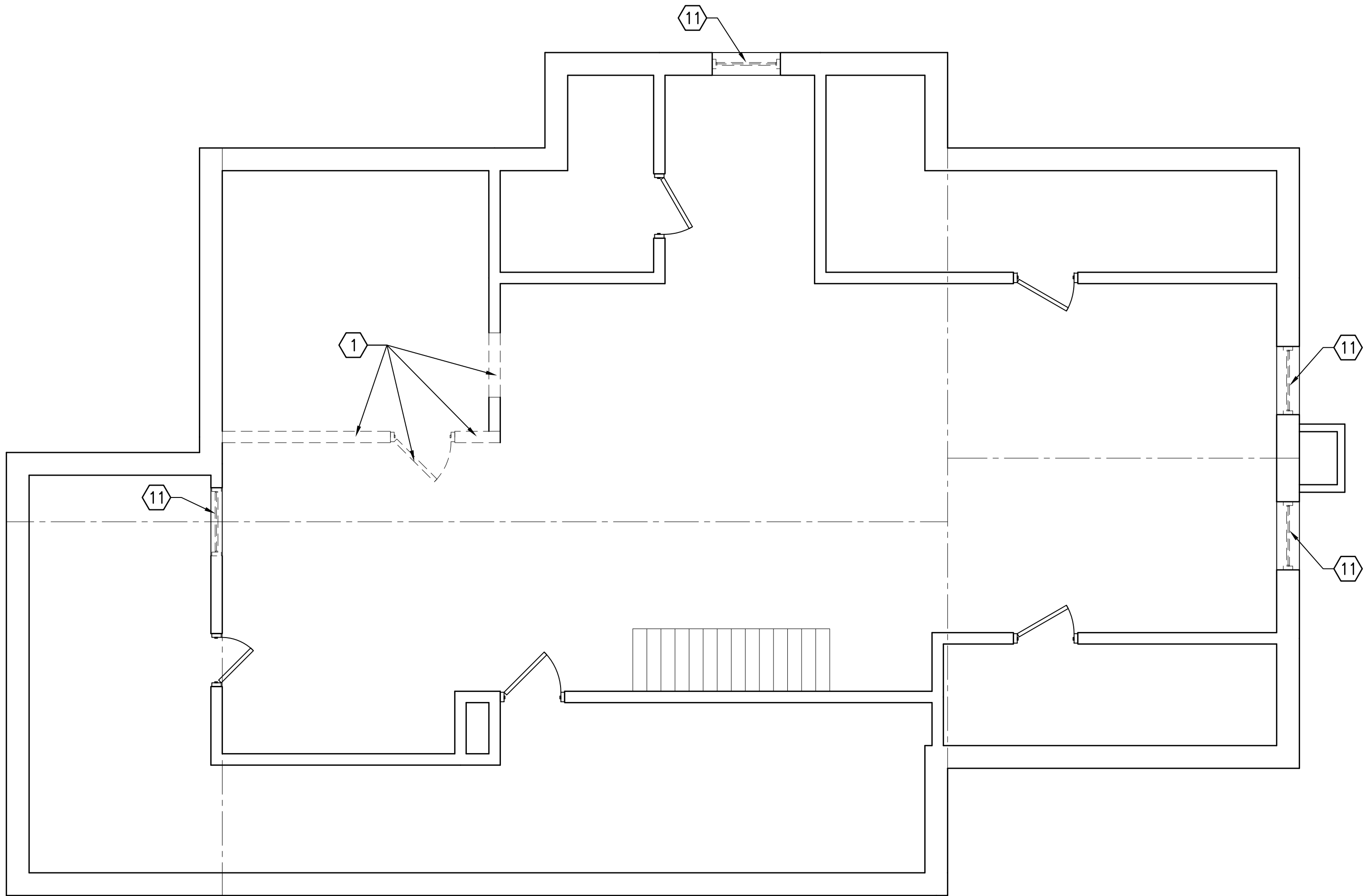
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SHEET NO.

AD 1.1

SHT. 3 OF 13

SECOND FLOOR DEMOLITION PLAN



THIRD FLOOR DEMOLITION PLAN

1/4" = 1'-0"

GENERAL NOTES:

- SALVAGE AND STORE ALL EXISTING INTERIOR DOORS SHOWN TO BE REMOVED, FOR POSSIBLE INSTALLATION IN NEW LOCATIONS, UNTIL END OF PROJECT.

DEMOLITION NOTES:

- 1 REMOVE WINDOW, DOOR, AND/OR WALL AS INDICATED, PREPARE OPENINGS TO RECEIVE NEW WINDOW, DOOR OR INFILL AS SHOWN ON NEW WORK PLAN.
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- 9 REMOVE AND DISGARD EXISTING WASHER & DRYER
- 10 RELOCATE EXISTING HVAC UNIT PER NEW WORK PLAN
- 11 REMOVE EXISTING WINDOW; PREPARE OPENING TO RECEIVE NEW WINDOW AND / OR DOORS

GRAPHIC SCALE:



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THIRD FLOOR DEMOLITION PLAN

MARTIN RESIDENCE
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NORFOLK, VIRGINIA

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SHEET NO.

