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PATEL RESIDENCE

PRICING - 4/15/22

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RBA ARCHITECTS

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4/15/22

1317 BAFFY LOOP, CHESAPEAKE

PATEL RESIDENCE

TITLE SHEET

REVISIONS:

NO:	DATE:	DESCRIPTION:

DATE: 4/15/22

JOB NUMBER: 21048

SHEET NUMBER:

A100

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DEMO WALL
EXISTING WALL

DEMOLITION NOTES:

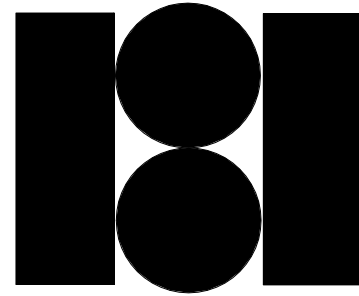
1. ALL WINDOWS TO BE REPLACED AS SHOWN ON NEW WORK PLAN.
2. ALL DEMO WALLS TO BE REMOVED / SHORE EXISTING CONSTRUCTION AS REQUIRED.
3. SUNROOM TO BE REMOVED IN ITS ENTIRETY.
4. EXISTING SKY LIGHTS TO BE REMOVED.
5. DASHED ROOF LINES TO BE REMOVED IN THEIR ENTIRETY. SHORE EXISTING CONSTRUCTION AS REQUIRED.

DEMOLITION GENERAL NOTES:

- A. COORDINATE REMOVAL AND PATCH/REPAIRS OF ALL FINISHES.
- B. ALIGN NEW AND EXISTING FINISHED SURFACES FOR AN INDISCERNIBLE TRANSITION.
- C. ANY DAMAGE OCCURRING TO EXISTING MATERIALS AND SURFACES SHALL BE REPAIRED AT THE COST OF THE CONTRACTOR.
- D. SHORE EXISTING CONSTRUCTION AS REQUIRED UNTIL NEW CONSTRUCTION IS IN PLACE SUPPORTING EXISTING CONDITIONS.
- E. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL ALSO COORDINATE WORK OF ALL OTHER TRADES. ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND STANDARDS.

1 DEMO - FIRST FLOOR
1/4" = 1'-0"

DEMO NOTES
TO BE DETERMINED



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PATEL RESIDENCE

PRELIM - DEMO - FIRST FLOOR

REVISIONS:

NO:	DATE:	DESCRIPTION:

