ZAHIR RESIDENCE

VIRGINIA BEACH VIRGINIA

CODE INFORMATION

1) PLANS DRAWN TO COMPLY WITH:
- 2015 INTERNATIONAL RESIDENTIAL BUILDING CODE (I.R.C.)
- 2015 VIRGINIA UNIFORM STATEWIDE BUILDING CODE (U.S.B.C.)
- 2015 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (N.D.S.)
- ACSE-7 A.S.C.E. MINIMUM DESIGN LOADS FOR BUILDINGS & OTHER STRUCTURES
- 9TH EDITION A.I.S.C. MANUAL OF STEEL CONSTRUCTION
- ACI-318 A.C.I. BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE

DESIGN LIVE LOADS (GRAVITY): LOCATION	LIVE	DEAD	LIVE LOAD DEFLECT. LIMIT
ROOF (WITH FINISHED CEILING):	20 PSF	10 PSF	L/240
ROOF (NO FINISHED CEILING):	20 PSF	10 PSF	L/180
CEILING (NO STORAGE ABOVE):	10 PSF	10 PSF	L/240
CEILING (STORAGE ABOVE):	20 PSF	10 PSF	L/240
FLOOR (NON-SLEEPING ROOM):	40 PSF	10 PSF	L/360
FLOOR (SLEEPING ROOM):	30 PSF	10 PSF	L/360
DECKS:	60 PSF	10 PSF	L/360
WALLS:			L/240

DESIGN LIVE LOADS (LATERAL):

WIND SPEED:	115-130 M.P.H EXPOSURE "B"
SEISMIC:	PER THE 2015 I.R.B.C.

2) ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED TO BE 1,500 P.S.F. FOR DESIGN PURPOSES. ACTUAL SOIL BEARING VALUES MAY BE VERIFIED BY CONTRACTOR AND R401.4. IF ACTUAL SOIL BEARING VALUES ARE FOUND TO BE LESS THAN ASSUMED VALUE, CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION BEGINS.

3) STRUCTURE IS TO BE NOISE TESTED BEFORE CERTIFICATE OF OCCUPANCY IS TO BE ISSUED AS REQUIRED PER U.S.B.C. R1207.4.

APPROXIMATE SQUARE FOOTAGES

1ST FLOOR:	4,244 HT. SQ. FT.
2ND FLOOR:	4,411 HT. SQ. FT.
3RD FLOOR:	1,224 HT. SQ. FT.
TOTAL HEATED LIVING AREA:	9,879 HT. SQ. FT.
GARAGE:	1,076 SQ. FT.
OPEN FOYER:	385 HT. SQ. FT.
OPEN FAMILY ROOM:	457 HT. SQ. FT.
TOTAL OPEN AREA:	842 HT SQ. FT
1ST FLOOR COVERED PORCH:	915 HT. SQ. FT.
2ND FLOOR COVERED PORCH:	478 HT. SQ. FT.
TOTAL COVERED PORCH:	1,383 HT. SQ. FT.
1ST BALCONY:	210 HT. SQ. FT.
2ND BALCONY:	268 HT. SQ. FT.
3RD BALCONY:	307 HT. SQ. FT.
TOTAL BALCONIES(UNCOVERED):	785 SQ. FT.
TOTAL AREA BUILT:	13, 965 SQ. FT.

ATTIC VENTILATION CALCULATIONS

TOTAL AREA TO BE VENTED:	5,720 SQ. FT.
TOTAL AREA REQUIRED FOR INTAKE (EAVE/CORNICE):	1,373 SQ. IN.
TOTAL AREA REQUIRED FOR EXHAUST (UPPER ROOF):	1,373 SQ. IN.

* VALUES BASED ON 1:300 RATIO (VAPOR BARRIER INSTALLED ON WARM SIDE OF CEILING). DOUBLE REQUIRED VALUES IF 1:150 RATIO USED (NO VAPOR BARRIER).

DRAWING INDEX

LEGEND

- NEW STUD WALL CONSTRUCTION
- INTERIOR BEARING WALL
- MANUFACTURED WALL BRACING PANEL
- LATERAL LOAD RESISTING WALL SEGMENT
- BRICK VENEER
- STONE VENEER
- C.M.U. WALL
- WALL BELOW
- WALL OR ITEM TO BE DEMOLISHED
- WALLOPENING OR ITEM ABOVE
- ELEVATION TARGET
- POINT LOAD FROM ABOVE
- BRACE POINT FROM BELOW
- METAL STRAP TIE
- (XX) BRACED WALL LINE MARKER
- (C.M.) CARBON MONOXIDE DETECTOR
- (E.F.) EXHAUST FAN (VENT TO OUTSIDE)
- (S.D.) SMOKE DETECTOR
- G.F.I. RECEPTACLE
- SHOWER HEAD

ABBREVIATIONS

A.O.	ARCHED OPENING
BRG.	BEARING
BPP%	BRACED PANELS PROVIDED
BPR%	BRACED PANELS REQUIRED
BWL	BRACED WALL LINE
BWP	BRACED WALL PANEL
BWPL	BRACED WALL PANEL LENGTH
CLG.	CEILING
CIR.	CIRCLE
C.J.	CONTROL JOINT (SAW CUT)
C.M.U.	CONCRETE MASONRY UNIT
CNTR.	COUNTER
C.O.	CASED OPENING
CONT.	CONTINUOUS
CSM.	CASEMENT
C.T.	CERAMIC TILE
DBL.	DOUBLE
D.H.	DOUBLE HUNG
D.W.	DISH WASHER
DN./DWN.	DOWN
E.S.	EQUALLY SPACED
E.W.	EACH WAY
FLR.	FLOOR
FT.	FOOT/FEET
F.P.	FIREPLACE
G.W.B.	GYPSUM WALL BOARD
H.C.	HANDI-CAP ACCESSIBLE
HDR.	HEADER
HT.	HEATED
ID	IDENTIFICATION
I.R.B.C.	INTERNATIONAL RESIDENTIAL BUILDING CODE
JST.	JOIST
K.S.	KNEE SPACE
L.V.L.	LAMINATED VENEER LUMBER
L.T.	LAUNDRY TUB
M.E.	MATCH EXISTING
M.O.	MASONRY OPENING
MANU.	MANUFACTURER
MW.	MICROWAVE
N.A.	NOT APPLICABLE
NO.	NUMBER
OPN.	OPENING
OPT.	OPTIONAL
O.S.B.	ORIENTED STRAND BOARD
PIC.	PICTURE
PCKT.	POCKET
PLT.	PLATE
P.S.I.	POUNDS PER SQUARE INCH
P.S.F.	POUNDS PER SQUARE FOOT
P.T.	PRESSURE TREATED
REF.	REFRIGERATOR
REQD.	REQUIRED
RFTR.	RAFTER
R.O.G.	ROOM OVER GARAGE
S.C.	SOLID CORE
S.D.	SMOKE DETECTOR
SLP.	SLOPE
SQ.	SQUARE
STP.	STEP
S.Y.P.	SOUTHERN YELLOW PINE
TEMP.	TEMPERED GLASS
T.&G.	TONGUE & GROOVE
T.B.D.	TO BE DESIGNED
TP.	TOP
TRANS.	TRANSOM
T.C.	TRASH COMPACTOR
TPL.	TRIPLE
TRTD.	TREATED
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD

GENERAL NOTES

1) SOME ADJUSTMENTS MAY BE REQUIRED DEPENDING ON SITE CONDITIONS. ALL WORK SHALL BE DONE TO THE BEST PRACTICES OF THE TRADES AND ACCORDING TO THE ESTABLISHED STANDARDS AND IN ACCORDANCE WITH THE LATEST MUNICIPALITY, STATE OR NATIONAL BUILDING CODES.

2) CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND/OR THE CONTRACTOR'S BUILDING METHODS. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLANS, THE CONTRACTOR MUST ADVISE MAYFIELD DESIGNS, INC. AS SOON AS POSSIBLE. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE MEASUREMENTS. CONTRACTOR SHALL COORDINATE AND VERIFY ALL DIMENSIONS PRIOR TO BEGINNING WORK.

3) THE STRUCTURE HAS BEEN DESIGNED ACCORDING TO CURRENT STANDARDS, USING A COMBINATION OF ENGINEERED WOOD MEMBERS AND CONVENTIONAL DIMENSION WOOD MEMBERS. ENGINEERED WOOD SUPPLIERS MAY PROPOSE COMPARABLE FRAMING SYSTEMS REQUIRING MODIFICATION TO THE FRAMING DESIGN SHOWN ON THESE DRAWINGS. THE SUPPLIER OR MANUFACTURER MUST SUPPLY THE BUILDER WITH ALL DESIGN CRITERIA FOR PROPER MODIFICATIONS REGARDING OTHER TRADES INVOLVED IN THE CONSTRUCTION. ALL STRUCTURAL DESIGN CHANGES MUST BE REVIEWED BY A LICENSED PROFESSIONAL ENGINEER.

4) THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH-QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES. THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS.

5) YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATION.

6) MAYFIELD DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

7) THESE PLANS HAVE HAVE BEEN ORIGINALLY DRAWN MAYFIELD DESIGNS INC. (UNLESS OTHERWISE NOTED) AND ARE IT'S EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN.