AD 1.2

SHT. 4 OF 13

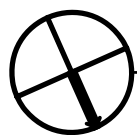
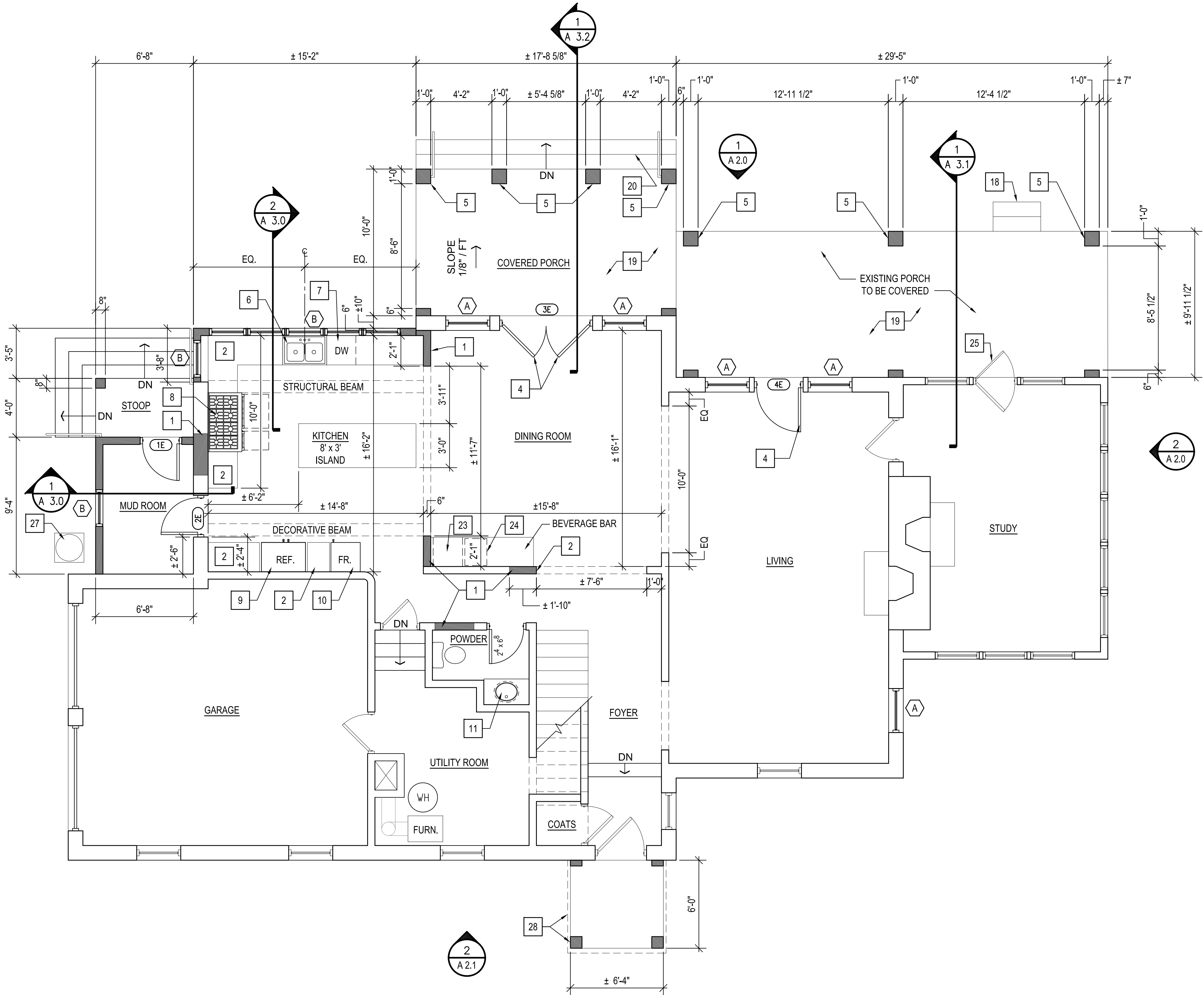
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GENERAL NOTES:

- REPAIR AND/ OR REPLACE PARTS OF HARDWOOD FLOORING WHERE DEMOLITION AND NEW CONSTRUCTION OCCURS. REFINISH HARDWOOD FLOOR TO MATCH EXISTING WHERE PORTIONS OF FLOORING IS REPLACED.

NEW WORK NOTES:

- INFILL WALL TO MATCH EXISTING
- BUILT-IN CASEWORK
- NEW SLIDING DOOR
- NEW INSWING DOOR
- EXTERIOR COLUMN
- 36" SINK
- DISHWASHER
- 48" RANGE
- REFRIGERATOR
- FREEZER
- LAVATORY SINK
- SHOWER
- VANITY
- ROD AND SHELF
- NEW DOUBLE DOOR
- NEW ALCOVE TUB
- STAIR OPEN CORNER
- EXISTING BRICK STEPS TO REMAIN
- HERRINGBONE BRICK PAVERS
- NEW LIMESTONE TREADS AND RISERS WITH BLACK IRON HANDRAILS.
- NEW FRONT PORCH
- REMOVE & DISGARD EXISTING WASHER & DRYER
- BEVERAGE REFRIGERATOR
- ICE MAKER
- PROVIDE NEW FULL-LITE STORM DOOR (EXISTING INSWING DOOR TO REMAIN.
- TROUGH SINK WITH 2 FAUCETS
- RELOCATED HVAC UNIT
- NEW PORCH