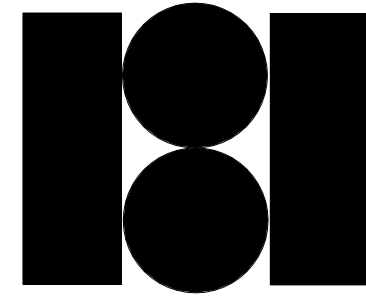
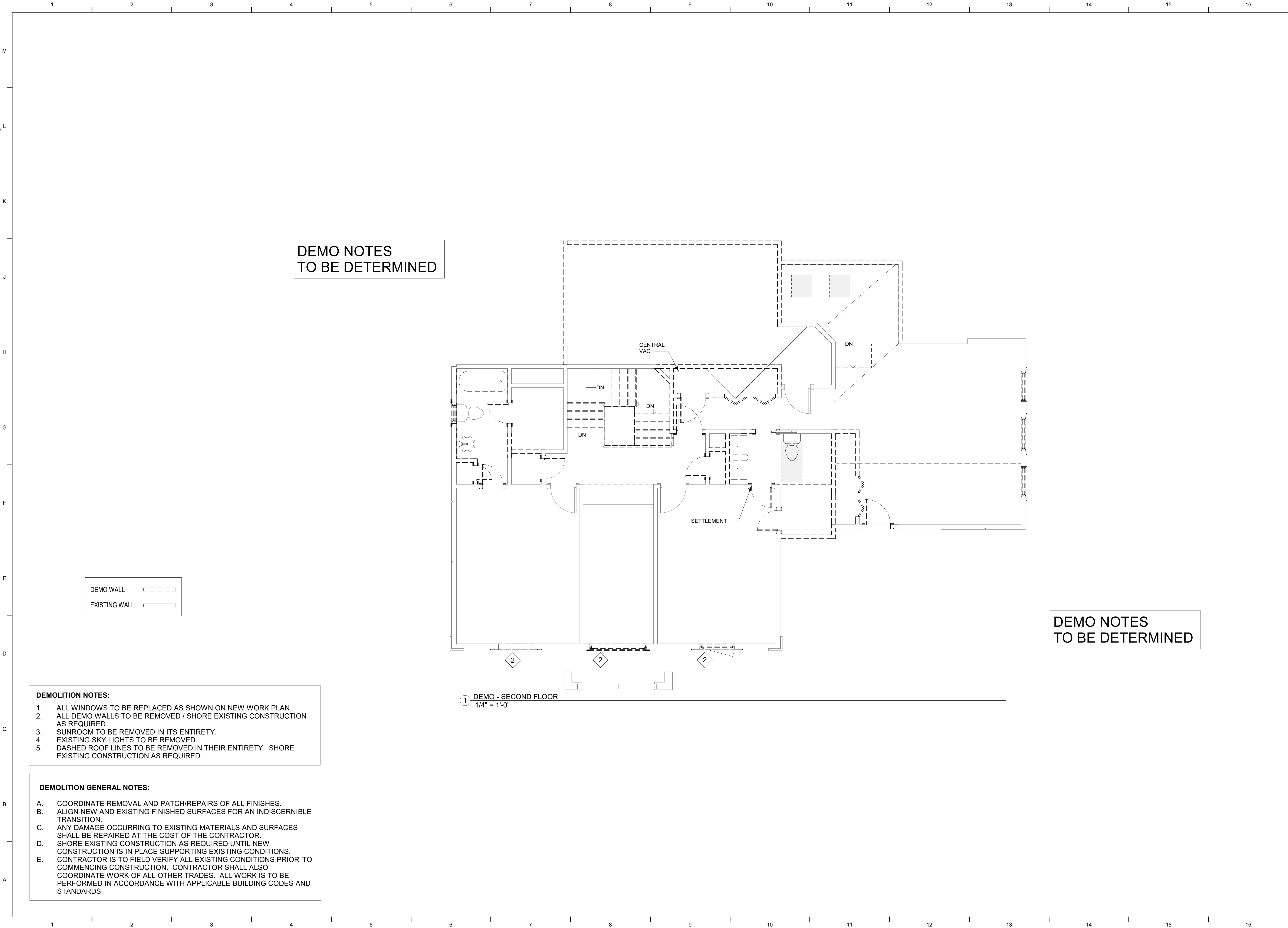
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1317 BAFFY LOOP, CHESAPEAKE
PATEL RESIDENCE
PRELIM - DEMO- SECOND FLOOR