FLOOR PLAN NOTES

1) BATH & SHOWER WALL COVERING: WALLS AND FLOOR OF BATHTUBS AND SHOWERS WITH A SHOWER HEAD SHALL HAVE NONABSORBENT SURFACES UP TO 6 FEET IN HEIGHT. CEMENT, FIBER-CEMENT AND GLASS MAT GYPSUM BACKERS, IN COMPLIANCE WITH ASTM C 1288, C 1325 OR C1178 INSTALLED AS PER THE MANUFACTURE'S RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUBS AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. INDICATE ON THE PLANS THE CERAMIC TILE WALL BACKER IN TUB AND SHOWER AREAS.

2) DESIGN PRESSURES: BUILDINGS AND PORTIONS THEREOF SHALL BE LIMITED BY WIND SPEED AS DEFINED IN TABLE R301.2(1) AND AS PER FIGURE R301.2(4) AND CONSTRUCTION METHODS IN ACCORDANCE WITH THIS CODE. THE ABOVE TABLE DEFINES CITY OF CHESAPEAKE AS LOCATED IN THE 115VULT MPH 3 SEC GUST AND NOMINAL 91ASD IN ACCORDANCE WITH ASCE-7 2010. WHERE LOADS FOR WINDOWS, SKYLIGHTS AND EXTERIOR DOORS AND GARAGE DOORS ARE NOT OTHERWISE SPECIFIED, THE LOADS LISTED IN TABLE R301.2(2) ADJUSTED FOR HEIGHT AND EXPOSURE PER TABLE R301.2(3) SHALL BE USED TO DETERMINE LOAD PERFORMANCE FOR WINDOWS, DOORS, SIDING, AND ROOFING USE COLUMN UNDER 100 MPH IN ABOVE TABLES.

3) WINDOW AND DOOR FENSTRATION: ALL EXTERIOR WINDOWS AND DOORS SHALL BE LABELED WITH A FENESTRATION U FACTOR OF 0.35 OR LESS AND A SOLAR HEAT GAIN FACTOR OF 0.40 OR LESS. ONE (1) OPAQUE DOOR PER HOME DOES NOT HAVE TO MEET THIS REQUIREMENT AND UP FIFTEEN (15) SQUARE FEET OF WINDOW AREA DOES NOT HAVE TO MEET THE FENESTRATION REQUIREMENTS. SHOW ON PLANS

4) WINDOWS FOR EMERGENCY ESCAPE AND RESCUE: PROVIDE NET OPENING OF 5.7 SQUARE FEET FOR BEDROOMS, HABITABLE ATTICS AND SLEEPING SPACES EXCEPT 5.0 SQUARE FEET FOR GRADE FLOOR ESCAPE WINDOWS. NOTE THAT THE SILL MUST BE NO HIGHER THAN 44 INCHES ABOVE THE INTERIOR FLOOR. MINIMUM OPENING HEIGHT IS 24 INCHES HEIGHT AND MINIMUM WIDTH IS 20 INCHES. SHOW THE WINDOW SIZES AND TYPES ON THE PLANS.

5) WINDOW SILL MINIMUM HEIGHT FOR ALL SECOND AND THIRD FLOOR WINDOWS: IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE THE OUTSIDE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 18 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 18 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS: 1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4 INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPENED POSITION. 2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2006 OR F 2090. SHOW ON PLANS.

6) KITCHEN FIRE EXTINGUISHER: IN DWELLINGS THAT ARE NOT EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313, NOTE THE LOCATION OF A FIRE EXTINGUISHER HAVING A RATING OF 2-A:10-B:C OR AN APPROVED EQUIVALENT TYPE OF FIRE EXTINGUISHER WHICH SHALL BE INSTALLED IN THE KITCHEN AREA.

WALLS, EXTERIOR NOTES

1) LUMBER GRADE AND SPECIES: ALL LUMBER TO BE SOUTHERN YELLOW PINE #2 (S.Y.P. #2) UNLESS OTHERWISE NOTED.

2) BUILDING THERMAL ENVELOPE: THE BUILDING THERMAL ENVELOPE MUST BE DURABLY SEALED TO LIMIT INFILTRATION. THE FOLLOWING MUST BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL. 1). ALL JOINTS, SEAMS AND PENETRATIONS. 2). SITE WINDOWS, DOORS AND SKYLIGHTS. 3). OPENINGS BETWEEN WINDOWS AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING. 4). UTILITY PENETRATIONS. 5). DROPPED CEILINGS OR CHASES ADJACENT TO THERMAL ENVELOPE. 6). KNEE WALLS. 7). WALLS AND CEILINGS SEPARATING GARAGE FROM CONDITIONED SPACES. 8). BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS. 9). COMMON WALLS BETWEEN DWELLING UNITS. 10). ATTIC OPENINGS. 11). RIM JOIST JUNCTION. 12). OTHER SOURCES OF INFILTRATION

3) HEADER INSULATION R-3 USBC: GAPS IN HEADERS MUST BE INSULATED TO A MINIMUM OF R-3

4) WALL CORNER CAVITY R-3 USBC: GAPS IN CORNERS MUST BE INSULATED TO A MINIMUM OF R-3

5) EXTERIOR WALL INSULATION: R15 OR R13+1 (R13 INSULATION IN THE CAVITY AND R-1 ON THE EXTERIOR SHEATHING.

6) FIREBLOCKING REQUIRED; FIRE BLOCKING SHALL BE PROVIDED TO CUT-OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS. (1). IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES, ALSO VERTICALLY AT CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. (2). AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS, AND COVE CEILINGS. (3). IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. (4). AT OPENINGS AROUND VENTS, PIPES, AND DUCT AT CEILING AND FLOOR LEVEL, WITH AN APPROVED PRODUCT TO RESIST THE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. (5). FIRE BLOCKING OF CHIMNEYS AND FIREPLACES SEE R1003.19. (6). FIRE BLOCKING OF CORNICES OF A TWO FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

7) ANCHOR BOLTS: PROVIDE ½ INCH DIAMETER ANCHOR BOLTS, IN SILL AND BOTTOM PLATES, SPACED A MINIMUM OF 6 FEET ON CENTER AND A MAXIMUM OF 1 FOOT FROM THE ENDS OF SILL PLATES. ANCHOR BOLTS MUST BE EMBEDDED A MINIMUM OF 7 INCHES INTO MASONRY CELLS AND CONCRETE.

8) EXTERIOR STUDS CONTINUOUS: EXTERIOR WALLS OF WOOD FRAME CONSTRUCTION SHALL HAVE STUDS THAT ARE CONTINUOUS FROM A SUPPORT AT THE BOTTOM PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE A FOUNDATION OR FLOOR AND A CEILING OR ROOF DIAPHRAGM.

9) JACK AND KING STUDS: HEADERS MUST BE SUPPORTED ON EACH END BY ONE OR MORE JACK STUDS AS PER TABLE R505.5(1) AND (2). A KING STUD MUST BE ADJACENT TO THE JACK STUD ON EACH END OF THE HEADER AND NAILED TO THE HEADER WITH 4-12D NAILS.

10) WEEPHOLES FOR BRICK VENEER: WEEP HOLE ARE REQUIRED IN THE OUTSIDE WYTHE OF MASONRY WALLS AT A MAXIMUM SPACING OF 33 INCHES ON CENTER. WEEP HOLES MUST BE AT LEAST 3/16 OF AN INCH IN DIAMETER AND LOCATED IMMEDIATELY ABOVE THE FLASHING.

FOUNDATION NOTES

1) FOOTING DEPTH (FROST LINE): THE BOTTOM OF ALL FOOTINGS MUST BE A MINIMUM OF 12 INCHES BELOW FINAL GRADE.

2) CONCRETE SLABS: ALL GARAGE SLABS, DRIVEWAYS, PATIOS, SIDEWALKS EXPOSED TO THE WEATHER MUST BE A MINIMUM OF 3000 PSI CONCRETE.

3) PIER MAXIMUM UNFILLED HEIGHT: THE UNSUPPORTED HEIGHT OF INTERIOR MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION. WHEN HOLLOW CONCRETE MASONRY UNITS ARE USED FOR ISOLATED INTERIOR PIERS TO SUPPORT BEAMS AND GIRDERS, THE CELLULAR SPACES SHALL BE FILLED SOLIDLY WITH CONCRETE OR TYPE M OR S MORTAR IF THEIR UNSUPPORTED HEIGHT IS MORE THAN FOUR TIMES THEIR LEAST DIMENSIONS.

4) PIER CAP: HOLLOW PIERS SHALL BE CAPPED WITH 4 INCHES OF SOLID MASONRY OR CONCRETE OR SHALL HAVE THE CAVITIES OF THE TOP COURSE FILLED WITH CONCRETE OR GROUT.

5) FOUNDATION VENTS: AT LEAST ONE FOUNDATION VENT MUST BE WITHIN 3 FEET OF EACH CORNER.

6) CRAWL SPACE GRADE: THE FINISH GRADE OF UNDER-FLOOR SURFACE MUST BE AT OR ABOVE OUTSIDE FINISHED GRADE (UNLESS APPROVED DRAINAGE SYSTEM IS PROVIDED).
CRAWL SPACE HEIGHT: PROVIDE MINIMUM 12 INCHES TO GIRDERS AND 18 INCHES TO FLOOR JOISTS.

7) PRESSURE TREATED LUMBER: PRESSURE TREATED LUMBER TO BE USED WHERE LUMBER WILL POSSIBLY BE EXPOSED TO MOISTURE OR GROUND CONTACT.

8) PRESSURE TREATED WOOD FASTENERS: FASTENERS, WASHERS AND STEEL BOLT NUTS IN CONTACT WITH PRESSURE TREATED PRESERVATIVE AND FIRE RETARDANT-TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER. EXCEPTION: ONE-HALF INCH DIAMETER OR GREATER STEEL BOLTS.