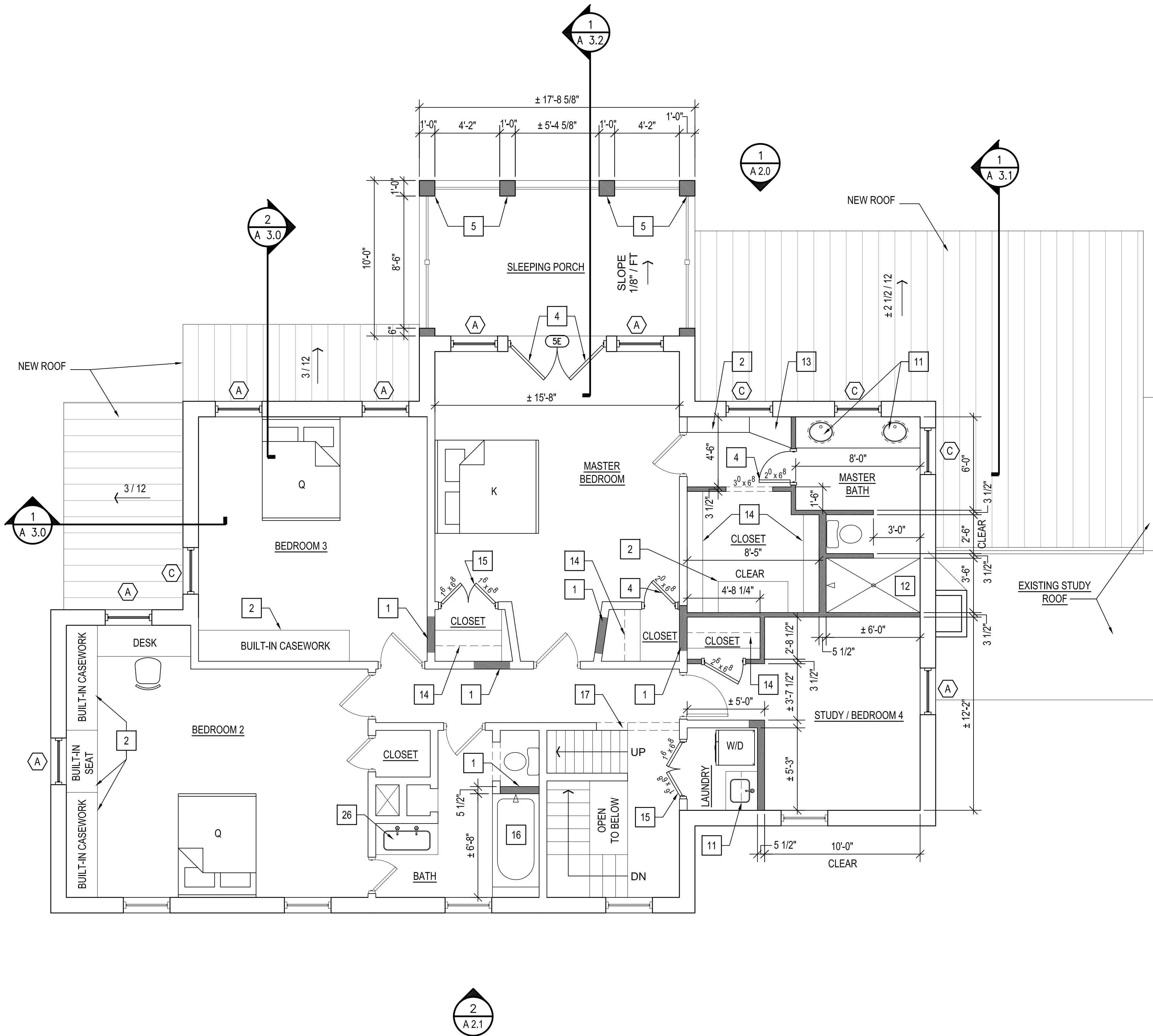


FIRST FLOOR NEW WORK PLAN

1/4" = 1'-0"

GRAPHIC SCALE:





SECOND FLOOR NEW WORK PLAN
1/4" = 1'-0"

GENERAL NOTES:

1. REPAIR AND/ OR REPLACE PARTS OF HARDWOOD FLOORING WHERE DEMOLITION AND NEW CONSTRUCTION OCCURS. REFINISH HARDWOOD FLOOR TO MATCH EXISTING WHERE PORTIONS OF FLOORING IS REPLACED.

NEW WORK NOTES:

- 1 INFILL WALL TO MATCH EXISTING
- 2 BUILT-IN CASEWORK
- 3 NEW SLIDING DOOR
- 4 NEW INSWING DOOR
- 5 EXTERIOR COLUMN
- 6 36" SINK
- 7 DISHWASHER
- 8 48" RANGE
- 9 REFRIGERATOR
- 10 FREEZER
- 11 LAVATORY SINK
- 12 SHOWER
- 13 VANITY
- 14 ROD AND SHELF
- 15 NEW DOUBLE DOOR
- 16 NEW ALCOVE TUB
- 17 STAIR OPEN CORNER
- 18 EXISTING BRICK STEPS TO REMAIN
- 19 HERRINGBONE BRICK PAVERS
- 20 NEW LIMESTONE TREADS AND RISERS WITH BLACK IRON HANDRAILS.
- 21 NEW FRONT PORCH
- 22 REMOVE & DISGARD EXISTING WASHER & DRYER
- 23 BEVERAGE REFRIGERATOR
- 24 ICE MAKER
- 25 PROVIDE NEW FULL-LITE STORM DOOR (EXISTING INSWING DOOR TO REMAIN.
- 26 TROUGH SINK WITH 2 FAUCETS
- 27 RELOCATED HVAC UNIT
- 28 NEW PORCH

GRAPHIC SCALE:



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MARTIN RESIDENCE
RENOVATION AND ADDITION

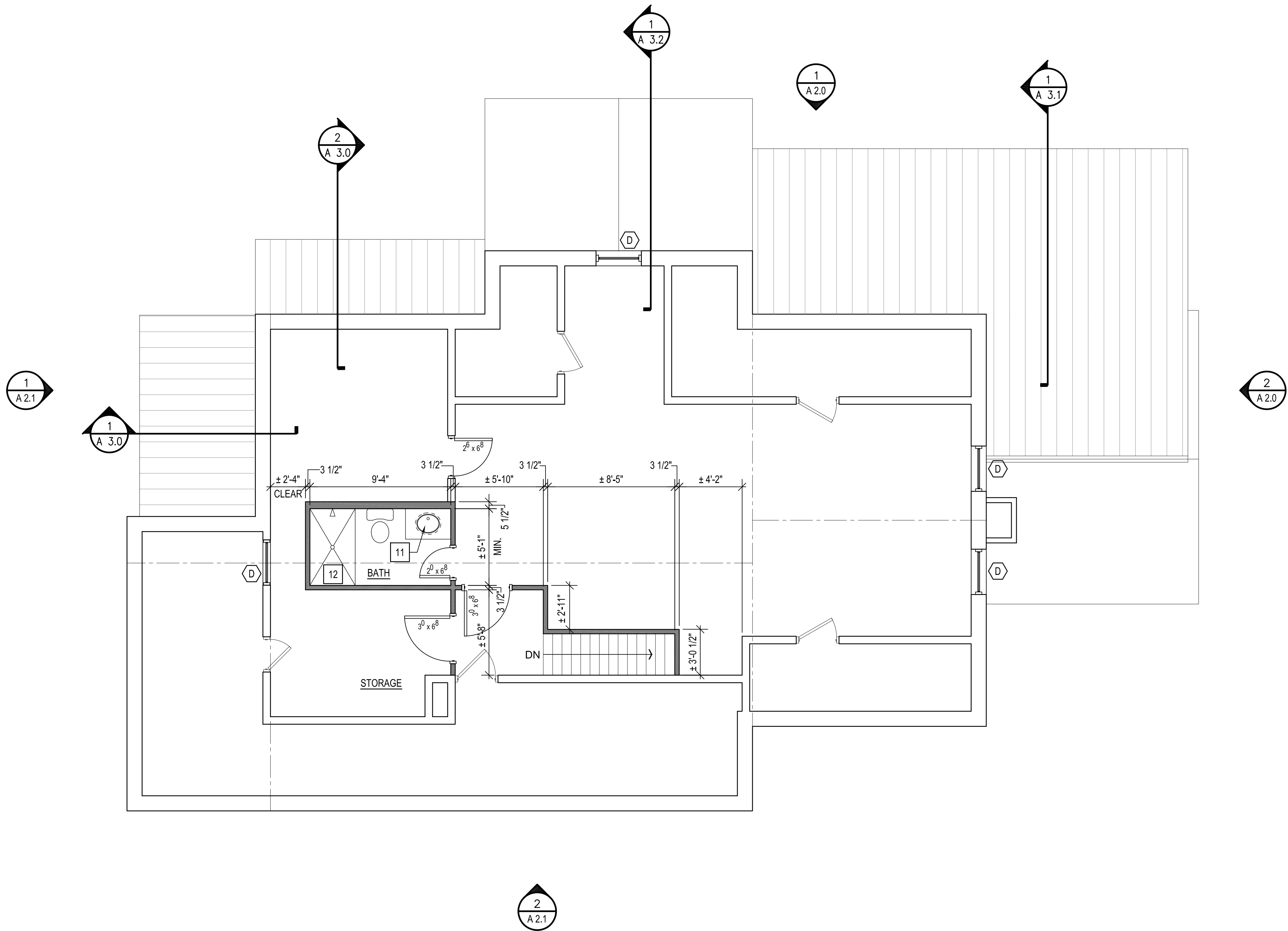
1113 NORTH SHORE RD
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A-1.1