REVISIONS:		
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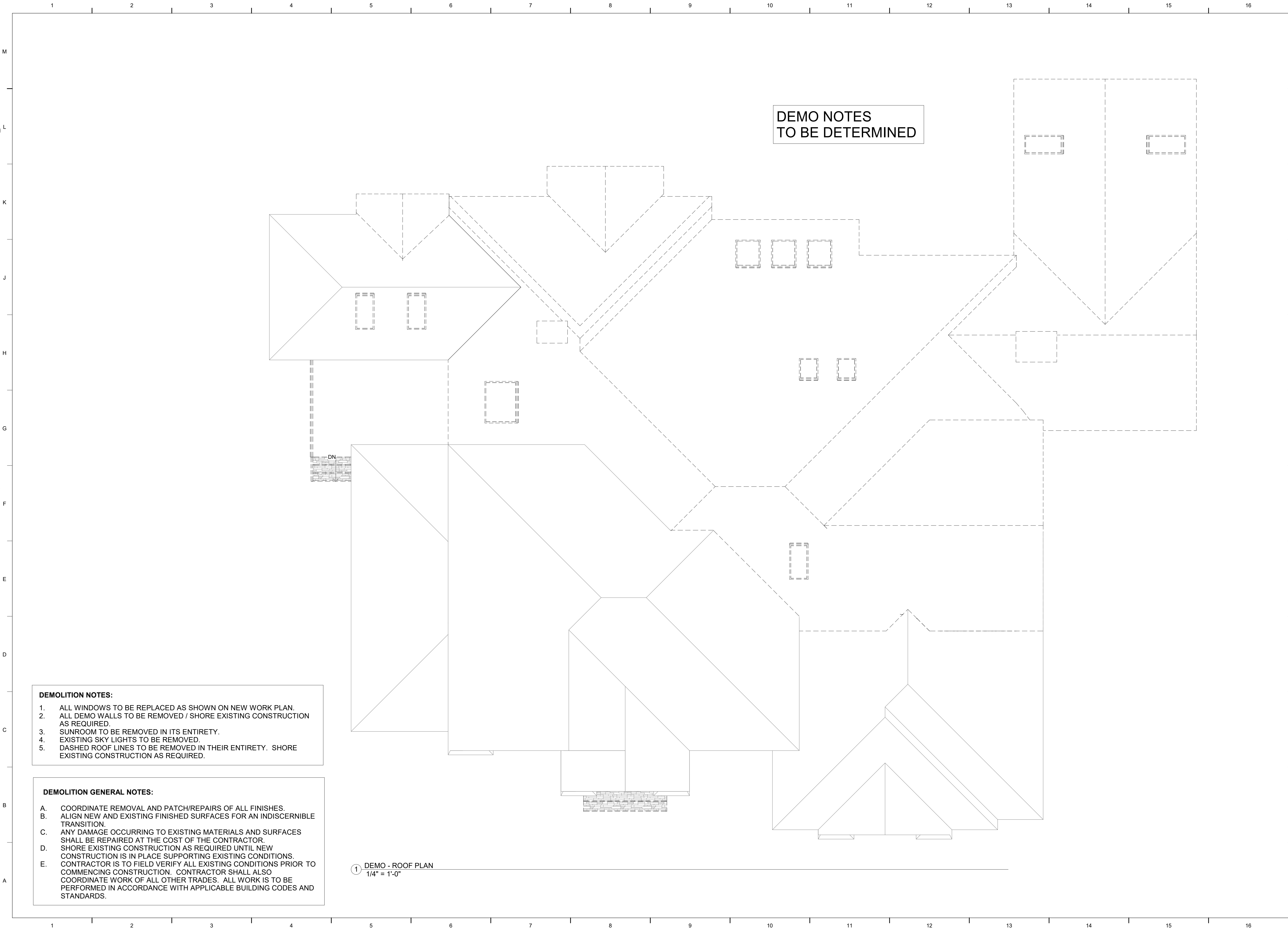
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DEMOLITION NOTES:

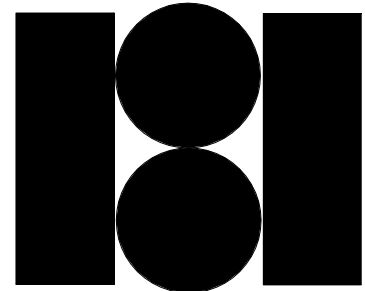
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1 DEMO - ROOF PLAN
1/4" = 1'-0"

DEMO NOTES
TO BE DETERMINED



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PRELIM - DEMO - ROOF PLAN

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Door Schedule			
Type Mark	Width	Height	Comments
1	3' - 0"	6' - 8"	SOLID
2	12' - 0"	6' - 10"	QUAD SLIDER
3	3' - 0"	6' - 8"	BARN
4	2' - 6"	6' - 8"	BARN
5	3' - 0"	6' - 8"	SINGLE TECH
6	3' - 0"	6' - 8"	SHOWER GLASS DOOR
7	4' - 0"	6' - 8"	DOUBLE
8	3' - 0"	6' - 8"	DOUBLE
9	3' - 0"	6' - 8"	POCKET
10	2' - 10"	6' - 8"	POCKET DOOR
11	2' - 4"	6' - 8"	POCKET
12	3' - 0"	6' - 8"	SINGLE
13	2' - 10"	6' - 8"	SINGLE
14	2' - 6"	6' - 8"	SINGLE
15	2' - 4"	6' - 8"	SINGLE
16	2' - 0"	6' - 8"	SINGLE
17	2' - 6"	5' - 11"	CUT ACCESS
18	16' - 0"	7' - 0"	GARAGE DOOR / MATCH EXISTING SIZE
19	10' - 0"	7' - 0"	GARAGE DOOR / MATCH EXISTING SIZE
20	2' - 6"	6' - 8"	GARAGE PASSENGER DOOR / MATCH EXISTING SIZE
21	3' - 0"	8' - 0"	FRONT DOOR W/ 14" SIDELIGHTS