FLOOR NOTES

1) LUMBER GRADE AND SPECIES: ALL LUMBER TO BE SOUTHERN YELLOW PINE #2 (S.Y.P. #2) UNLESS OTHERWISE NOTED.

2) STRUCTURAL BEARING SUPPORT: MINIMUM BEARING AT THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL BE NOT LESS THAN 1.5 INCHES ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE. EXCEPTION: WHERE SUPPORTED ON A 1 INCH-BY-4-INCH RIBBON STRIP AND NAILED TO THE ADJACENT STUD OR BY THE USE OF APPROVED JOIST HANGERS.

3) FLOORS, DRAFT-STOPPING: WHEN THERE IS USABLE SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF A FLOOR/CEILING ASSEMBLY, DRAFT STOPS SHALL BE INSTALLED SO THAT THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. DRAFT STOPPING SHALL BE INSTALLED SO AS TO DIVIDE THE SPACE EVENLY. DRAFT STOPPING IS REQUIRED IN SUSPENDED CEILINGS UNDER THE FLOOR SYSTEM AND WHEN FLOOR FRAMING IS CONSTRUCTED OF TRUSS TYPE OPEN WEB OR PERFORATED MEMBERS.

4)INSULATION: MIN. R19 REQUIRED.

WALLS, INTERIOR NOTES

1) FIREBLOCKING REQUIRED; FIRE BLOCKING SHALL BE PROVIDED TO CUT-OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS. (1). IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING FURRED SPACES, ALSO VERTICALLY AT CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT EXCEEDING TO FEET. (2). AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS, AND COVE CEILINGS. (3). IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. (4). AT OPENINGS AROUND VENTS, PIPES, AND DUCT AT CEILING AND FLOOR LEVEL, WITH AN APPROVED PRODUCT TO RESIST THE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. (5). FIRE BLOCKING OF CHIMNEYS AND FIREPLACES SEE R1003.19. (6). FIRE BLOCKING OF CORNICES OF A TWO FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.

ROOF STRUCTURE NOTES

1) LUMBER GRADE AND SPECIES: (IDENTIFY THE LUMBER GRADE AND SPECIES OF WOOD TO BE USED FOR ROOF AND CEILING FRAMING MEMBERS.)

2) RAFTERS AND CEILING JOISTS, MINIMUM BEARING: MINIMUM BEARING AT THE ENDS OF EACH RAFTER OR CEILING JOIST SHALL BE NOT LESS THAN 1-1/2 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE.

3) ATTIC ACCESS INSULATED AND SEALED: ALL ATTIC ACCESSES MUST BE INSULATED WITH AN R VALUE EQUAL TO THE DIAPHRAGM THAT THEY PENETRATE. ALL ACCESSES MUST BE GASKETED AND CONSTRUCTED TO CONTAIN INSULATION SPILL OVER. THIS INCLUDES ATTIC PULL DOWN LADDERS MAY REQUIRE AN INSULATED HATCH AND GASKET. INSULATION MUST BE A MIN. OF R-38 OR R-30 WHEN 100% COVERAGE IS PROVIDED AND EXTENDS FULLY TO COVER WALL PLATE AT THE EAVES.

GARAGE NOTES

1) CONCRETE SLABS. PROVIDE MINIMUM 3000 PSI CONCRETE FOR GARAGE SLABS. SLOPE FLOOR FOR DRAINAGE TO DRAIN OR MAIN DOOR PER R309.3

2) OPENINGS FROM ATTACHED GARAGE INTO HOUSE: OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES PROHIBITED. PROVIDE OTHER OPENINGS BETWEEN A GARAGE AND RESIDENCE WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8 INCHES IN THICKNESS, SOLID OR HONEYCOMB STEEL DOORS NOT LESS THAN 1-3/8 INCHES THICK, OR 20 MINUTE FIRE RATED DOORS.

3) GARAGE SEPARATION: SEPARATE GARAGE WALLS FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2 INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. SEPARATE GARAGES BENEATH HABITUAL ROOMS ABOVE BY NOT LESS THAN 5/8 TYPE X GYPSUM BOARD OR EQUIVALENT. ALL STRUCTURAL ELEMENTS (STEEL COLUMN, STEEL BEAM OR BEARING WALL) SUPPORTING A CEILING OR ROOF ABOVE AN ATTACHED GARAGE MUST BE PROTECTED BY NOT LESS THAN 1/2 GYPSUM.

4) DUCT PENETRATIONS: PROVIDE MINIMUM 26 GAGE SHEET STEEL OR OTHER APPROVED MATERIALS AND NO OPENINGS INTO GARAGE.

5) RETURN AIR: OUTDOOR AND RETURN AIR FOR FORCED-AIR SYSTEMS PROHIBITED FROM THE GARAGE.

REVISED	
BY	DATE

PLANS PREPARED FOR ZAHIR RESIDENCE

COVER SHEET

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619 EMERALD COURT CHESAPEAKE, VA 23320
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WEBSITE: www.mayfielddesigns.com

DATE MARCH 13, 2021
JOB 18-107
SHEET A1

NOTE:
8" C.M.U. BLOCK AT PORCHES, U.O.N.
8" C.M.U. BLOCK AT GARAGE, U.O.N.

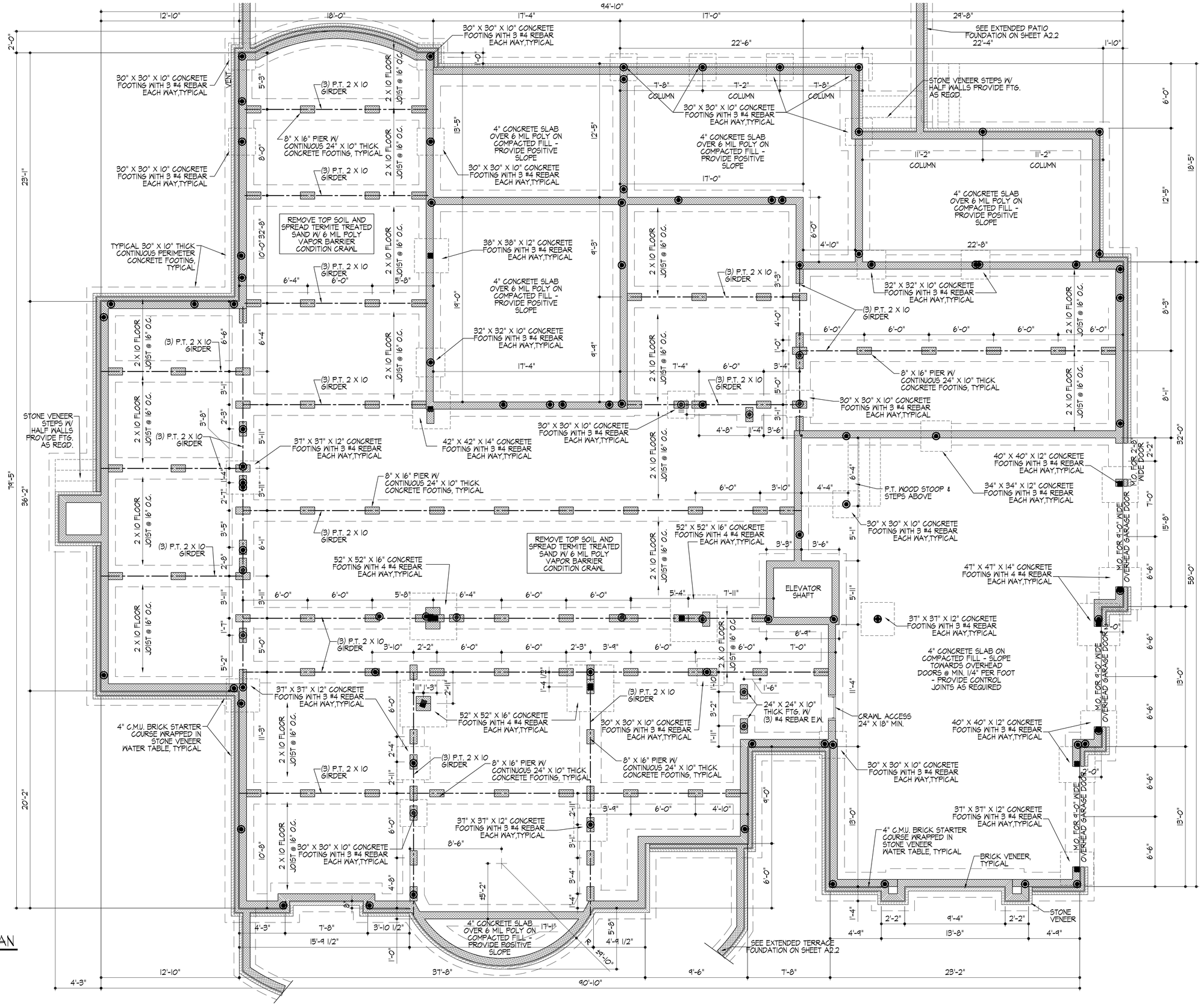
NOTE:
DIMENSIONS ARE TO FACE OF C.M.U. AND ARE TO MATCH FRAMING ABOVE

NOTE:
PROVIDE SOLID FULL HEIGHT BLOCKING AT ALL POINT LOAD LOCATIONS

NOTE:
PENETRATING DUCTS IN GARAGE WALL/CEILING ARE TO BE CONSTRUCTED OF MIN. No. 26 GAGE (.48mm) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO GARAGE. R302.5.2