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THIRD FLOOR NEW WORK PLAN

1/4" = 1'-0"

GRAPHIC SCALE:



GENERAL NOTES:

1. REPAIR AND/ OR REPLACE PARTS OF HARDWOOD FLOORING WHERE DEMOLITION AND NEW CONSTRUCTION OCCURS. REFINISH HARDWOOD FLOOR TO MATCH EXISTING WHERE PORTIONS OF FLOORING IS REPLACED.

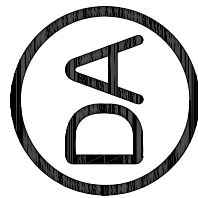
NEW WORK NOTES:

- 1 INFILL WALL TO MATCH EXISTING
- 2 BUILT-IN CASEWORK
- 3 NEW SLIDING DOOR
- 4 NEW INSWING DOOR
- 5 EXTERIOR COLUMN
- 6 36" SINK
- 7 DISHWASHER
- 8 48" RANGE
- 9 REFRIGERATOR
- 10 FREEZER
- 11 LAVATORY SINK
- 12 SHOWER
- 13 VANITY
- 14 ROD AND SHELF
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- 16 NEW ALCOVE TUB
- 17 STAIR OPEN CORNER
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- 21 NEW FRONT PORCH
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- 23 BEVERAGE REFRIGERATOR
- 24 ICE MAKER
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- 26 TROUGH SINK WITH 2 FAUCETS
- 27 RELOCATED HVAC UNIT
- 28 NEW PORCH

MARTIN RESIDENCE
RENOVATION AND ADDITION

1113 NORTH SHORE RD
NORFOLK, VIRGINIA

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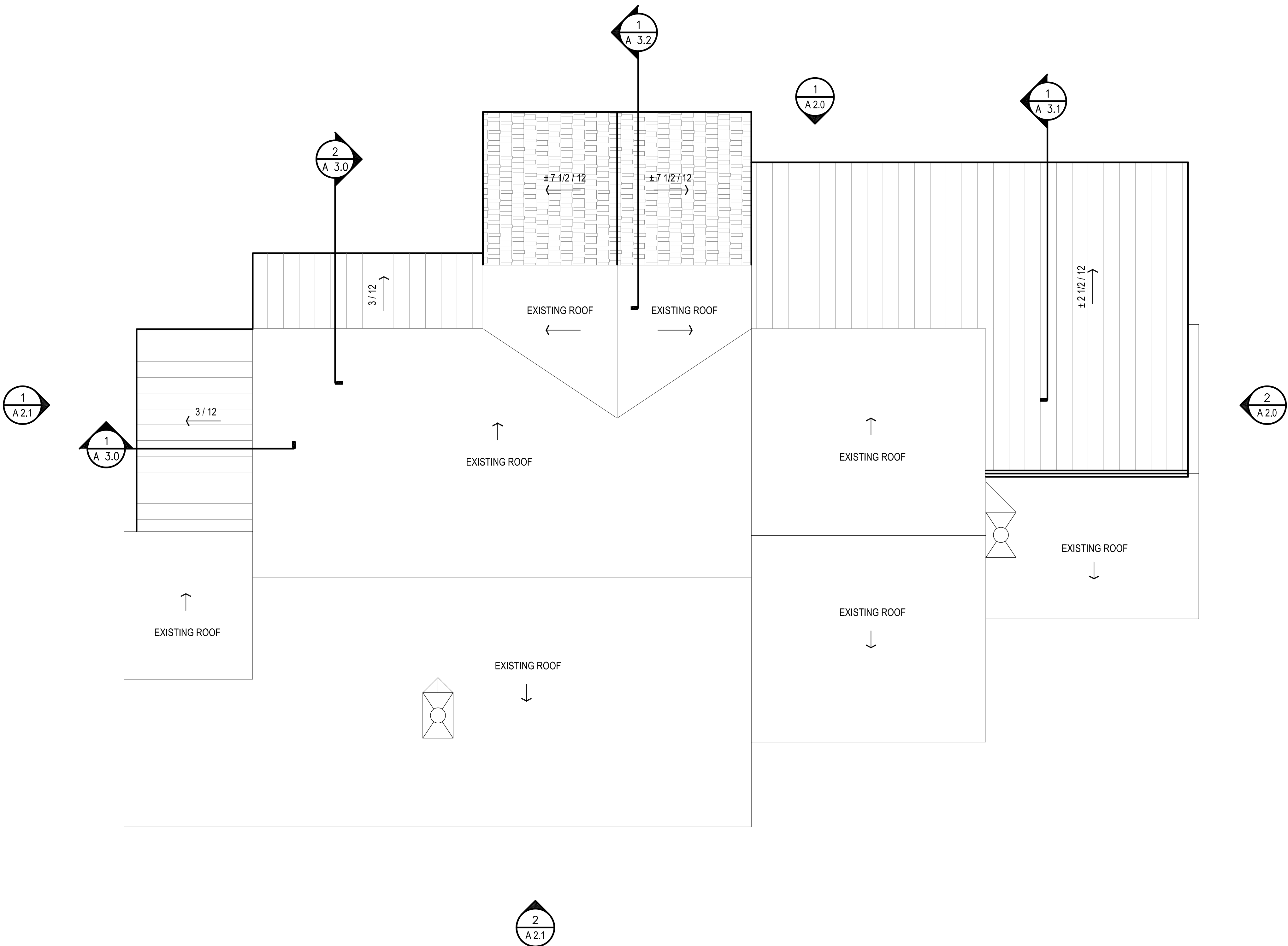
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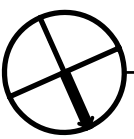
SHEET NO.