Window Schedule			
Type Mark	Width	Height	Comments
242	1' - 9"	2' - 4"	
A	6' - 0"	6' - 0"	FIXED
B	6' - 0"	6' - 0"	(2) 3'-0"
C	3' - 8"	6' - 0"	CASEMENT
D	3' - 0"	6' - 0"	CASEMENT
E	2' - 0"	6' - 0"	CASEMENT
F	8' - 0"	5' - 6"	FIXED
G	6' - 0"	5' - 6"	FIXED
H	6' - 0"	5' - 6"	(2) 3'-0"
I	5' - 6"	5' - 6"	FIXED
J	3' - 6"	5' - 6"	CASEMENT
K	3' - 0"	5' - 6"	CASEMENT
L	3' - 0"	5' - 6"	FIXED
M	5' - 0"	5' - 0"	FIXED
N	2' - 4"	2' - 4"	FIXED
O	6' - 0"	2' - 0"	FIXED
P	3' - 0"	2' - 0"	FIXED
Q	3' - 0"	2' - 0"	FIXED / INTERIOR
R	2' - 0"	2' - 0"	FIXED

EXISTING WALL	
NEW WALL	
LOAD BEARING WALL	

NEW WORK GENERAL NOTES:

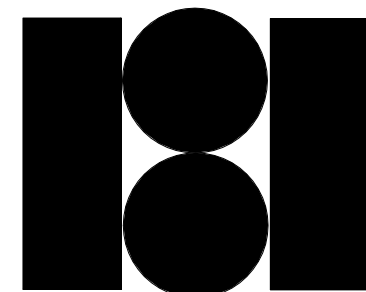
- CONTRACTOR TO EXPOSE ALL BEARING CONDITIONS AFFECTED BY DEMOLITION AND NEW WORK FOR STRUCTURAL EVALUATION. ALL STRUCTURAL MODIFICATIONS SHALL BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS RECOMMENDATIONS.
- ALL CONCENTRATED LOADS TO BEAR ON WALLS DESIGNED TO CARRY LOAD THROUGH ALL LEVELS BELOW AND TERMINATE AT FOUNDATION DESIGNED TO CARRY LOAD. PROVIDE MINIMUM 4" BEARING UNDER POINT LOADS UNLESS OTHERWISE RECOMMENDED.
- ALL EXTERIOR WALLS TO BE 2 X 4 NO 2 S.P.F. STUD WALLS @ 16" O.C. WHEN JOINING NEW WALLS TO EXISTING ARRANGE FRAMING TO PROVIDE FLUSH CONDITION AT FINISH.
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- INTERIOR TO BE REPAINTED AS REQUIRED. CONTRACTOR TO PROTECT EXISTING FINISHES TO REMAIN, COORDINATE PAINT COLOR AND FINISHES WITH OWNER.

Area Schedule (Gross Building)	
Name	Area
EXISTING FIRST FLOOR	2841 SF
EXISTING GARAGE	274 SF
EXISTING GARAGE	565 SF
EXISTING SECOND	1299 SF
NEW BOXED BAY AT MASTER	23 SF
NEW EXPANDED FRONT GARAGE AREA	3 SF
NEW EXPANDED GARAGE AREA	55 SF
NEW FIRST FLOOR REAR COVERED PORCH	438 SF
NEW LIVING AREA FIRST FLOOR	593 SF
NEW MASTER / GUEST SUITE FIRST FLOOR	295 SF
NEW MASTER BATH BOXED BAY	26 SF
NEW SECOND FLOOR	1915 SF

ALIGN NEW WALL W/ EXISTING EXTERIOR FINISH OF MASTER BATH EXTERIOR WALL

CEILING SLOPING TO 10'-0" CEILING

1 NEW WORK - FIRST FLOOR PLAN
1/4" = 1'-0"



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1317 BAFFY LOOP, CHESAPEAKE
PATEL RESIDENCE
NEW WORK - FIRST FLOOR

REVISIONS:

NO.	DATE	DESCRIPTION

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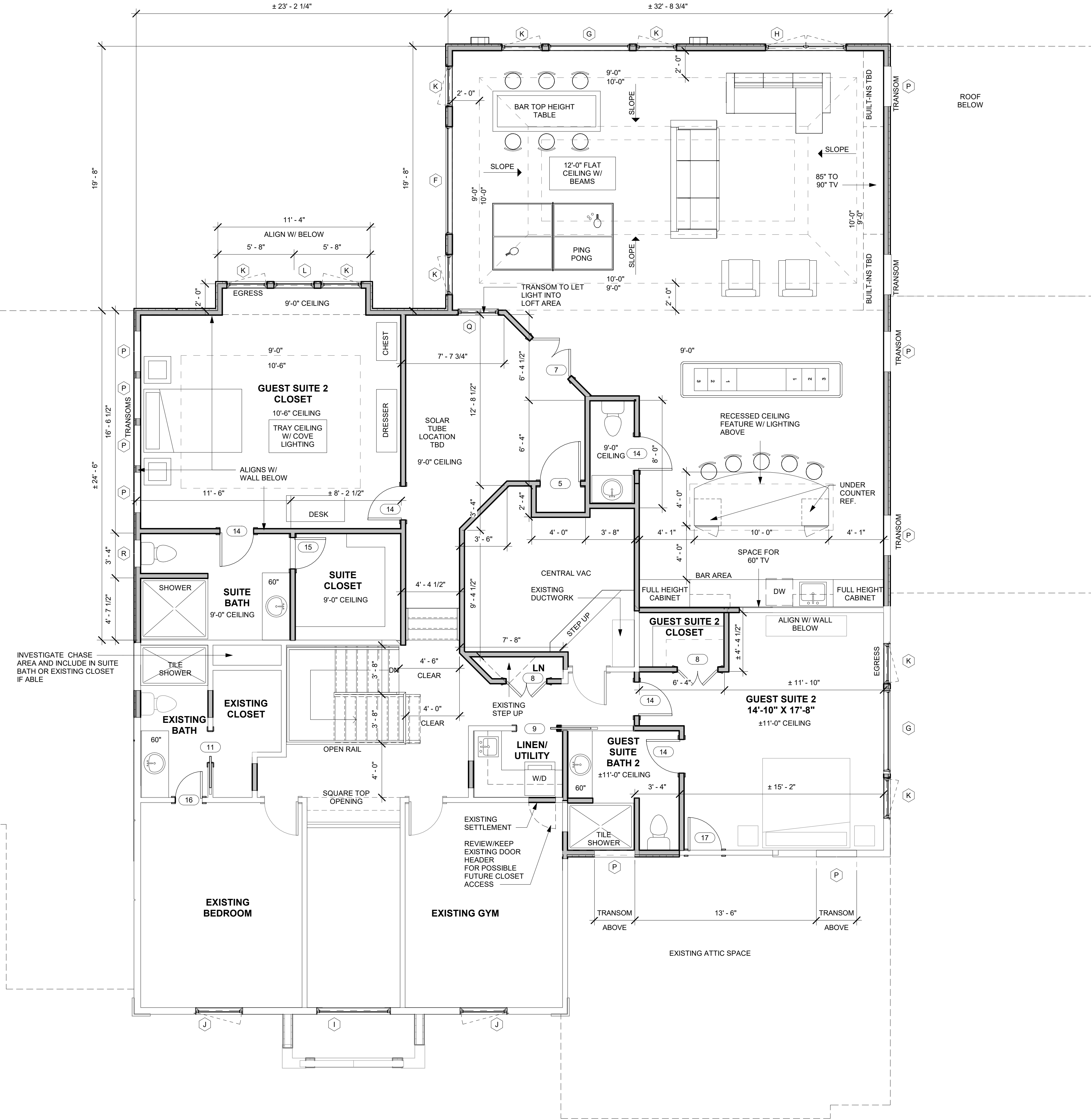
Door Schedule			
Type Mark	Width	Height	Comments
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O	6' - 0"	2' - 0"	FIXED
P	3' - 0"	2' - 0"	FIXED
Q	3' - 0"	2' - 0"	FIXED / INTERIOR
R	2' - 0"	2' - 0"	FIXED

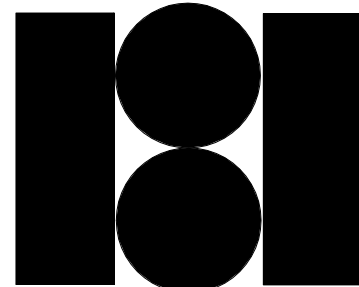
EXISTING WALL	
NEW WALL	
LOAD BEARING WALL	