NOTE:
OUTDOOR & RETURN AIR FOR A FORCED-AIR HEATING OR COOLING SYSTEM SHALL NOT BE TAKEN FROM: CLOSET, BATHROOM, TOILET ROOM, KITCHEN, MECHANICAL ROOM, BOILER ROOM, FURNACE ROOM, UNCONDITIONED ATTIC OR OTHER DWELLING UNIT

NOTE:
FOUNDATION VENTS SHALL COMPLY WITH SECTION R408. ONE VENT SHALL BE WITHIN 3'-0" OF EACH CORNER OF THE BUILDING



FOUNDATION PLAN
1/4" = 1'-0"

REVISED	
BY	DATE

PLANS PREPARED FOR

ZAHIR RESIDENCE

FOUNDATION PLAN

MAYFIELD DESIGNS, INC.
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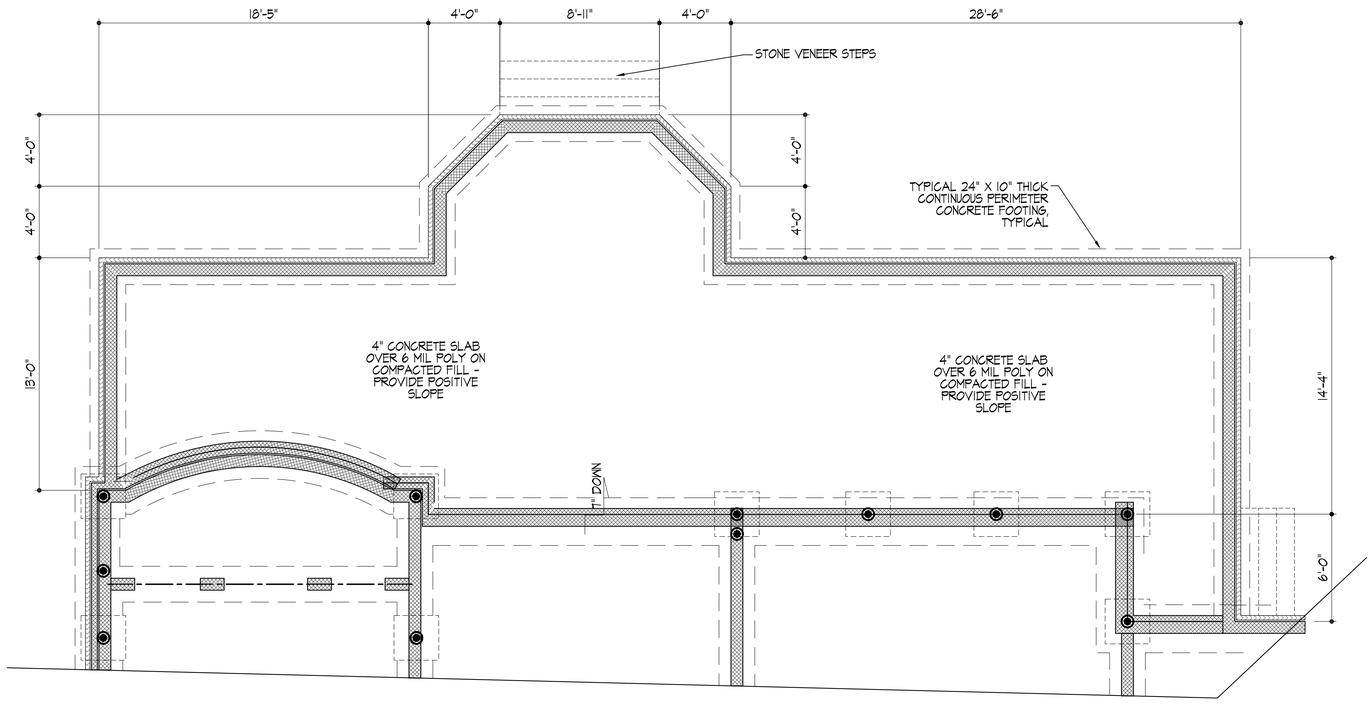
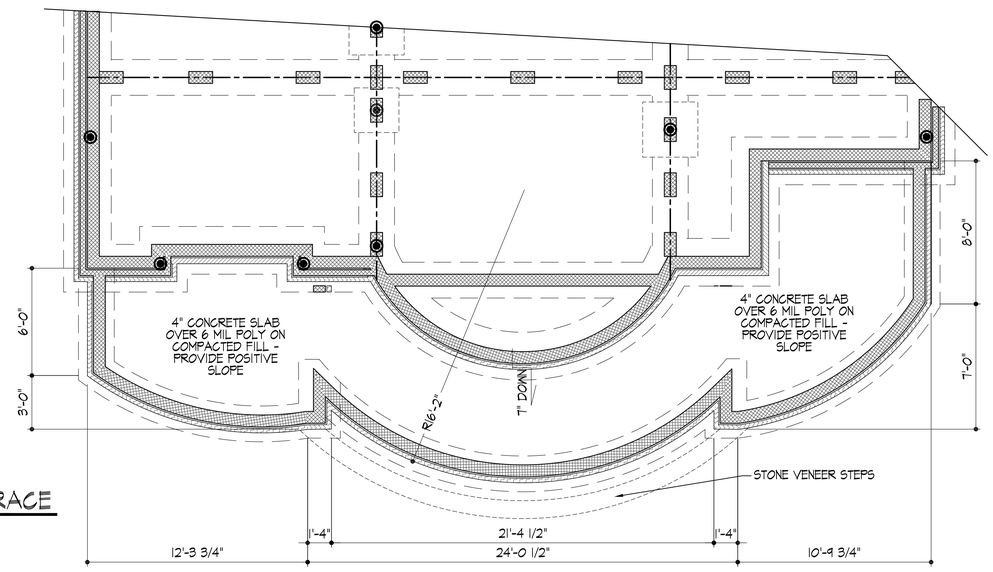
DATE
MARCH 13, 2021
JOB
18-107
SHEET
A2



FOUNDATION @ EXTENDED REAR PATIO

1/4" = 1'-0"



FOUNDATION @ EXTENDED FRONT TERRACE

1/4" = 1'-0"

REVISED	
BY	DATE

PLANS PREPARED FOR

ZAHIR RESIDENCE

FOUNDATION PLAN @ EXTENDED PORCHES

MAYFIELD DESIGNS, INC.

619 EMERALD COURT CHESAPEAKE, VA 23320

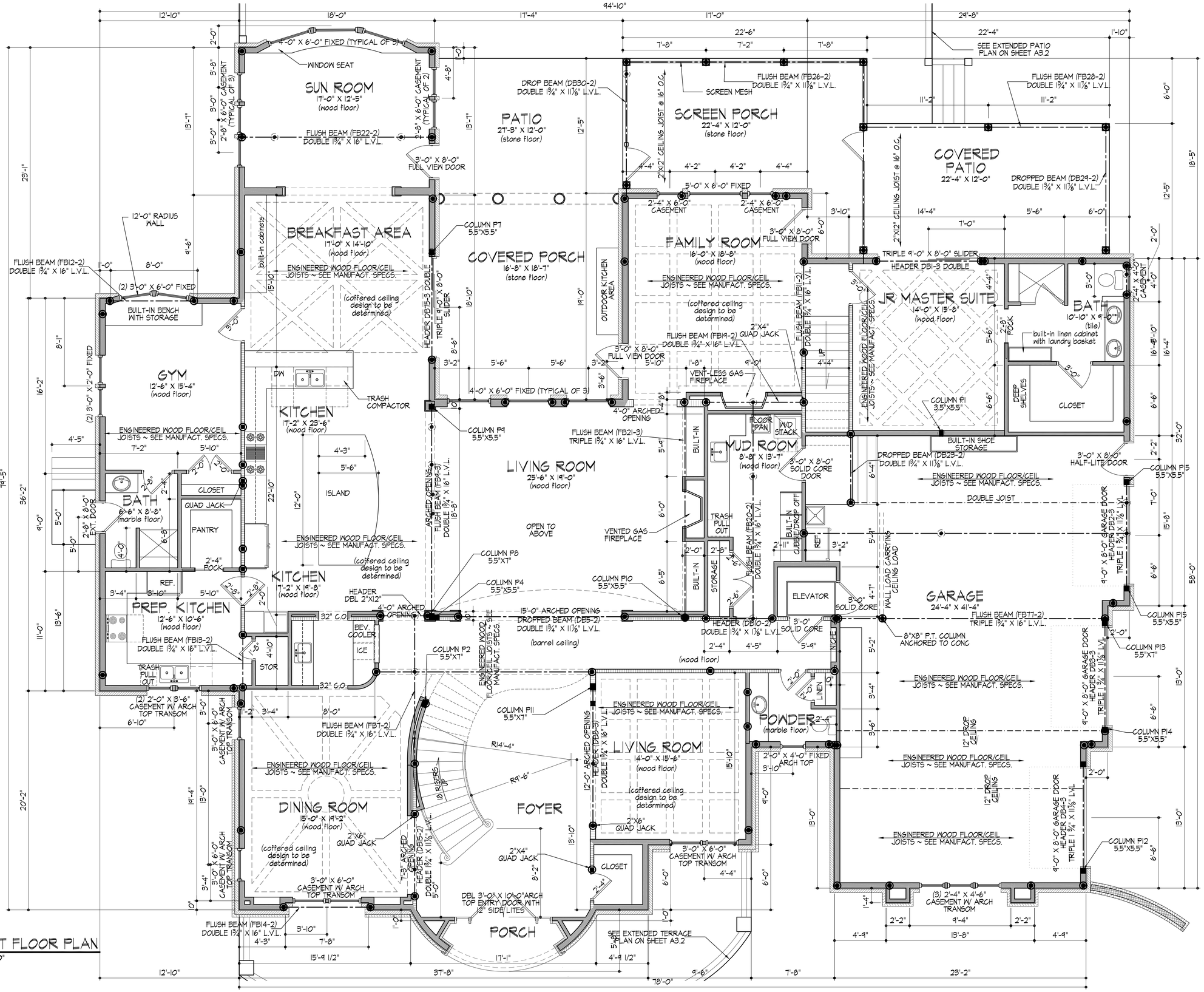
PHONE: (757) 547-2191

WEBSITE: www.mayfielddesigns.com EMAIL: tim@mayfielddesigns.com

DATE MARCH 13, 2021

JOB 18-107

SHEET A2.2



FIRST FLOOR PLAN
1/4" = 1'-0"

NOTE:
1ST FLOOR FINISH CEILING TO BE 10'-0" UNLESS OTHERWISE NOTED & ANGLED WALLS ARE AT 45° U.O.N.