A-1.2

SHT. 7 OF 13

THIRD FLOOR NEW WORK PLAN



 **ROOF NEW WORK PLAN**
1/4" = 1'-0"

GENERAL NOTES:

1. REPAIR AND/ OR REPLACE PARTS OF HARDWOOD FLOORING WHERE DEMOLITION AND NEW CONSTRUCTION OCCURS. REFINISH HARDWOOD FLOOR TO MATCH EXISTING WHERE PORTIONS OF FLOORING IS REPLACED.

NEW WORK NOTES:

- | | |
|----|--|
| 1 | INFILL WALL TO MATCH EXISTING |
| 2 | BUILT-IN CASEWORK |
| 3 | NEW SLIDING DOOR |
| 4 | NEW INSWING DOOR |
| 5 | EXTERIOR COLUMN |
| 6 | 36" SINK |
| 7 | DISHWASHER |
| 8 | 48" RANGE |
| 9 | REFRIGERATOR |
| 10 | FREEZER |
| 11 | LAVATORY SINK |
| 12 | SHOWER |
| 13 | VANITY |
| 14 | ROD AND SHELF |
| 15 | NEW DOUBLE DOOR |
| 16 | NEW ALCOVE TUB |
| 17 | STAIR OPEN CORNER |
| 18 | EXISTING BRICK STEPS TO REMAIN |
| 19 | HERRINGBONE BRICK PAVERS |
| 20 | NEW LIMESTONE TREADS AND RISERS WITH BLACK IRON HANDRAILS. |
| 21 | NEW FRONT PORCH |
| 22 | REMOVE & DISGARD EXISTING WASHER & DRYER |
| 23 | BEVERAGE REFRIGERATOR |
| 24 | ICE MAKER |
| 25 | PROVIDE NEW FULL-LITE STORM DOOR (EXISTING INSWING DOOR TO REMAIN. |
| 26 | TROUGH SINK WITH 2 FAUCETS |
| 27 | RELOCATED HVAC UNIT |
| 28 | NEW PORCH |

GRAPHIC SCALE:



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**MARTIN RESIDENCE
RENOVATION AND ADDITION**

1113 NORTH SHORE RD
NORFOLK, VIRGINIA

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A-1.3

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ROOF NEW WORK PLAN



2
A-1.0 | A-2.0
1/4" = 1'-0"

RIGHT ELEVATION



1
A-1.0 | A-2.0
1/4" = 1'-0"

REAR ELEVATION

EXTERIOR DOOR SCHEDULE ⓘ

DOOR #	DOOR TYPE	WIDTH	HEIGHT	REMARKS
1E	INSULATED DOOR	2'-6"	6'-8"	
2E	DUTCH INSWING DOOR	2'-6"	6'-8"	
3E	INSULATED FULL LITE DOOR / PAIR	3'-0"	8'-0"	
4E	INSULATED FULL LITE DOOR	3'-0"	8'-0"	
5E	INSULATED FULL LITE DOOR / PAIR	3'-0"	7'-0"	

WINDOW SCHEDULE ⓘ

WINDOW #	STYLE	WIDTH	HEIGHT	MODEL #	REMARKS
A	DOUBLE HUNG	± 2'-5 1/4"	± 5'-3 1/2"	-	EXISTING OPENING
B	CASEMENT	2'-6"	4'-5 1/8"	-	NEW OPENING
C	CASEMENT	± 2'-6"	± 3'-11 1/8"	-	EXISTING OPENING
D	DOUBLE HUNG	± 2'-0"	± 3'-7 1/8"	-	EXISTING OPENING

- NOTES:
- DESIGNATIONS REFER TO MARVIN 'ULTIMATE' WINDOWS.
 - HEIGHT & WIDTH DIMENSIONS REFER TO FRAME SIZES.
 - GLAZING SHALL BE LoE-272, INSULATED GLASS, TEMPERED WHERE REQUIRED BY CODE.
 - SEE ARCHITECTURAL ELEVATIONS FOR MUNTIN BAR DESIGNS.
 - PROVIDE SCREENS FOR ALL WINDOWS.
 - INTERIOR WINDOW HARDWARE FINISH AS SELECTED BY OWNER.
 - CONFIRM COMPLIANCE WITH BEDROOM EGRESS CODES PRIOR TO ORDERING WINDOWS.
 - GC TO PROVIDE HEAD, JAMB AND SILL DETAILS FOR ARCHITECTS REVIEW PRIOR TO INSTALLATION.

GRAPHIC SCALE:



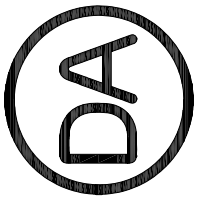
MARTIN RESIDENCE
RENOVATION AND ADDITION

1113 NORTH SHORE RD
NORFOLK, VIRGINIA

SHEET NO.