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1 NEW WORK - SECOND
1/4" = 1'-0"



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1317 BAFFY LOOP, CHESAPEAKE
PATEL RESIDENCE
NEW WORK - SECOND FLOOR

REVISIONS:

NO:	DATE:	DESCRIPTION:

DATE: 4/15/22
JOB NUMBER: 21048

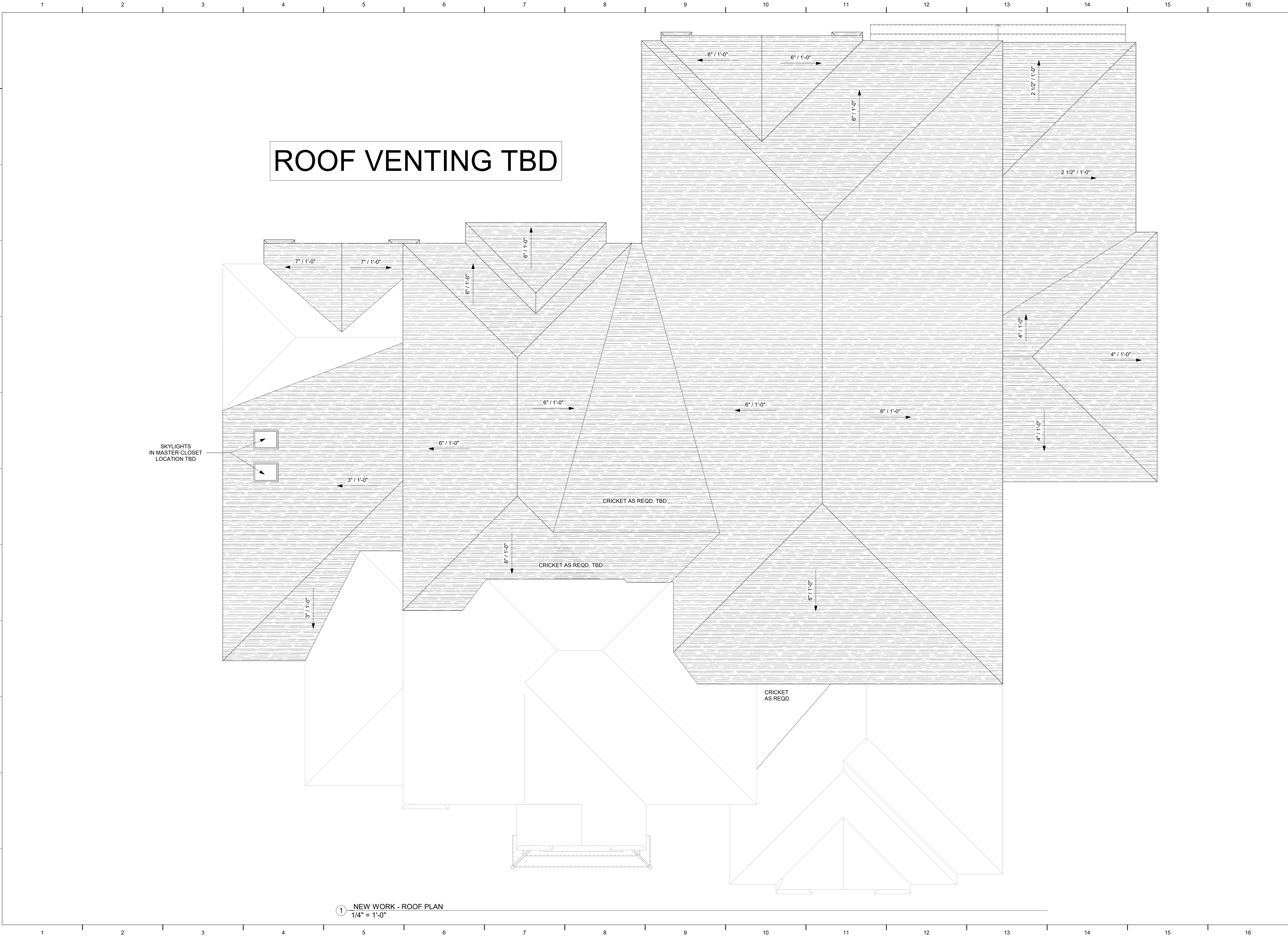
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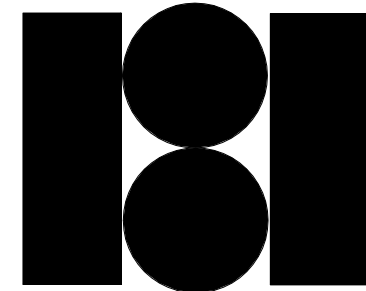
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1 NEW WORK - ROOF PLAN
1/4" = 1'-0"