NOTE:
FIRST FLOOR TYPICAL DOOR HEIGHT IS 8'-0" UNLESS OTHERWISE NOTED.

NOTE:
1ST FLOOR WINDOW HEADERS TO BE SET @ 8'-0"± ABOVE FINISH FLOOR, UNLESS OTHERWISE NOTED. PROVIDE WINDOW WELLS AS REQD.

NOTE:
1ST FLOOR EXTERIOR WALLS TO BE 2X6 NO. 2 (OR BETTER) INTERIOR 2X4 S.Y.P. STUDS AT 16" O.C. U.O.N.

NOTE:
ALL WINDOWS ARE TO HAVE A .35 U FACTOR OR LESS PER TABLE N1102 OF THE IRC

NOTE:
THE DOOR & WINDOW DIMENSIONS SHOWN ON THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER. CONTRACTOR MUST VERIFY & MEET EGRESS REQUIREMENTS.

NOTE:
CONTRACTOR IS REPONSIBLE FOR NOTIFYING DESIGNER OF ANY DISCREPANCIES BETWEEN MANUFACTURER FRAMING PLANS AND THESE DRAWINGS.

NOTE:
◉ REPRESENTS A POINT LOAD WITH MINIMUM 2 X6" TRIPLE JACK ON EXTERIOR WALLS AND TRIPLE 2"X4" ON INTERIOR WALLS. EXCEPTIONS ARE NOTED.

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FIRST FLOOR PLAN

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DATE
MARCH 13, 2021
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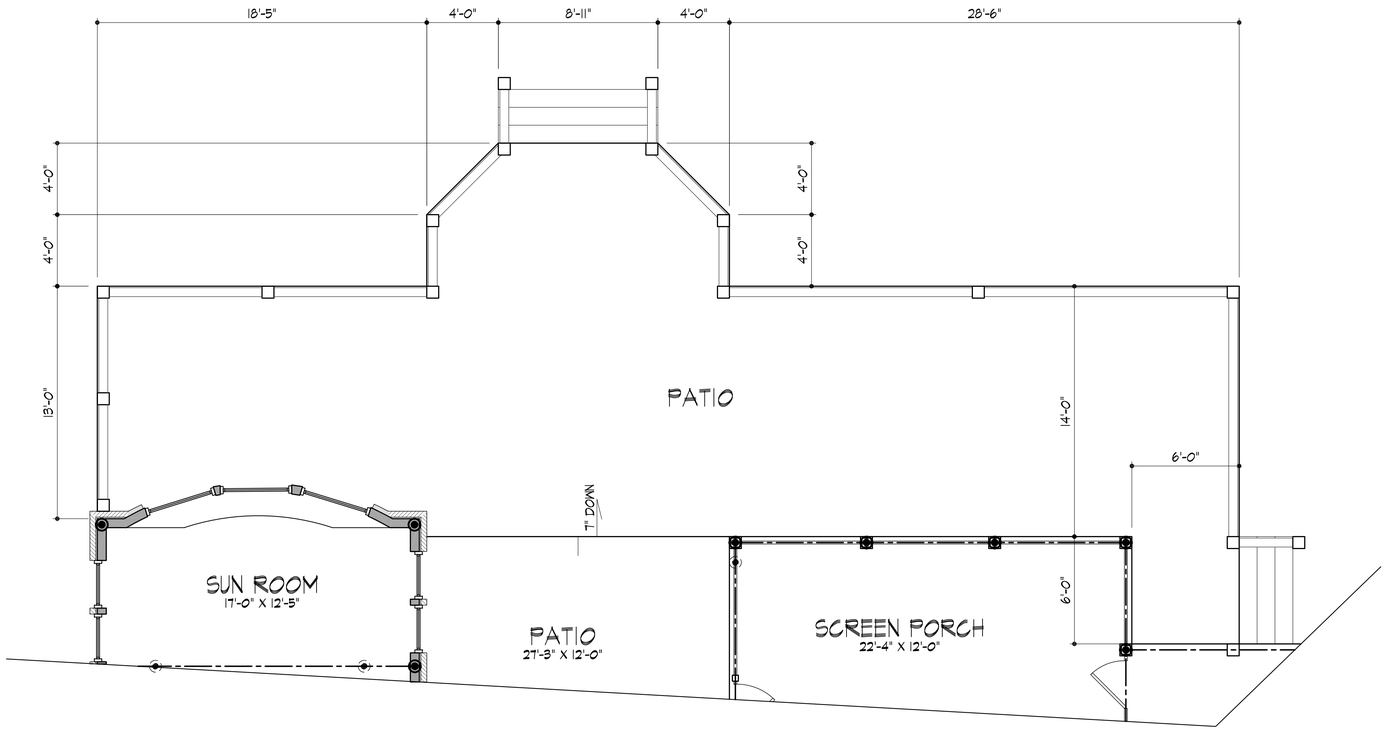
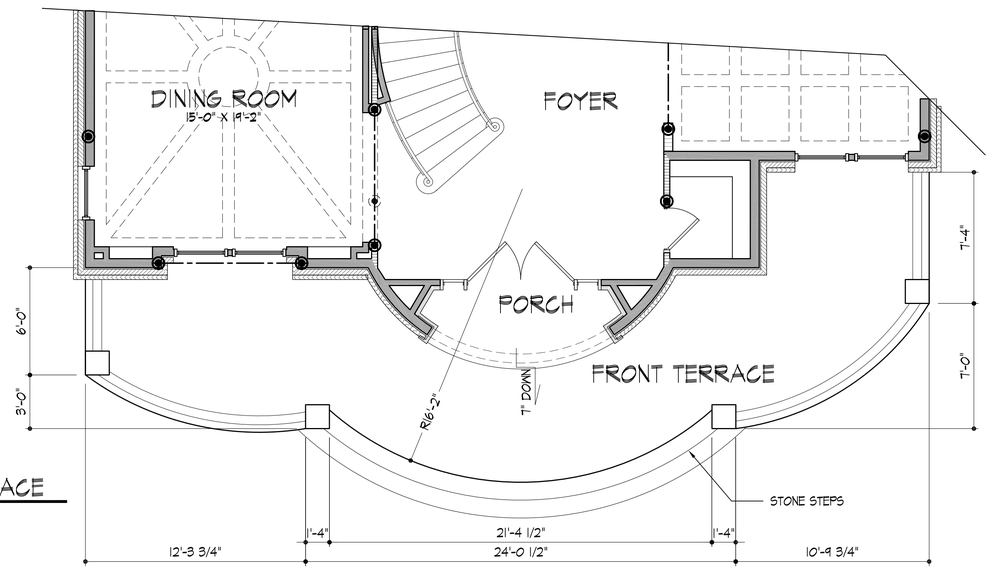
A3



PLAN VIEW @ EXTENDED REAR PATIO

1/4" = 1'-0"



PLAN VIEW @ EXTENDED FRONT TERRACE

1/4" = 1'-0"

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FIRST FLOOR FRAMING PLAN

MAYFIELD DESIGNS, INC.

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NOTE:
2ND FLOOR FINISH CEILING TO BE 9'-0" UNLESS OTHERWISE NOTED & ANGLED WALLS ARE AT 45° U.O.N.

NOTE:
SECOND FLOOR TYPICAL DOOR HEIGHT IS 6'-8" UNLESS OTHERWISE NOTED.

NOTE:
2ND FLOOR WINDOW HEADERS TO BE SET @ 7'-6"± ABOVE FINISH FLOOR, U.O.N. PROVIDE WINDOW WELLS AS REQD. LOWEST PART OF THE CLEAR OPENING OF 2ND FLOOR WINDOW TO BE MINIMUM 18" A.F.F.

NOTE:
2ND FLOOR WINDOW SILLS TO BE SET @ 18"MINIMUM ABOVE FINISH FLOOR

NOTE:
2ND FLOOR EXTERIOR WALLS TO BE 2X6 NO. 2 (OR BETTER) INTERIOR 2X4 S.Y.P. STUDS AT 16" O.C. U.O.N.