A-2.0

SHT. 9 OF 13



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NEW WORK ELEVATIONS & SCHEDULES

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2 FRONT ELEVATION
A-1.0 | A-2.1 1/4" = 1'-0"



1 LEFT ELEVATION
A-1.0 | A-2.1 1/4" = 1'-0"

GRAPHIC SCALE:



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MARTIN RESIDENCE
RENOVATION AND ADDITION

1113 NORTH SHORE RD
NORFOLK, VIRGINIA

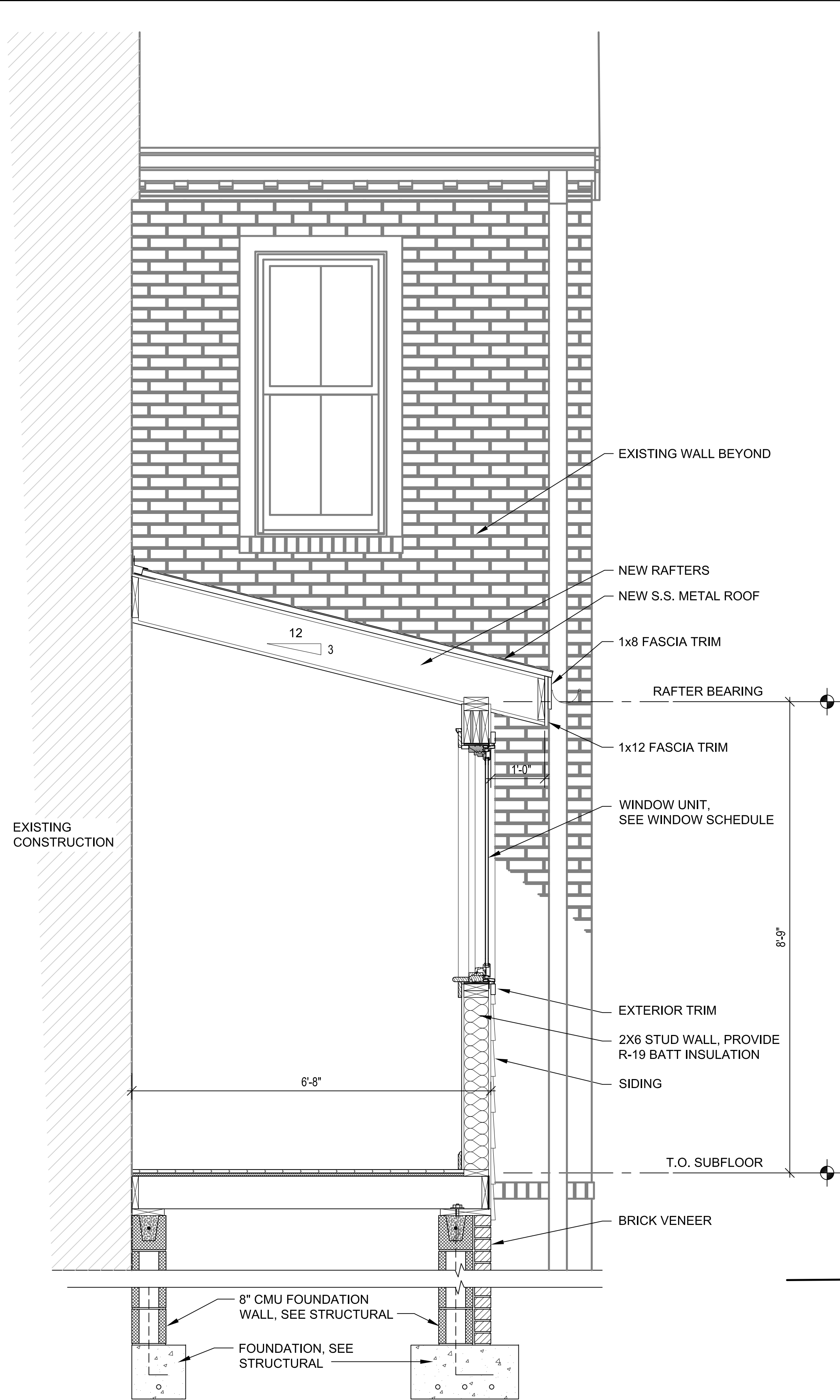
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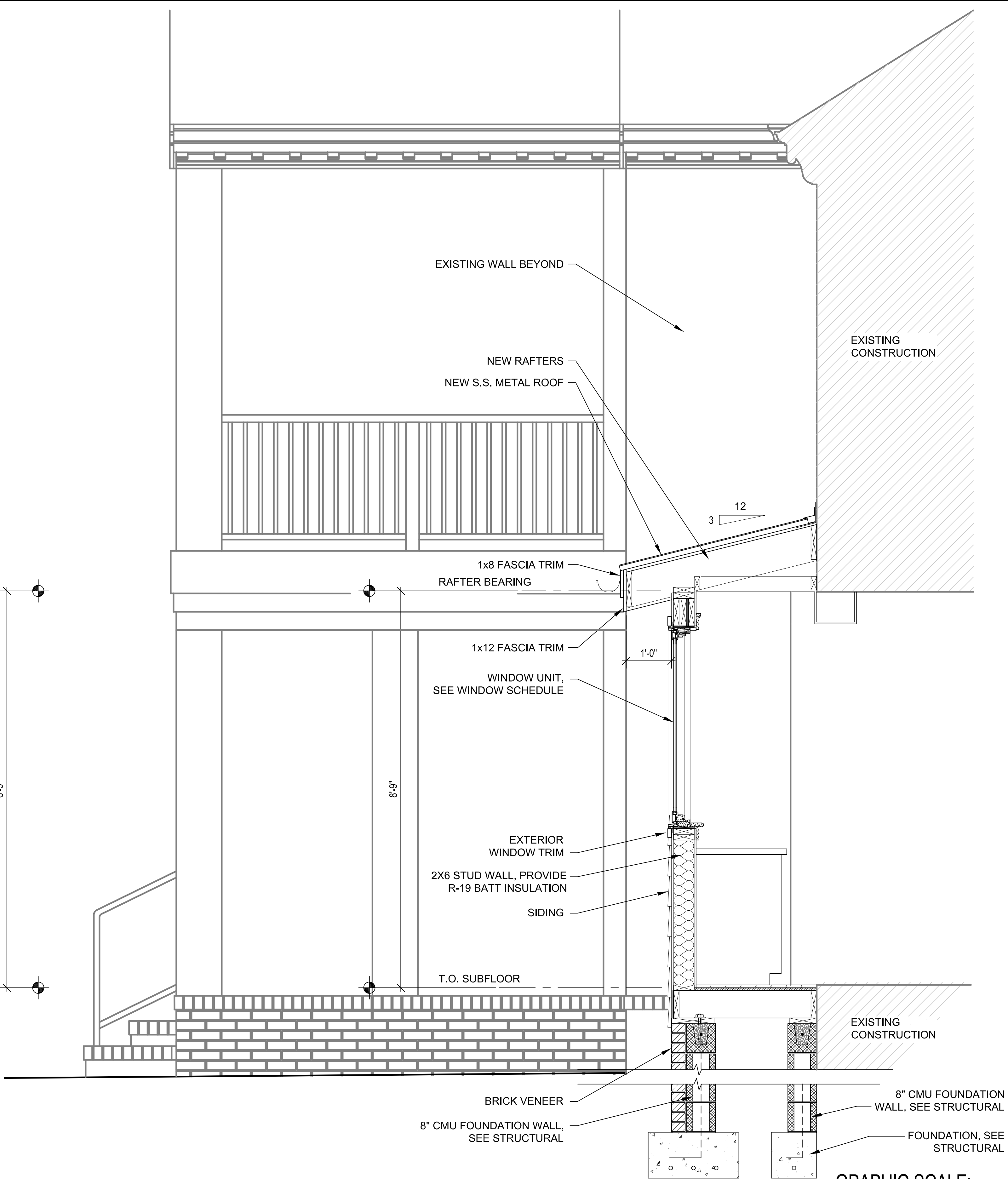
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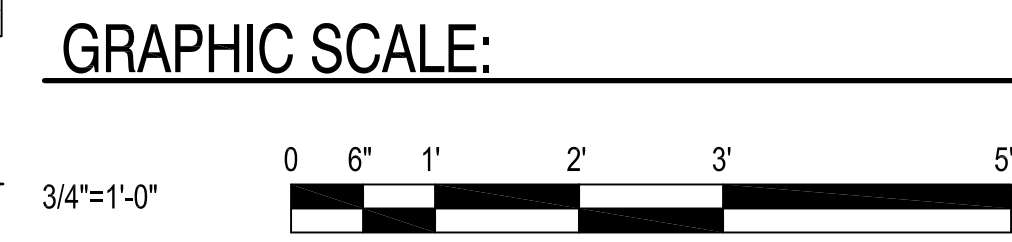
SHT. 10 OF 13