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4/15/22

1317 BAFFY LOOP, CHESAPEAKE
PATEL RESIDENCE
NEW WORK - ROOF PLAN

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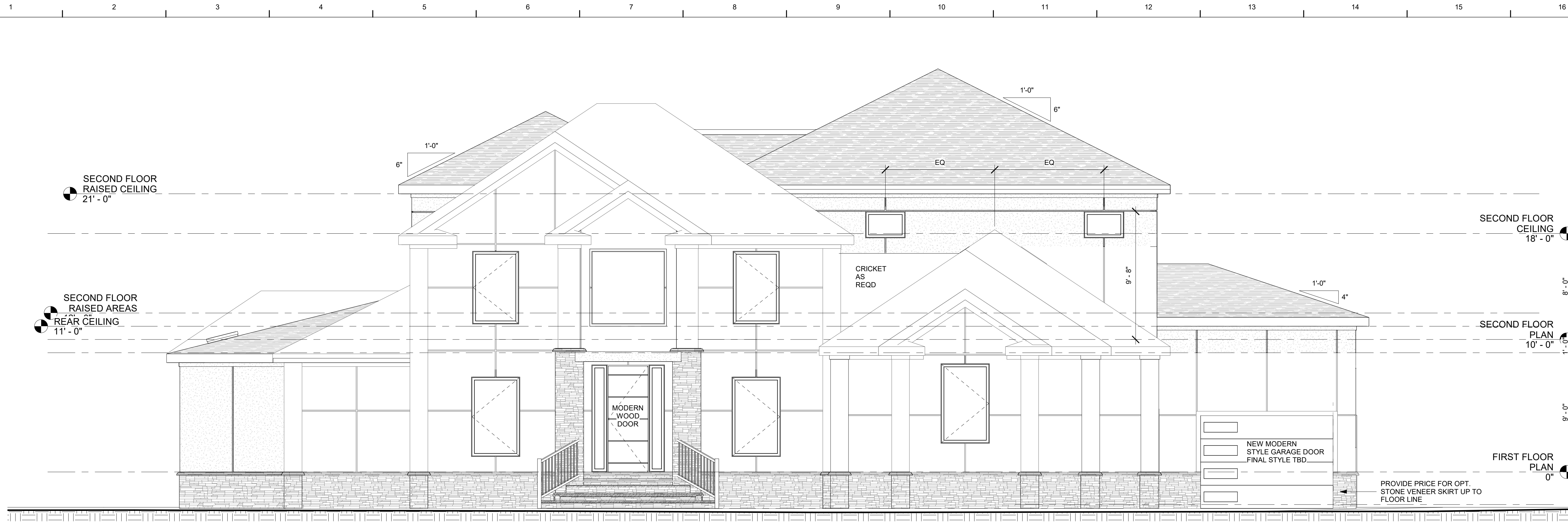
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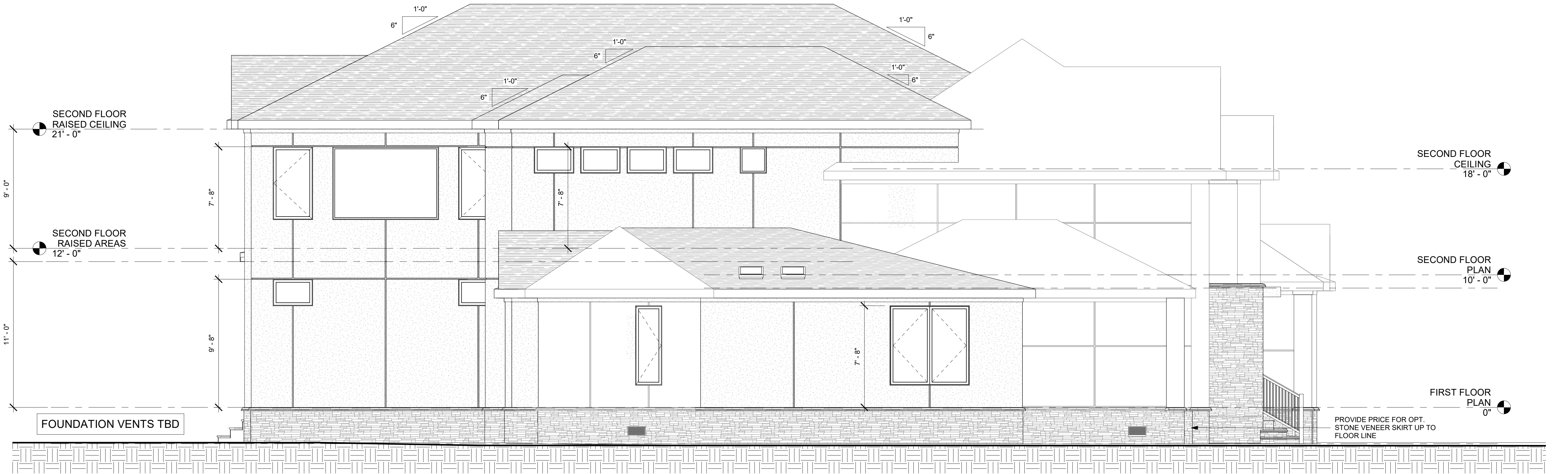
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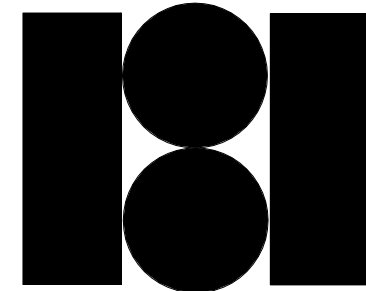
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2 NEW WORK - FRONT ELEVATION
1/4" = 1'-0"