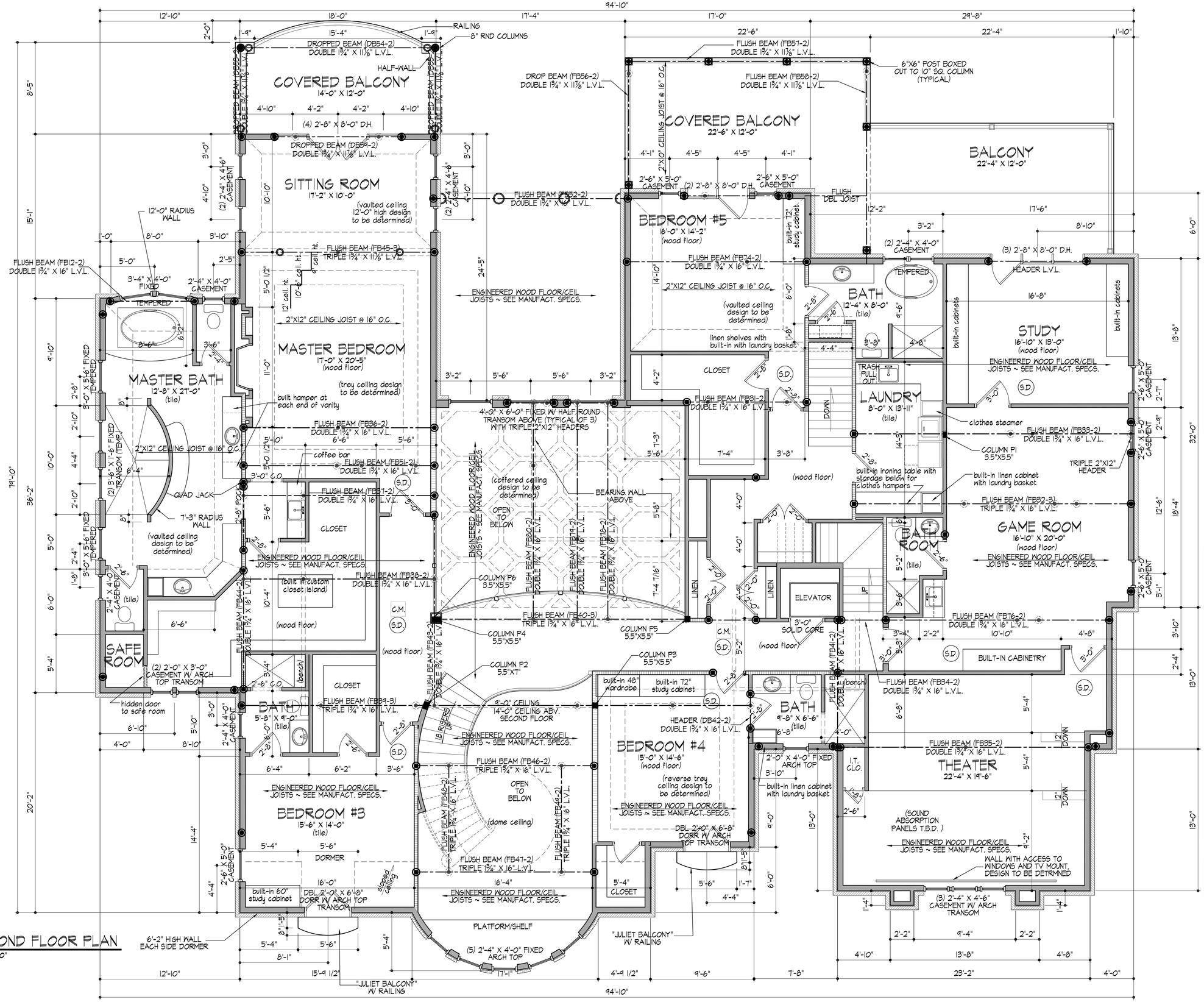
NOTE:
EXTERIOR DOORS & WINDOWS SHALL BE ABLE TO WITHSTAND DIRECT PRESSURE LOAD OF MINIMUM +/-30 P.S.F. GARAGE DOORS SHALL BE ABLE TO WITHSTAND DIRECT PRESSURE LOADS OF MINIMUM +/-25 P.S.F.

NOTE:
ATTIC ACCESS IS 22" X 30" MIN. AND IS TO BE FRAMED W/ A COVER BOX THAT HAS RIGID INSULATION (≥ R - VALUE) APPLIED AND WEATHER STRIPPED AS REQUIRED.

NOTE:
THE DOOR & WINDOW DIMENSIONS SHOWN ON THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER. CONTRACTOR MUST VERIFY & MEET EGRESS REQUIREMENTS.

NOTE:
CONTRACTOR IS REPONSIBLE FOR NOTIFYING DESIGNER OF ANY DISCREPANCIES BETWEEN MANUFACTURER FRAMING PLANS AND THESE DRAWINGS.

NOTE:
● REPRESENTS A POINT LOAD WITH MINIMUM 2"X6" TRIPLE JACK ON EXTERIOR WALLS AND TRIPLE 2"X4" ON INTERIOR WALLS. EXCEPTIONS ARE NOTED.



SECOND FLOOR PLAN
1/4" = 1'-0"

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PLANS PREPARED FOR

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SECOND FLOOR PLAN

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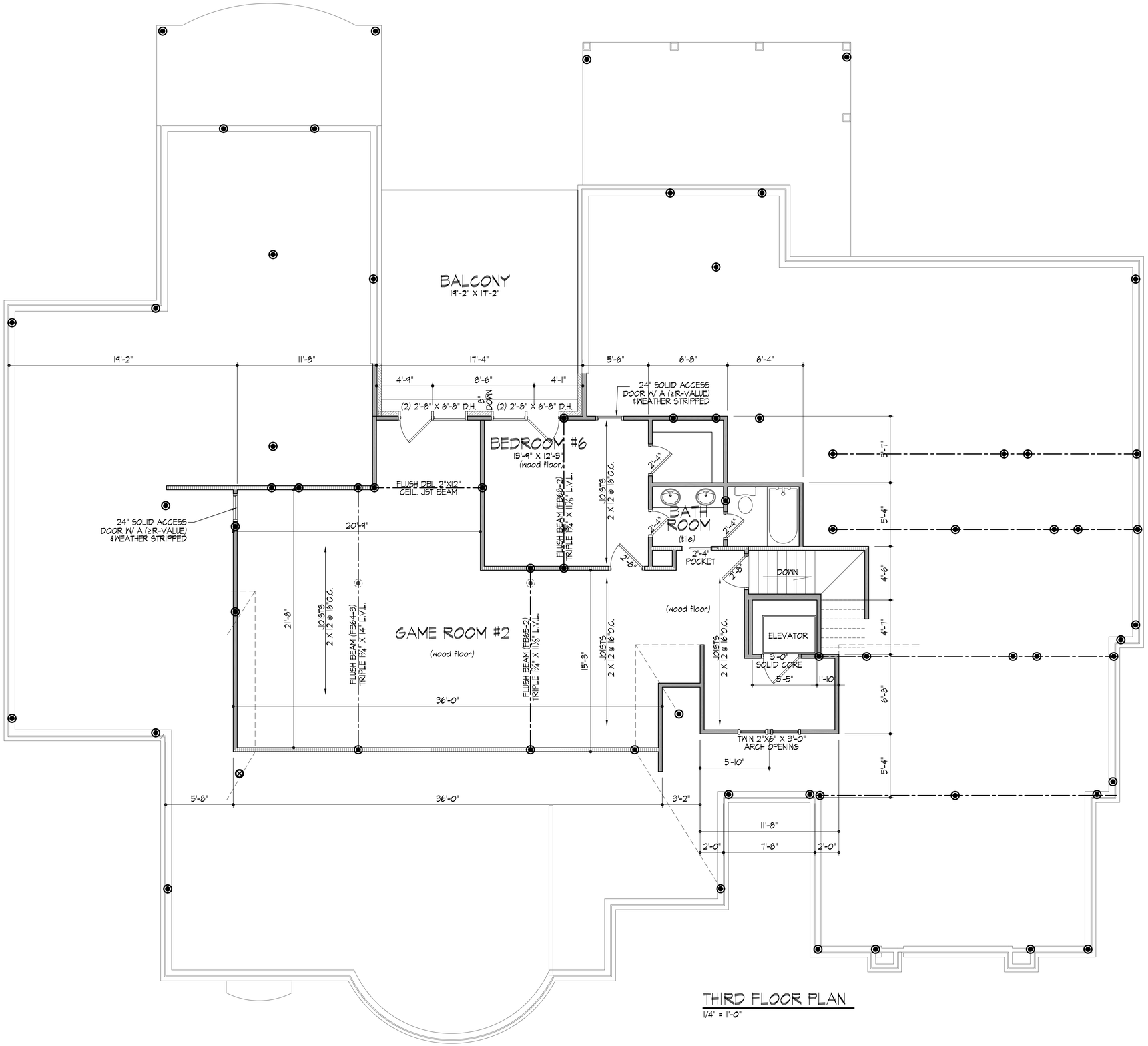

THIRD FLOOR PLAN
1/4" = 1'-0"

NOTE:
3RD FLOOR FINISH CEILING TO BE 8'-0" UNLESS OTHERWISE NOTED & ANGLED WALLS ARE AT 45° U.O.N.

NOTE:
3RD FLOOR WINDOW HEADERS TO BE SET @ 6'-8"± ABOVE FINISH FLOOR, U.O.N. PROVIDE WINDOW WELLS AS REQD.

NOTE:
3RD FLOOR EXTERIOR/INTERIOR WALLS TO BE NO. 2 (OR BETTER) 2X4 S.Y.P. STUDS AT 16" O.C. U.O.N.

NOTE:
EXTERIOR DOORS & WINDOWS SHALL BE ABLE TO WITHSTAND DIRECT PRESSURE LOAD OF MINIMUM +/-30 P.S.F. GARAGE DOORS SHALL BE ABLE TO WITHSTAND DIRECT PRESSURE LOADS OF MINIMUM +/-25 P.S.F.