1 WALL SECTION
3/4" = 1'-0"



2 WALL SECTION
3/4" = 1'-0"



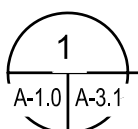
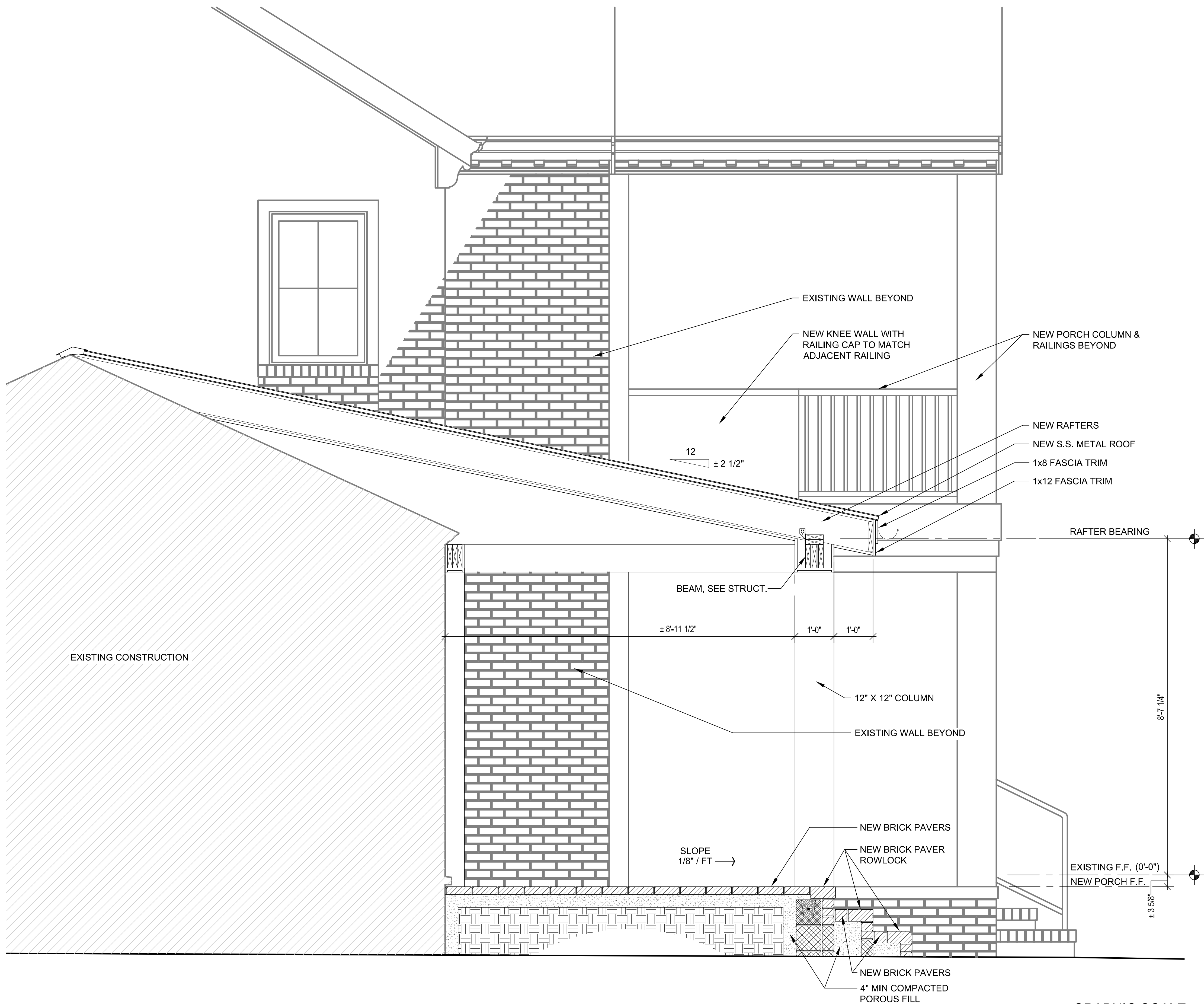
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RENOVATION AND ADDITION
1113 NORTH SHORE RD
NORFOLK, VIRGINIA