1 NEW WORK - LEFT ELEVATION
1/4" = 1'-0"



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1317 BAFFY LOOP, CHESAPEAKE
PATEL RESIDENCE
NEW WORK - ELEVATIONS

REVISIONS:

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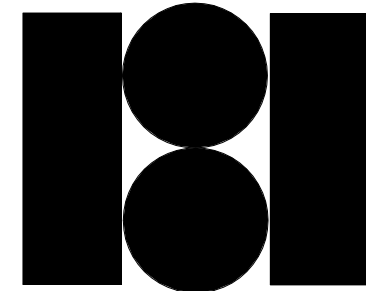
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4/15/22

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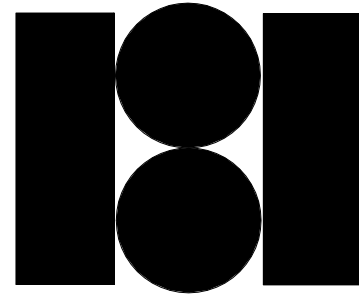
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4/15/22

1317 BAFFY LOOP, CHESAPEAKE

PATEL RESIDENCE

3D STONE

REVISIONS:

NO:	DATE:	DESCRIPTION:

DATE: 4/15/22
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SHEET NUMBER:

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DINING ROOM - CLOUD
CEILING FEATURE W/
LIGHTING



DINING ROOM DISPLAY
FEATURE AND CASD OPENING



FAMILY ROOM - RECESSED CEILING FEATURE W/ LIGHTING W/ WOOD PANELS OPT
GAME ROOM CEILING FEATURE OVER BAR ISLAND



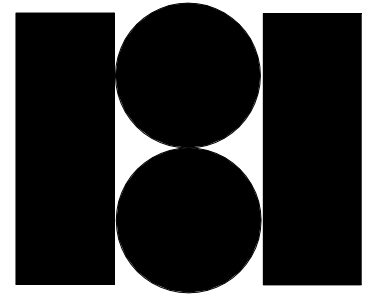
CEILING FEATURE OVER KITCHEN ISLAND
BASE - DRY WALL FINISHED W/ LIGHTING
OPT. WOOD FEATURE



BREAKFAST CEILING LIGHT FIXTURE



GAME ROOM CEILING INSPIRATION



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