NOTE:
THE WINDOW DIMENSIONS SHOWN ON THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER. CONTRACTOR MUST VERIFY & MEET EGRESS REQUIREMENTS.

NOTE:
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THIRD FLOOR PLAN

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DATE: MARCH 13, 2021
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NOTE:
TYPICAL ROOF OVERHANG IS 1'-0"± (MEASURED FROM OUTSIDE FACE OF STUD)

NOTE:
WHEN TWO ROOFS INTERSECT WITH DIFFERENT PITCHES, BLOCK TOP OF STUD WALLS AS REQD. TO LINE UP FASCIAS AT A 1'-0"± (MEASURED FROM OUTSIDE FACE OF STUD) OVERHANG

NOTE:
ALL RIDGE, VALLEY, HIP AND RAFTER BRACING IS TO BEAR ON LOAD BEARING WALLS/MEMBERS TO CARRY LOAD DOWN THROUGH ALL STRUCTURE LEVELS AND TERMINATE AT FOUNDATION LEVEL. CONTRACTOR TO NOTIFY DESIGNER IF ADDITIONAL BRACING SUPPORT IS REQUIRED.

NOTE:
PROVIDE STATIC VENTS AT ALL ROOF PROJECTIONS OR VENT TO MAIN

NOTE:
PROVIDE ICE AND WATER SHIELD ON ALL ROOFS WITH A PITCH OF 4 ON 12 OR LESS

NOTE:
FIELD VERIFY ALL BEARING HEIGHTS. ALL BEARING PLATE HEIGHTS ARE REFERENCED TO THE FIRST FLOOR FINISH FLOOR.

NOTE:
CONTRACTOR TO ENSURE STRUCTURE DOES NOT EXCEED MAXIMUM HEIGHT REQUIREMENTS.

NOTE:
CONTRACTOR MUST VERIFY WINDOW SIZES, STYLES & GRILLE PATTERNS SHOWN AS THEY MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER.

NOTE:
CONTRACTOR MUST VERIFY EXTERIOR DOOR SIZES, STYLES & GRILLE PATTERNS SHOWN AS THEY MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER.

NOTE:
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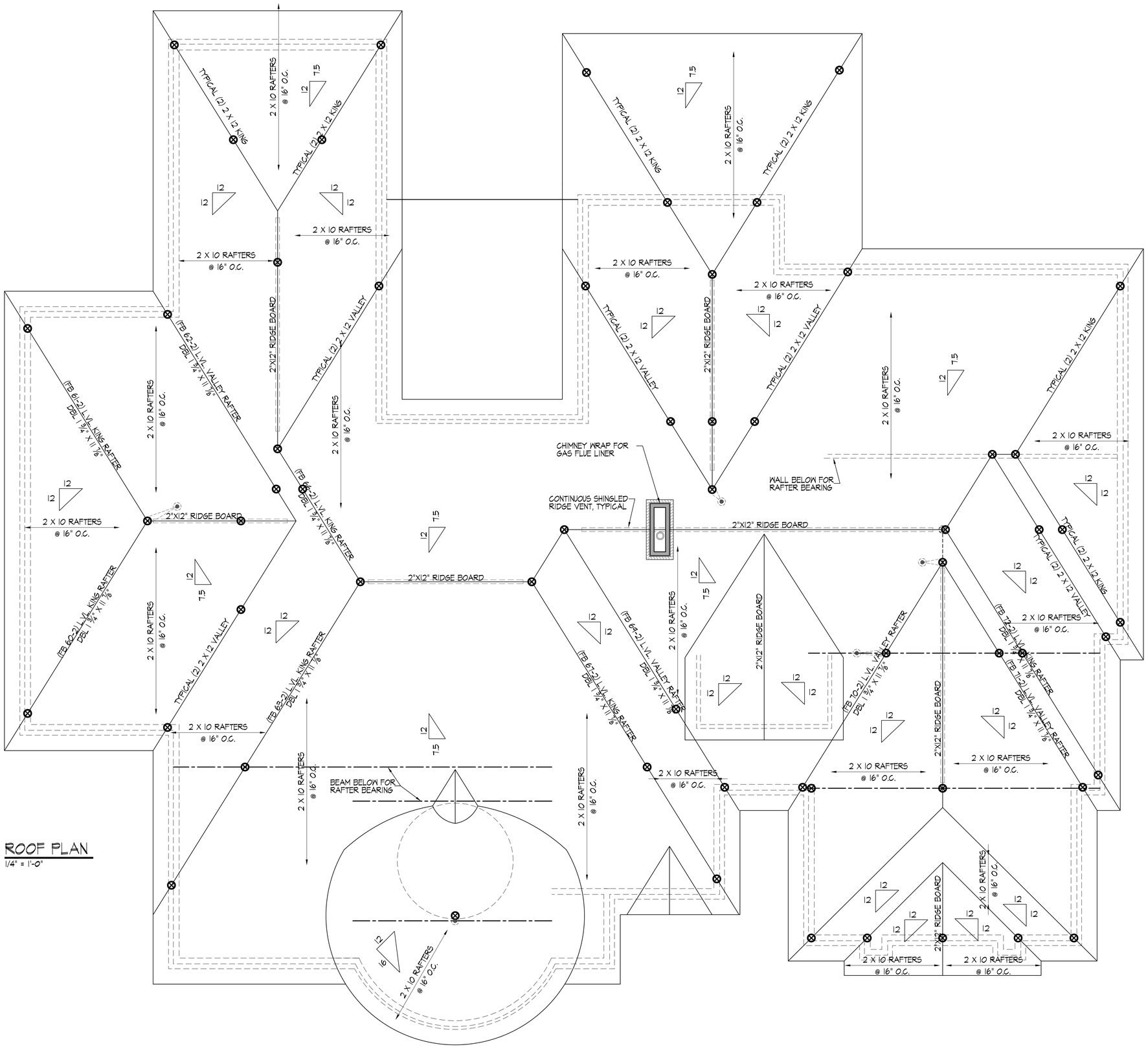

ROOF PLAN
1/4" = 1'-0"

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PLANS PREPARED FOR

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ROOF PLAN

MAYFIELD DESIGNS, INC.
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FRONT ELEVATION
1/4" = 1'-0"

RIGHT SIDE ELEVATION
1/4" = 1'-0"

NOTE:
TYPICAL ROOF OVERHANG IS 1'-4"± (MEASURED FROM OUTSIDE FACE OF STUD)

NOTE:
WHEN TWO ROOFS INTERSECT WITH DIFFERENT PITCHES, BLOCK TOP OF STUD WALLS AS REQD. TO LINE UP FASCIAS AT A 1'-4"± (MEASURED FROM OUTSIDE FACE OF STUD) OVERHANG

NOTE:
ALL RIDGE, VALLEY, HIP AND RAFTER BRACING IS TO BEAR ON LOAD BEARING WALLS/MEMBERS TO CARRY LOAD DOWN THROUGH ALL STRUCTURE LEVELS AND TERMINATE AT FOUNDATION LEVEL. CONTRACTOR TO NOTIFY DESIGNER IF ADDITIONAL BRACING SUPPORT IS REQUIRED.

NOTE:
PROVIDE STATIC VENTS AT ALL ROOF PROJECTIONS OR VENT TO MAIN

NOTE:
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NOTE:
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NOTE:
CONTRACTOR MUST VERIFY EXTERIOR DOOR SIZES, STYLES & GRILLE PATTERNS SHOWN AS THEY MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER.

NOTE:
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PLANS PREPARED FOR

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EXTERIOR ELEVATIONS

MAYFIELD DESIGNS, INC.
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DATE
MARCH 13, 2021
JOB
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A7

NOTE:
TYPICAL ROOF OVERHANG IS 1'-4"± (MEASURED FROM OUTSIDE FACE OF STUD)

NOTE:
WHEN TWO ROOFS INTERSECT WITH DIFFERENT PITCHES, BLOCK TOP OF STUD WALLS AS REQD. TO LINE UP FASCIAS AT A 1'-4"± (MEASURED FROM OUTSIDE FACE OF STUD) OVERHANG

NOTE:
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PROVIDE ICE AND WATER SHIELD ON ALL ROOFS WITH A PITCH OF 4 ON 12 OR LESS

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REAR ELEVATION
1/4" = 1'-0"

RIGHT SIDE ELEVATION
1/4" = 1'-0"

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EXTERIOR ELEVATIONS

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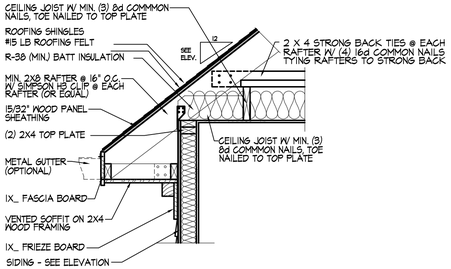
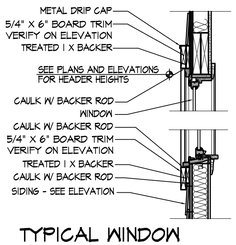
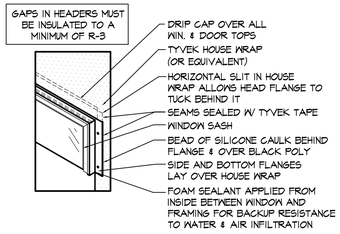


PERPENDICULAR CEILING JOIST
1 1/2" = 1'-0"

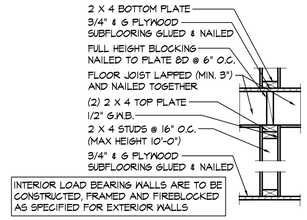


TYPICAL WINDOW WALL SECTION
1 1/2" = 1'-0" 4" STUD WALL

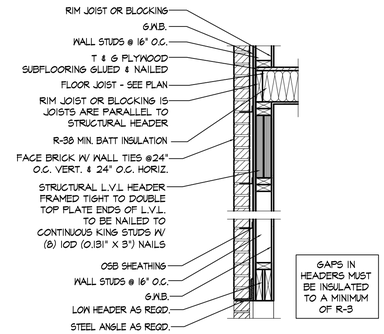


TYPICAL FLASHING @ WINDOW & DOOR DETAIL
1 1/2" = 1'-0"

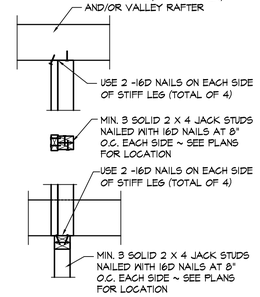
PER SECTION R703.8 FLASHING: APPROVED CORROSION RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHING SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS: ALL WINDOW AND DOORS, AT INTERSECTION OF CHIMNEYS AND OTHER MASONRY CONSTRUCTION, UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL AND SILLS, CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM, WHERE EXTERIOR PORCHES, DECKS, OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCT, AT WALL AND ROOF INTERSECTIONS, OR AT BUILT-IN GUTTERS.