REVISIONS:	DRAWN:	CHECKED:	APPROVED:	DATE:	SCALE:	JOB NO.:
				1/11/2022	AS NOTED	21004

SHEET NO.
A-3.0
SHT. 11 OF 13



WALL SECTION

3/4" = 1'-0"

GRAPHIC SCALE:



SHEET NO.

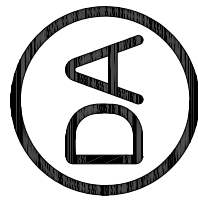
A-3.1

SHT. 12 OF 13

MARTIN RESIDENCE
RENOVATION AND ADDITION

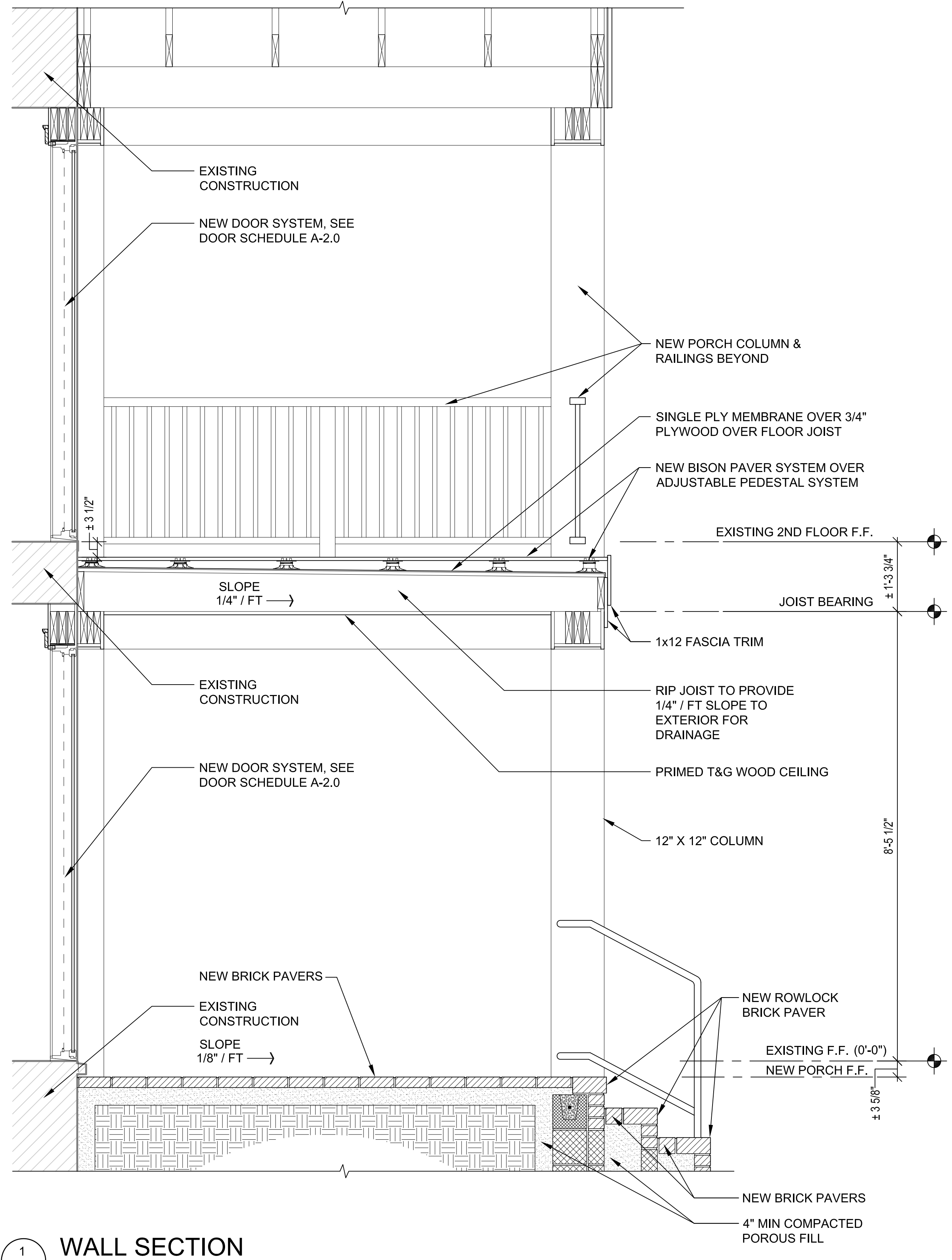
1113 NORTH SHORE RD
NORFOLK, VIRGINIA

REVISED:	DRAWN:	TWH
	CHECKED:	GW
	APPROVED:	CCD
	DATE:	1/11/2022
	SCALE:	AS NOTED
	JOB NO.:	21004



Dills Architects

WALL SECTIONS



1
A-1.0 A-3.2
WALL SECTION
3/4" = 1'-0"

GRAPHIC SCALE:



DA Dills Architects

MARTIN RESIDENCE
RENOVATION AND ADDITION

1113 NORTH SHORE RD
NORFOLK, VIRGINIA

REVISES:	DRAWN:	CHECKED:	APPROVED:	DATE:	SCALE:	JOB NO.:	TWH	GW	CCD
							1/11/2022	AS	NOTED
							21004		

SHEET NO.

A-3.2

SHT. 13 OF 13

WALL SECTIONS