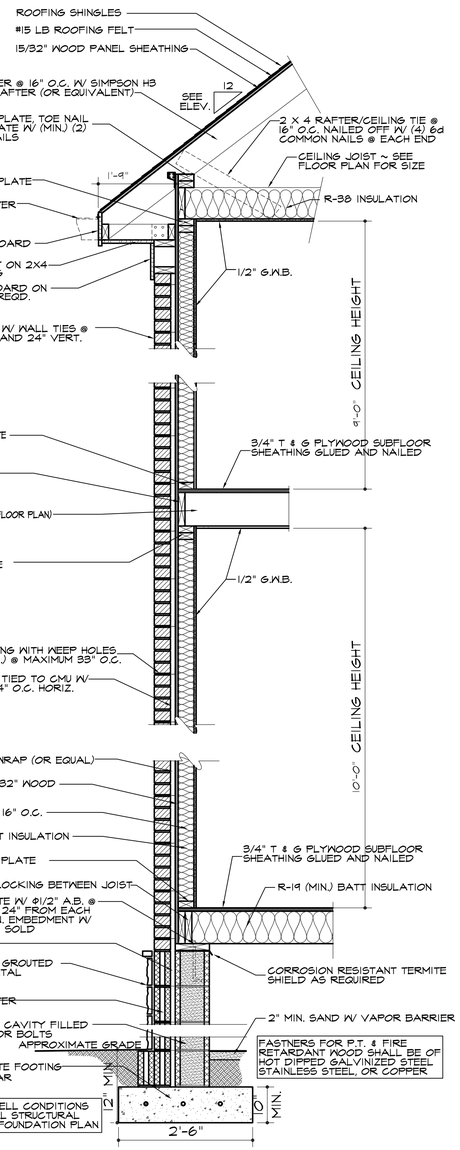
INTERIOR LOAD BEARING WALL
1 1/2" = 1'-0"



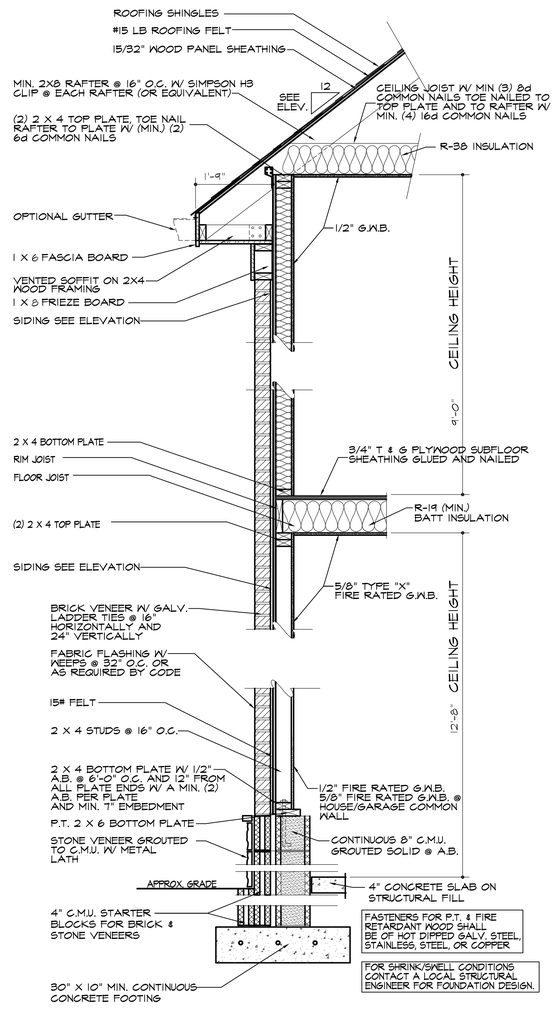
GARAGE HEADER SECTION
1 1/2" = 1'-0"



ROOF BRACING DETAIL
1 1/2" = 1'-0"

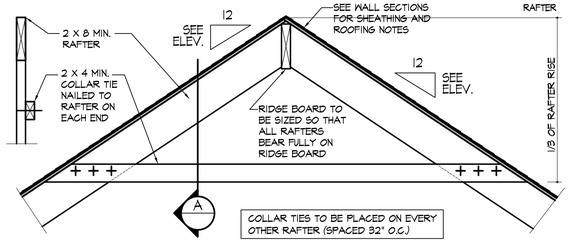


TYPICAL 1-STORY WALL SECTION
3/4" = 1'-0"

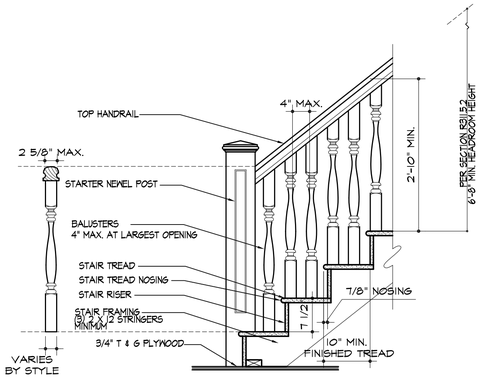


FOUNDATION SECTION @ GARAGE
3/4" = 1'-0"

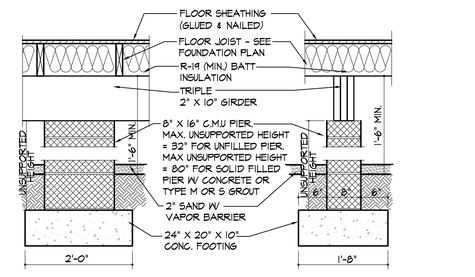
SECTION A



COLLAR TIE / RIDGE DETAIL
1 1/2" = 1'-0"

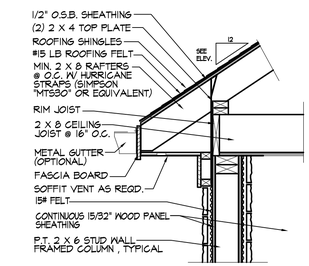


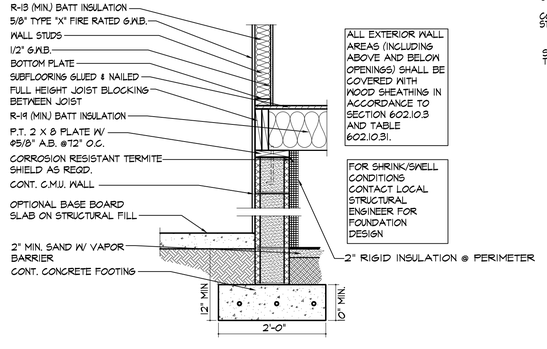
TYPICAL INTERIOR STAIR SECTION DETAIL
1 1/2"= 1'-0"



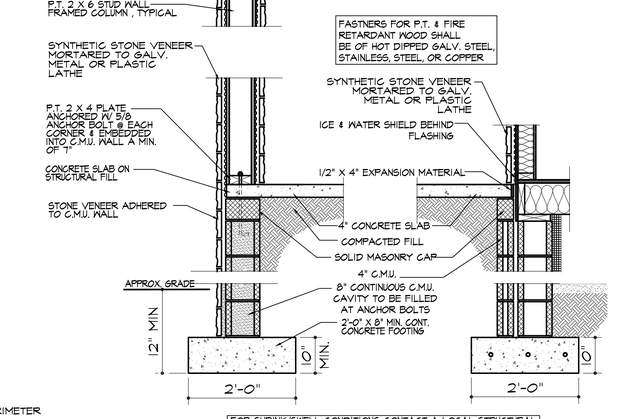
FOR SHRINK/SWELL CONDITIONS CONTACT LOCAL STRUCTURAL ENGINEER FOR FOUNDATION DESIGN

TYPICAL PIER DETAIL
1 1/2" = 1'-0"





INTEROR GARAGE WALL SECTION
1 1/2" = 1'-0" JOIST PERPENDICULAR TO WALL



FOR SHRINK/SWELL CONDITIONS CONTACT A LOCAL STRUCTURAL ENGINEER FOR FOUNDATION DESIGN.

SECTION @ FRONT PORCH
3/4" = 1'-0"

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BY	DATE

PLANS PREPARED FOR

ZAHIR RESIDENCE

WALL SECTIONS

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